



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

August 23, 2021

(Sent VIA EMAIL – Jessica Collins [jcollins@agi.net])

421 N. Cedar Bluff Rd – Suite 306
Knoxville, TN 37923

Re: Serra Automotive – Proposed Zoning Ordinance Text Amendment

Dear Ms. Collins:

Township Staff have researched historical records on the Serra Automotive site, specifically reviewing information on signage. In addition to the Staff Report to the Zoning Board of Appeals that was included in your application (Exhibit A), we also found another letter from 2017, described by the following:

- **July 19, 2017 (meeting date)** – memorandum from Rob Larrea to the ZBA members providing comments on the proposed variances. This letter provides background information on how staff at the time developed the current Zoning Ordinance and indicates: “The sign section was a point of discussion on many occasions however the discussions focused on allowing less signage on buildings and on freestanding signs, not more. The amount of signage permitted today is the same amount that has been allowed for decades and the car dealerships continue to thrive within our community as the one did before Serra.”

Regarding your application, Staff offers the following comments:

- Your proposed text amendment would allow two freestanding signs for individual tenants within a multi-tenant parcel. You had indicated this is because you have four parcels and five brands for whom to display signs. As discussed at the Planning Commission meeting on August 11, 2021, there is only one legal parcel for this portion of the Serra site.
- The language of the proposed text amendment would also permit individual tenants to have two freestanding signs, not each parcel.
- The collocation of signs for different tenants on the same freestanding sign structure is a common occurrence throughout the Township. Staff has also found many examples in other communities of automobile dealerships collocating several different brands on one freestanding sign structure, including brands from different companies.
- The existing signage on this portion of the Serra site includes nonconforming signs. According to the Zoning Ordinance, a legal nonconforming sign may be continued and shall be maintained in good condition, but no new nonconforming signs shall be constructed.
- Given the number of existing signs on this site, no new freestanding signs could be constructed without removing some of the existing signs.
- Based on the current parcel configuration, one freestanding sign, up to 80 square feet, would meet the current Zoning Ordinance standards.

Based on the above analysis and the discussion at the Planning Commission meeting on August 11, 2021, the proposed text amendment will not allow for the additional signage desired on this portion of the Serra site, and it would likely have unintended consequences for other sites in the C-L, C-G, and C-H districts.

This application can continue to be considered, but given the above analysis and Planning Commission discussion, it faces the likelihood of being denied. You also have the option to withdraw your application upon written request to the Township.

We are willing to assist you in exploring other potential actions instead of the proposed text amendment, but with the understanding that any potential action will need to meet all Township regulations including the Zoning Ordinance.

Please feel free to contact me at 231-941-1620 if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Stephen M. Hannon".

Stephen M. Hannon, AICP
Deputy Planning Director

Steve Hannon

From: Justin Lurk <justin.lurk@cfacorp.com>
Sent: Monday, August 23, 2021 1:20 PM
To: John Sych; Cheryl Scales
Cc: Nick Frank; Steve Hannon
Subject: RE: [External] CFA 4815 TC

Thanks Jon! After we had to modify our proposed grading to meet DOT standards for drainage, it really caused this sidewalk connection to be an issue. Appreciate you pushing this through for us!

...

Justin Lurk

Development & Construction
M 573.268.0957

Chick-fil-A, Inc.

5200 Buffington Road, Atlanta, GA 30349

From: John Sych <jsych@garfield-twp.com>
Sent: Monday, August 23, 2021 11:44 AM
To: Cheryl Scales <scalesc@progressiveae.com>
Cc: Justin Lurk <justin.lurk@cfacorp.com>; Nick Frank <frankn@progressiveae.com>; Steve Hannon <shannon@garfield-twp.com>
Subject: RE: [External] CFA 4815 TC

This change will require review by the Planning Commission as a Major Amendment which means same process as SUP approval (Intro – Public Hearing – Approval).

Now, given that the SUP approval is recent and the requested change is minor in nature, I believe the PC would be accommodating to move the process faster than usual. We will present this issue with the PC at its meeting this Wednesday (Aug 25) and determine a timeline.

John Sych, AICP
Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684
jsych@garfield-twp.com
231.225.3155
Mon-Thu 7:30 AM - 6:00 PM

From: Cheryl Scales <scalesc@progressiveae.com>
Sent: Monday, August 23, 2021 8:21 AM
To: John Sych <jsych@garfield-twp.com>
Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>
Subject: RE: [External] CFA 4815 TC

Ok, our next step is to ask what the process would be to go back to the PC to put the sidewalk along the south property line. We really think this is the best location to place this pathway, placing it in the front yard with handrails will be less accessible than the sidewalk on the south side, and will look a lot better. Thanks.

Cheryl C. Scales, PE, LEED

Principal Emeritus Civil Engineer

progressive | ae

1811 4 Mile Road, NE

Grand Rapids, MI 49525

| (616) 361-2664 office

(616) 447-3332 direct

(616) 485-5422 cel

| scalesc@progressiveae.com

| <http://www.progressiveae.com/>

| <http://www.facebook.com/ProgressiveAE>

From: John Sych <jsych@garfield-twp.com>

Sent: Monday, August 23, 2021 8:14 AM

To: Cheryl Scales <scalesc@progressiveae.com>

Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>

Subject: RE: [External] CFA 4815 TC

Yes. We do require it for all developments. Section 522.B:

Internal Circulation

For safety purposes, sidewalks shall be constructed within the interior of the development to link buildings with other destinations, such as, but not limited to, parking, adjoining streets, mailboxes, trash disposal, adjoining sidewalks or greenways, and on-site amenities, such as recreation areas. Sidewalks shall also be provided adjacent to all public streets that provide access to the development.

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From: Cheryl Scales <scalesc@progressiveae.com>

Sent: Friday, August 20, 2021 8:34 AM

To: John Sych <jsych@garfield-twp.com>

Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>

Subject: RE: [External] CFA 4815 TC

Ok obvious question, are we required to have this walkway connection?

Cheryl C. Scales, PE, LEED

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From: John Sych <jsych@garfield-twp.com>

Sent: Thursday, August 19, 2021 4:27 PM

To: Cheryl Scales <scalesc@progressiveae.com>

Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>

Subject: RE: [External] CFA 4815 TC

Unfortunately, that would be a reduction of the landscaping buffer and the only waiver on the landscaping buffer is the approval authority. In this case, it would be the Planning Commission as a Major Amendment.

John Sych, AICP

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Sent: Thursday, August 19, 2021 4:14 PM

To: John Sych <jsych@garfield-twp.com>

Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>

Subject: RE: [External] CFA 4815 TC

There is a only 10 feet between back of curb and property line, we could have 5 foot walk and 5 foot landscape strip, would that work? We are not sure we can get a longer switch back in to make this work with out a handrail, pretty sure that would be a big area of walk and walls to make it happen. We are next to a big parking lot, so anything we do is better than what the neighbors have.

Cheryl C. Scales, PE, LEED

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From: John Sych <jsych@garfield-twp.com>

Sent: Thursday, August 19, 2021 4:09 PM

To: Cheryl Scales <scalesc@progressiveae.com>

Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>

Subject: RE: [External] CFA 4815 TC

That would be okay so long as the 10-foot no build buffer is maintained. Is there sufficient width for both the walk and the landscaping?

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Mon-Thu 7:30 AM - 6:00 PM

From: Cheryl Scales <scalesc@progressiveae.com>
Sent: Thursday, August 19, 2021 3:47 PM
To: John Sych <jsych@garfield-twp.com>
Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>
Subject: RE: [External] CFA 4815 TC

We can look at the more switch back option, what if the sidewalk was on the property line? Ore the landscape slid back against the PL ?See attached.

Cheryl C. Scales, PE, LEED

Principal Emeritus Civil Engineer

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From: John Sych <jsych@garfield-twp.com>
Sent: Thursday, August 19, 2021 3:41 PM
To: Cheryl Scales <scalesc@progressiveae.com>
Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>
Subject: RE: [External] CFA 4815 TC

Hi Cheryl,

I had a chance to review this. I don't have a problem with the south side location. However, the challenge is the impact on the landscaping buffer. "Any decrease in buffer or transition areas, reduction in landscaping, reduction of required yards, or any change in the design characteristics or materials used in construction of the structures" requires a Major Amendment per Section 423.G. Is it possible to create more of a switchback at the approved location that reduces the grade so a hand rail is not required?

Thank you,

John

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Charter Township of Garfield
3848 Veterans Drive
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231.225.3155
Mon-Thu 7:30 AM - 6:00 PM

From: Cheryl Scales <scalesc@progressiveae.com>
Sent: Thursday, August 19, 2021 2:40 PM
To: John Sych <jsych@garfield-twp.com>
Cc: justin.lurk@cfacorp.com; Nick Frank <frankn@progressiveae.com>
Subject: CFA 4815 TC

John,
Would we be able to move our pedestrian access to the south side of our property? The proposed access on the west side is very steep and requires an extensive hand rail system that is very expensive, and frankly, not very good looking. If we can move the walk to the south, we can make it less steep and no hand rail is required, but it would be in the green space area. What do you think?

Thanks for your help with this.

Cheryl C. Scales, PE, LEED
Principal Emeritus Civil Engineer
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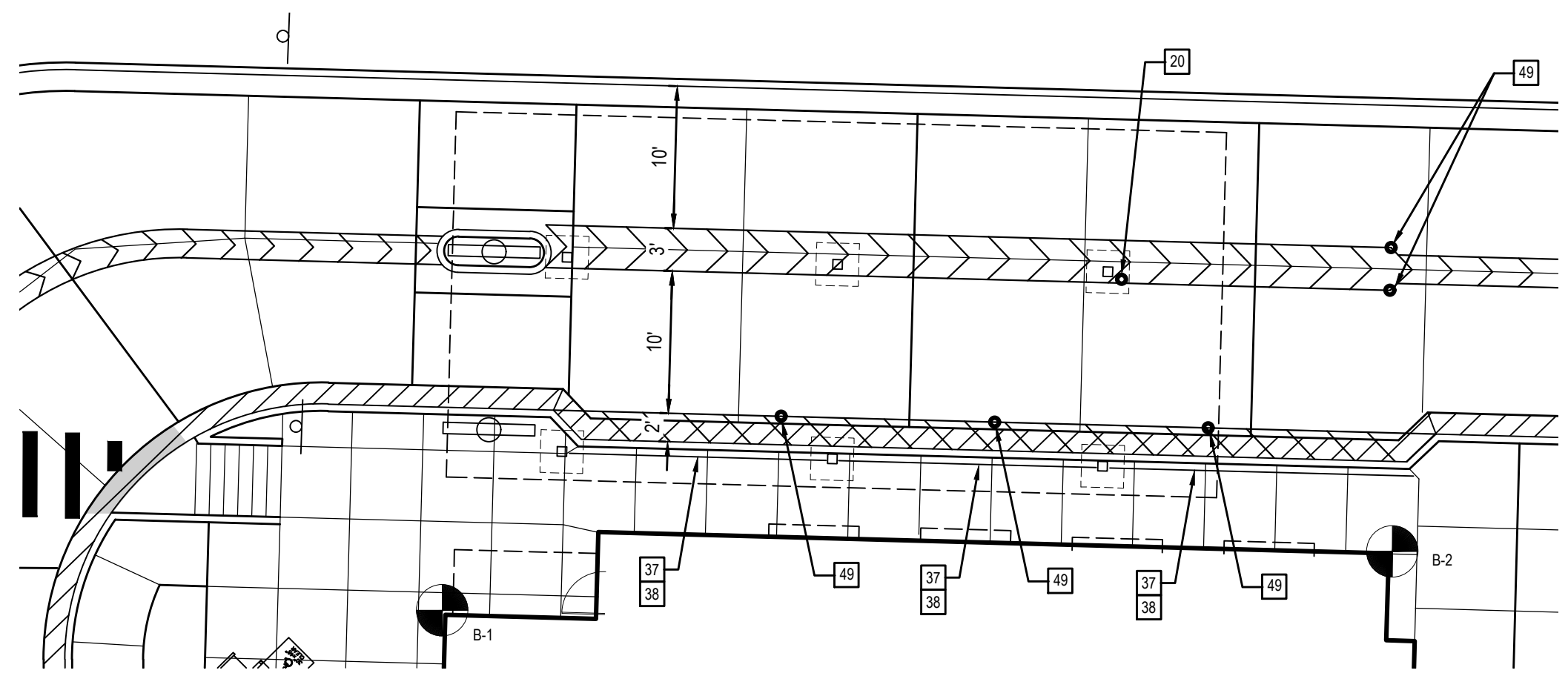
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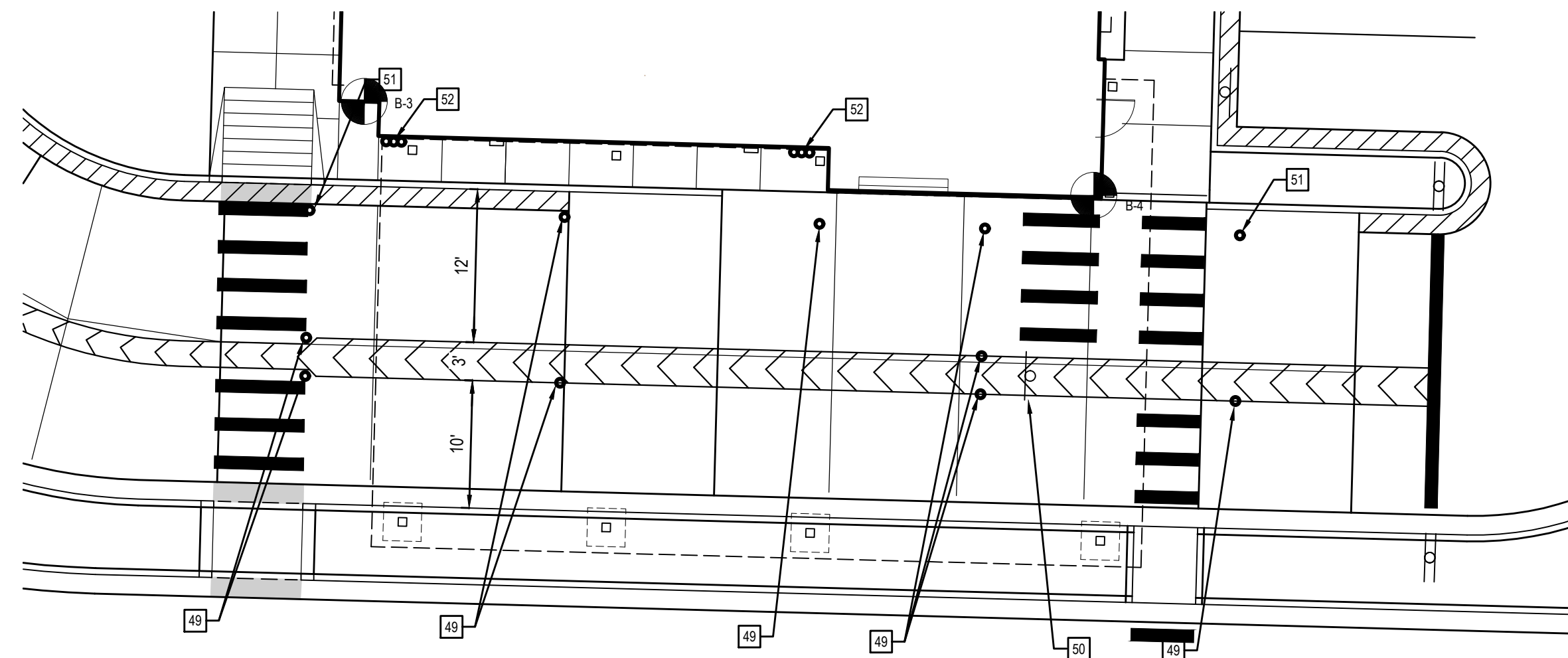
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ORDER POINT DETAIL
1/4"=10'



MEAL DELIVERY DETAIL
1/4"=10'

PAVEMENT LEGEND

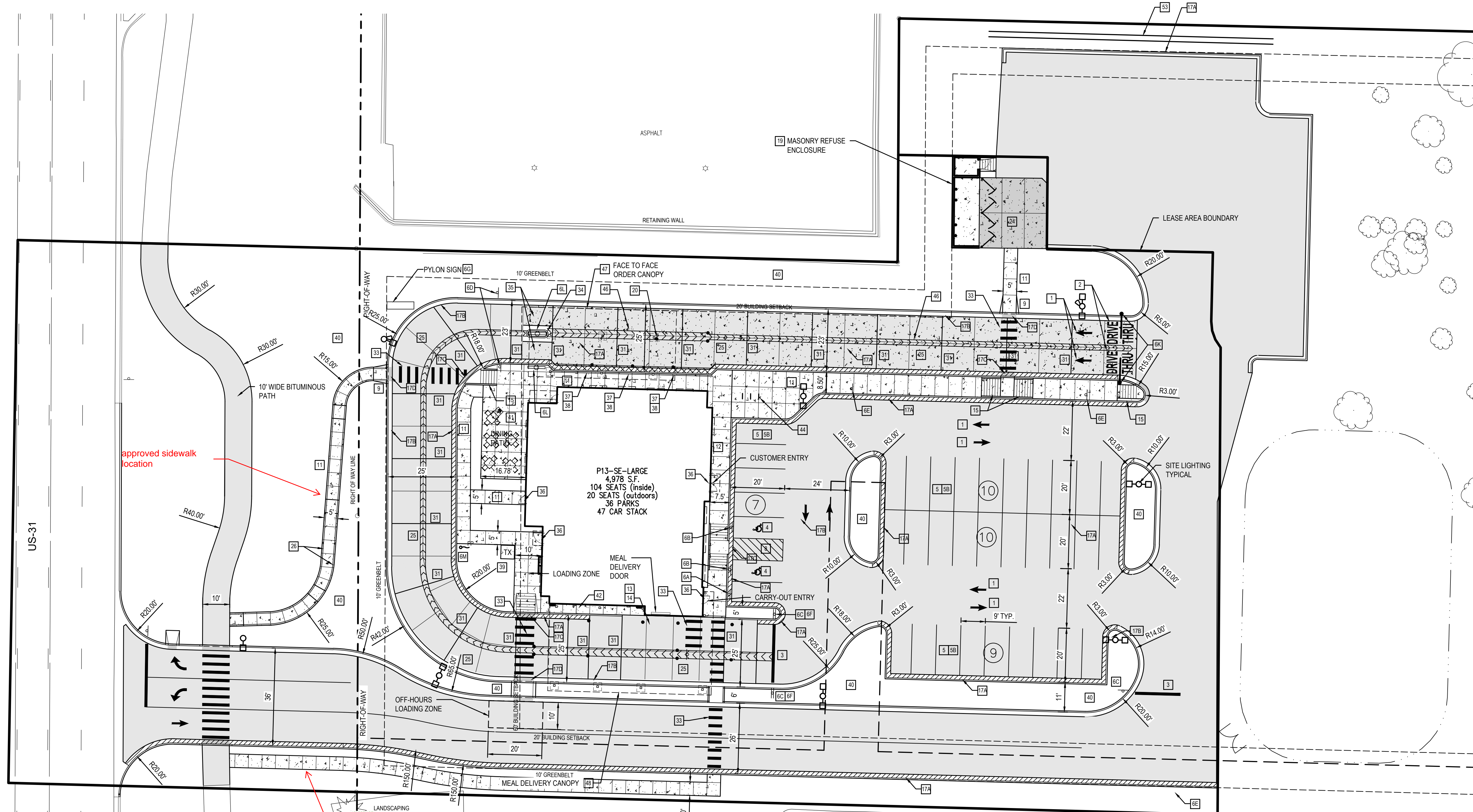
- BITUMINOUS PAVEMENT
1.5" MDOT 36A, 165#S/Y BITUMINOUS
2.5" MDOT 13T, 275#S/Y BITUMINOUS
6" MDOT 21AA AGGREGATE BASE
- CONCRETE WALKS & PATIO
4" MDOT P1 LIMESTONE CONCRETE
4" MDOT CLASS II SAND
- CONCRETE DRIVE-THRU
5" MDOT P1 CONCRETE, 4,000 PSI
4" MDOT 21AA AGGREGATE BASE
- CONCRETE APRON AT TRASH ENCLOSURE
6" MDOT P1 CONCRETE, 4,000 PSI
4" MDOT 21AA AGGREGATE BASE
- PROPOSED LIGHT POLE
- NUMBER OF PARKING SPACES

GENERAL SITE LAYOUT NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "811" THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB.
5. CONTRACTOR IS RESPONSIBLE FOR PAVEMENT STRIPING.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION, INCLUDING BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC., TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
9. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET MDOT STANDARDS.

SITE PLAN DESIGN AND KEY NOTES:

- 1 DIRECTIONAL ARROW, DETAIL 1/C-9.0
- 2 DRIVE-THRU GRAPHICS, DETAIL 2/C-9.0
- 3 STOP LINE GRAPHIC, DETAIL 2/C-9.0
- 4 PAINTED HANDICAP PARKING SYMBOL, DETAIL 1/C-9.0
- 5 90 DEGREE PARKING STRIPING, DETAIL 3/C-9.0
- 5A 60 DEGREE PARKING STRIPING, DETAIL 3/C-9.0
- 5B 4" SOLID WHITE STRIPING
- 5C 4" SOLID YELLOW STRIPING
- REFER TO SIGNAGE PACKAGE BY CHANDLER SIGNS
- 6A "CATERING & CARRYOUT" SIGN, SEE SIGNAGE PACKAGE
- 6B ACCESSIBLE PARKING SIGN, SEE SIGNAGE PACKAGE
- 6C "STOP" SIGN, SEE SIGNAGE PACKAGE
- 6D "PEDESTRIAN CROSSWALK" SIGN, SEE SIGNAGE PACKAGE
- 6E "NO PARKING FIRE LANE" SIGN, SEE SIGNAGE PACKAGE
- 6F "DO NOT ENTER" SIGN, SEE SIGNAGE PACKAGE
- 6G CHICK-FIL-A MONUMENT SIGN, SEE SIGNAGE PACKAGE
- 6H "CAUTION LANES MERGE" SIGN, SEE SIGNAGE PACKAGE
- 6I CHICK-FIL-A "EXIT" SIGN, SEE SIGNAGE PACKAGE
- 6J CHICK-FIL-A "DRIVE THRU" SIGN, SEE SIGNAGE PACKAGE
- 6K CLEARANCE BAR, DETAIL 10/C-9.3 & SIGNAGE PACKAGE
- 6L MENU ORDER BOARDS, SEE SIGNAGE PACKAGE
- 6M FLAGPOLE, 50', SEE SIGNAGE PACKAGE
- 7 SIDEWALK ACCESSIBLE RAMP, DETAIL 3/C-9.1
- 8 CURB RAMP w/ FLARED SIDES, DETAIL 2/C-9.1
- 9 CURB RAMP w/ SHORT FLARED SIDES, DETAIL 1/C-9.1
- 11 TYPICAL CONCRETE SIDEWALK, 5' MIN., DETAIL 9/C-9.0
- 12 7" WIDE SIDEWALK w/ CURB & GUTTER, DETAIL 10/C-9.0
- 13 DRIVE THRU PLAN - FLUSH WITH FFE, DETAIL 2/C-9.3
- 14 DRIVE-THRU ISOMETRIC, DETAIL 9/C-9.3
- 15 RETURNED CURB ACCESSIBLE RAMP, DETAIL 5/C-9.1
- 16 OMITTED
- 17 24" CONCRETE CURB & GUTTER, DETAIL 11/C-9.0
- 17A SPILLING CURB SECTION
- 17B CATCHING CURB SECTION
- 17C DEPRESSED SPILLING CURB
- 17D DEPRESSED CATCHING CURB
- SEE SHEET C-3.0 AND C-3.1 FOR DETAILED ELEVATIONS
- 18 ROLL-OVER/MOUNTABLE CURB, DETAIL 11/C-9.3
- 19 REFUSE ENCLOSURE - SEE ARCHITECTURAL
- 20 CONCRETE BOLLARD, DETAIL 5/C-9.2
- 21 TYPICAL HMAC PAVEMENT SECTION, DETAIL 3/C-9.2
- 21A PAVEMENT EDGE DETAIL, DETAIL 11/C-9.1
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT, DETAIL 10/C-9.1
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT, DETAIL 7/C-9.1
- 24 HEAVY DUTY CONCRETE APRON AT TRASH ENCLOSURE, DETAIL 4/C-9.1
- 25 MEDIUM DUTY CONCRETE PAVING AT DRIVE THRU LANE, DETAIL 2/C-9.2
- 26 ADA RAMP & HANDRAIL, DETAIL 9/C-9.2
- 27 ALUMINUM HANDRAIL, DETAIL 6/C-9.2
- 28 CONCRETE CONTRACTION JOINT, DETAIL 9/C-9.1
- 29 CONCRETE KEYED CONSTRUCTION JOINT, DETAIL 8/C-9.1
- 30 CONCRETE LONGITUDINAL BUTT JOINT, DETAIL 1/C-9.2
- 31 CONCRETE EXPANSION JOINT, DETAIL 6/C-9.1
- 32 MULTI-LANE DIRECTIONAL GRAPHICS, DETAIL 6/C-9.2
- 33 CROSSWALK DETAIL, DETAIL 7/C-9.2
- 34 DRIVE THRU ORDER POINT ISLAND CURB, DETAIL 7/C-9.3
- 35 MENU BOARD LOOP DETECTION SYSTEM, DETAIL 5 & 6/C-9.3
- 36 ENTRY DOOR FROST SLAB, DETAIL 1/C-9.3
- 37 PATIO SEPARATION RAILING
- 38 THICKENED SLAB EDGE AT RAILING CORE-DRILLS
- 39 CONCRETE TRANSFORMER PAD
- 40 LANDSCAPED AREA
- 41 OUTDOOR PATIO SPACE, SEE ARCHITECTURAL PLANS
- 42 CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB, 4" THICK
- 43 CONCRETE PAD FOR OPTIONAL CASH STATION
- 44 3 BIKE RACKS - 5 BIKE PARKING
- 45 CONCRETE DRAINAGE SPILLWAY, DETAIL 13/C-9.1
- 46 DRIVE-THRU LANE STRIPING (SEE CFA DESIGN NOTES #2020-037)
- 47 FACE-TO-FACE DRIVE-THRU CANOPY SYSTEM
- 48 MEAL DELIVERY CANOPY SYSTEM
- 49 SAFETY POST & MOUNT W/ MAGNETIC DELINEATOR BARE (CFA DESIGN NOTES #2020-037)
- 50 "TEAM MEMBER CROSSING" FLEX SIGN (CFA DESIGN NOTES #2020-037)
- 51 MDZ SIGN (CFA DESIGN NOTES #2020-037)
- 52 PROVIDE BASE PLATES FOR POST STAGING AREA (CFA DESIGN NOTES #2020-037)
- 53 RETAINING WALL, DETAIL 16/C-9.2



SITE LAYOUT PLAN
1"=20'



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

progressive ae

1811 4 Mile Rd N.E., Grand Rapids, MI 49525
616 361 2664 OFFICE 616 361 1493 FAX
www.progressiveae.com

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF TRAVERSE CITY, MI RELATING TO STRUCTURES AND BUILDINGS.

CHICK-FIL-A
TRAVERSE CITY FSU
2700 US 31 SOUTH
TRAVERSE CITY, MI 49684

FSU# 04815

NO.	DATE	DESCRIPTION
1	07/09/21	ISSUED FOR CONSTRUCTION
2	08/04/21	STORM WATER COMMENTS

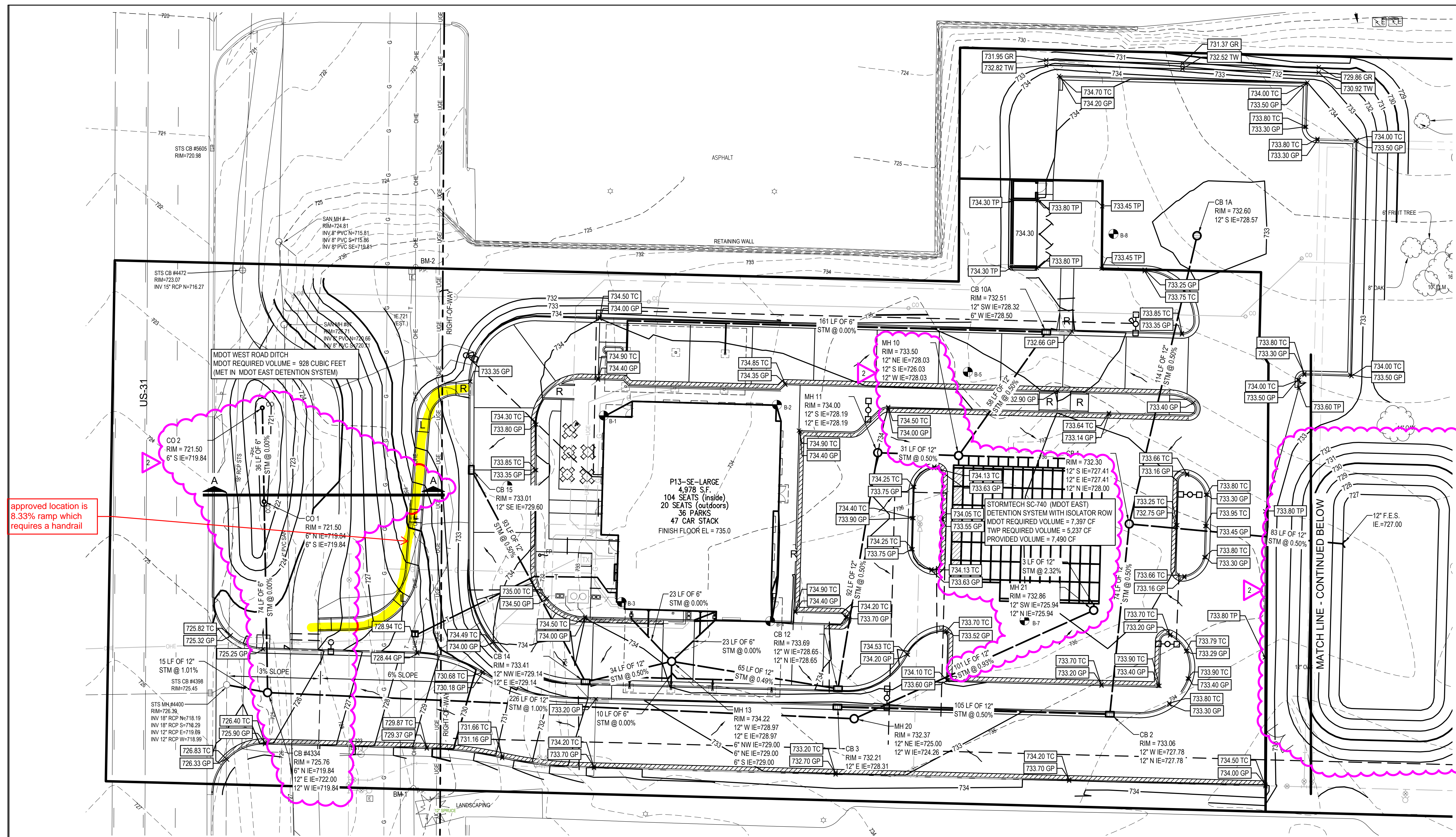
ISSUED FOR CONSTRUCTION

PROJECT NUMBER	77020027
PRINTED FOR	ISSUED FOR PERMITS
DATE	5/11/2021
DRAWN BY	DCM

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SHEET
SITE LAYOUT PLAN

SHEET NUMBER
C-2.0



approved location is 8.33% ramp which requires a handrail

EARTHWORK & GRADING NOTES

1. EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE 2012 EDITION OF THE MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
2. THE SUBGRADE SHALL BE THOROUGHLY PROFFERED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
3. PROFFERING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
4. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
5. GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE.
6. THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE / BACK OF CURB.
7. THE EXISTING SANDY SOIL MAY BE UTILIZED AS ENGINEERED FILL PROVIDED ALL DELETERIOUS OR ORGANIC MATERIALS ARE REMOVED FROM THE SOILS AND IT IS APPROVED BY THE GEOTECHNICAL ENGINEER. ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
8. ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 98 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D698, STANDARD PROCTOR COMPACTION TEST.
9. ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
10. SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE.
11. PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
12. UNLESS SHOWN OTHERWISE, FINISH GRADES OF LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 3" BELOW FINISH FLOOR ELEVATION.
13. PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.

ADA NOTES

1. A MINIMUM OF ONE ACCESSIBLE ROUTE MUST BE PROVIDED FROM AN ACCESSIBLE ENTRANCE TO THE PUBLIC WAY WHERE FEASIBLE AND WHERE PUBLIC TRAVEL PATH EXISTS.
2. GENERAL DESIGN PARAMETERS OF THE ENTIRE ACCESSIBLE PATH ARE AS FOLLOWS (SEE STANDARD DETAILS FOR ADDITIONAL INFORMATION):
 - 2.1. RUNNING SLOPE OF PATH = 5% (1:20) OR LESS.
 - 2.2. CROSS-SLOPE OF PATH = 2.0% (1:50) OR LESS.
 - 2.3. RUNNING SLOPE OF RAMPS = 8.3% (1:12) OR LESS.
 - 2.4. SLOPE IN ALL DIRECTIONS OF ACCESSIBLE PARKING STALLS AND LOADING AREAS = 2.0% (1:50) OR LESS.
3. SEE SHEET C-3.1 FOR DETAILED SLOPE ELEVATIONS.

GRADING AND DRAINAGE LEGEND

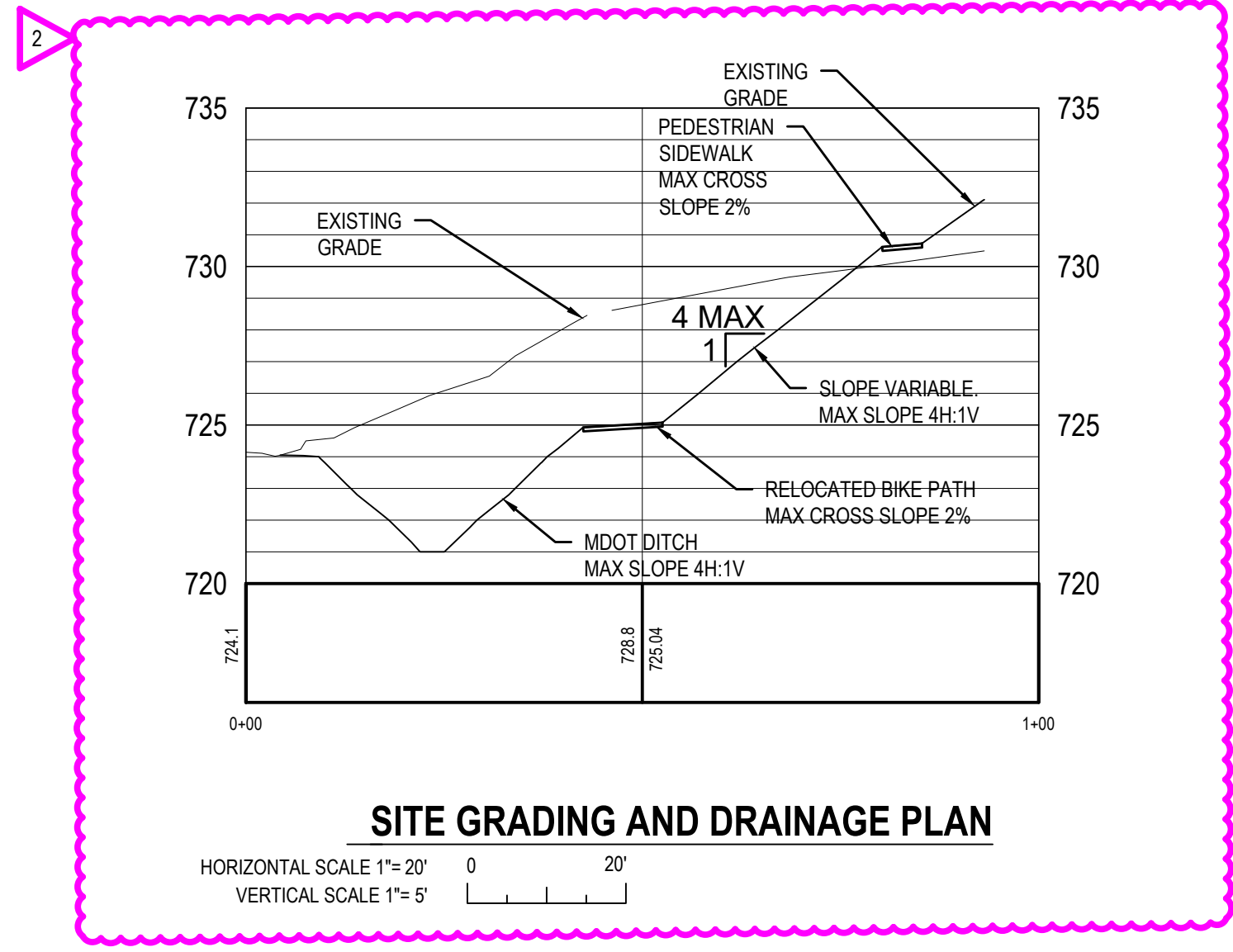
—	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP
---	EXISTING MAJOR CONTOUR - 5 FT. INTERVAL
---	EXISTING MINOR CONTOUR - 1 FT. INTERVAL
---	PROPOSED MAJOR CONTOUR - 5 FT. INTERVAL
---	PROPOSED MINOR CONTOUR - 1 FT. INTERVAL
---	PROPOSED STORM SEWER
---	PROPOSED 4" UNDERDRAIN

STORM SEWER NOTES

1. STORM SEWER PIPE 12" DIA. OR LARGER SHALL BE ASTM C-76 CL IV REINFORCED CONCRETE PIPE OR ASTM F2306, HIGH DENSITY POLYETHYLENE PIPE. STORM SEWER PIPE SMALLER THAN 12" SHALL BE SDR 35 PVC.
2. YARD DRAINS (YD) TO BE 12" SQUARE DRAINTech CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
3. CATCH BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE.
4. CONNECT ALL ROOF DRAINS TO PROVIDED STORM SEWER UNLESS OTHERWISE NOTED.
5. WATER QUALITY UNIT TO BE 6" DIAMETER DOWNSTREAM DEFENDER BY HYDRO INTERNATIONAL.
6. UNDERDRAIN TO BE INSTALLED AT ALL CATCH BASINS PER DETAIL ON SHEET C501.
7. ALL FLARED END SECTIONS TO BE CONCRETE UNLESS NOTED OTHERWISE.

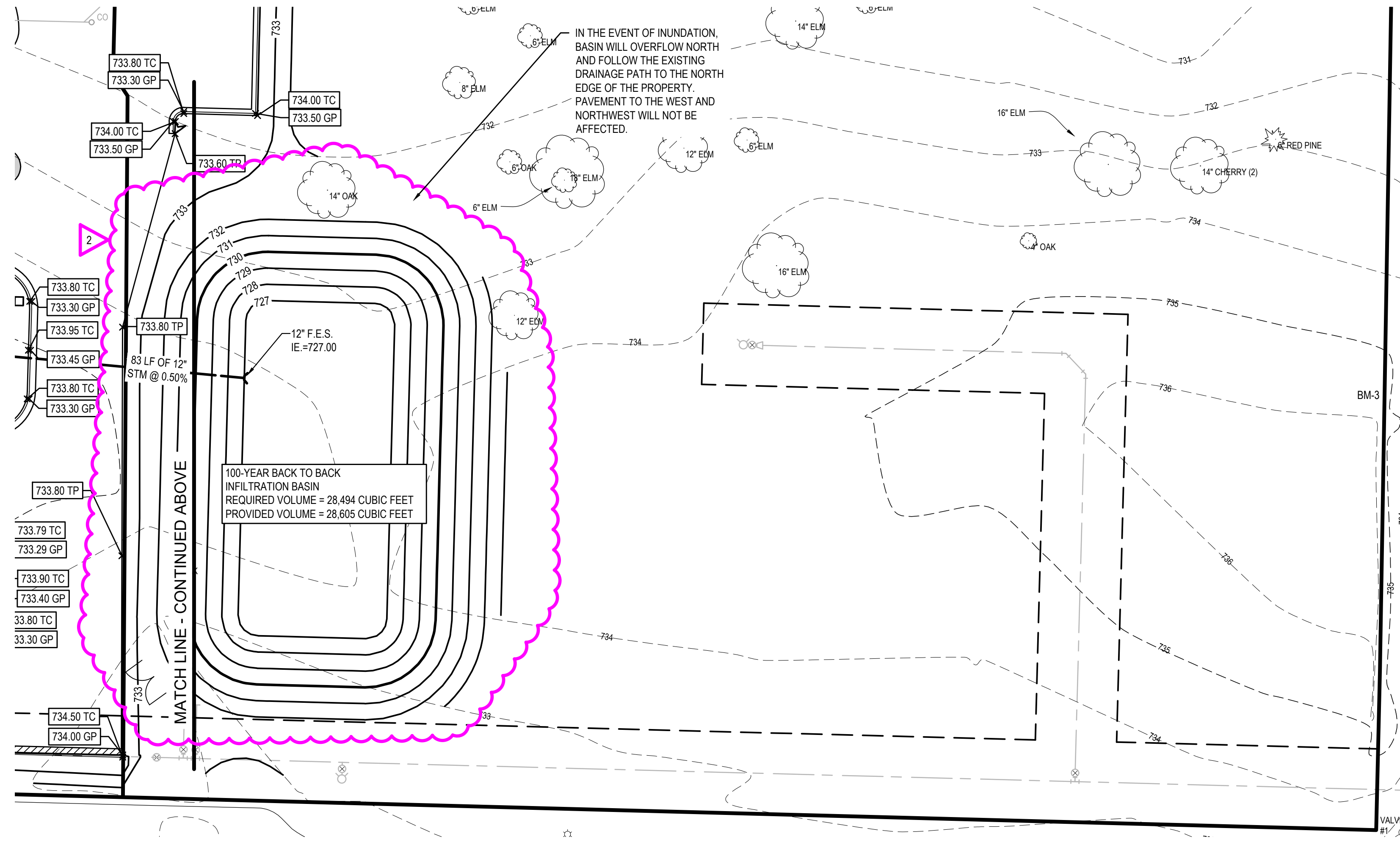
SITE GRADING AND DRAINAGE PLAN

1" = 20'



SITE GRADING AND DRAINAGE PLAN

HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'



SITE GRADING AND DRAINAGE PLAN

1" = 20'



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

progressive ae

1811 4 Mile Rd N.E., Grand Rapids, MI 49525
616 361 2664 OFFICE 616 361 1493 FAX
www.progressiveae.com

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF TRAVERSE CITY, MI RELATING TO STRUCTURES AND BUILDINGS.



CHICK-FIL-A
TRAVERSE CITY FSU
2700 US 31 SOUTH
TRAVERSE CITY, MI 49684

FSU# 04815

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	07/09/21	ISSUED FOR CONSTRUCTION
2	08/04/21	STORM WATER COMMENTS

ISSUED FOR CONSTRUCTION

PROJECT NUMBER	77020027
PRINTED FOR	ISSUED FOR PERMITS
DATE	5/11/2021
DRAWN BY	DCM

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SHEET
SITE GRADING AND DRAINAGE PLAN

SHEET NUMBER

C-3.0



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



1811 4 Mile Rd N.E., Grand Rapids, MI 49525
616 361 2664 OFFICE 616 361 1493 FAX
www.progressiveae.com

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PLANT SCHEDULE

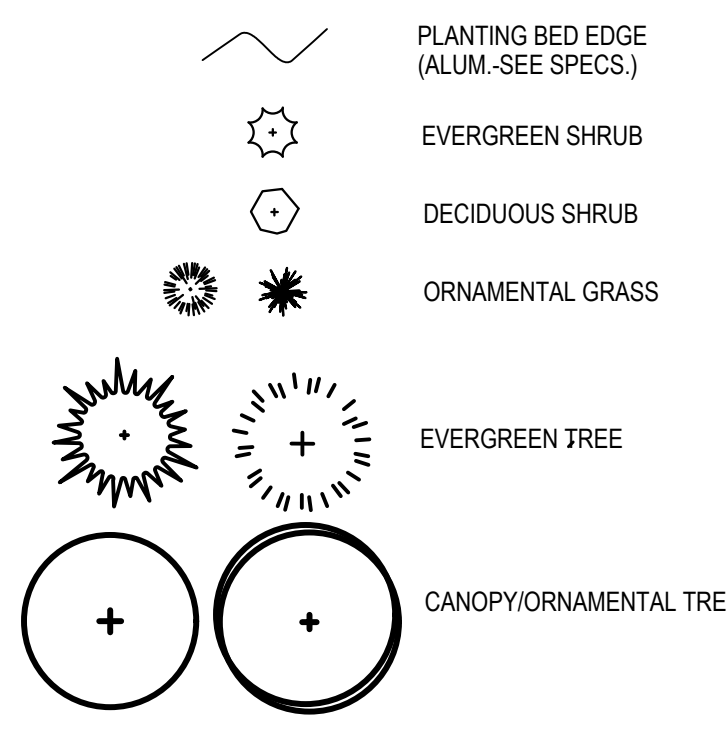
TREES	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	REMARKS
AS	9	ACER SACCARINUM / SILVER MAPLE	B & B	2"		
BS	7	BETULA NIGRA 'STUDETEC' TM / TECUMSEH COMPACT RIVER BIRCH	B & B	2"		3 STEM CLUMP
OV	9	Ostrya VIRGINIANA / AMERICAN HOPHORNBEAM	B & B	2"		
PD	6	PICEA GLAUCA 'DENSATA' / BLACK HILLS SPRUCE	B & B		6-7' HT.	
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	REMARKS
CG	4	CORNUS MAS 'GOLDEN GLORY' / GOLDEN GLORY CORNELIAN CHERRY	B & B	1 1/2"		SINGLE STEM
MC	3	MALUS X 'CORALBURST' / CORALBURST CRABAPPLE	B & B	1 1/2"		
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	FT.	HT.	REMARKS
AL	41	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	#1 CONT			
CD	10	CHAMAECYPARIS PISIFERA 'DOW WHITING' TM / SOFT SERVE SAWARA CYPRESS	#5 CONT			
CH	58	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET	#5 CONT			
CR	18	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE CLETHRA	#5 CONT			
CF	47	CORNUS SERICEA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD	#5 CONT			
HM	25	HYDRANGEA ARBORESCENS 'NCH42' TM / INVINCIBELLE SPIRIT II HYDRANGEA	#5 CONT			
IF	7	ILEX VERTICILLATA 'FARROWWRP' TM / MR. POPPINS WINTERBERRY	#5 CONT			
IO	17	ILEX VERTICILLATA 'ROBERTA CASE' TM / BERRY HEAVY GOLD WINTERBERRY	#5 CONT			
JB	47	JUNIPERUS HORIZONTALIS 'BLUE RUG' / BLUE RUG JUNIPER	#5 CONT			
R3	10	ROSA X 'RADTKO' / DOUBLE KNOCK OUT RED ROSE	#5 CONT			
SL	48	SCHIZACHYRIUM SCOPARILUM / LITTLE BLUESTEM	#1 CONT			
ST	40	SPOROBIOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSPEED	#1 CONT			
TE	35	TAXUS X MEDIA 'EVERLOW' / EVERLOW YEW	#5 CONT			
VI	15	VIBURNUM DENTATUM DEAMI 'SMVDL' TM / ALL THAT GLOWS VIBURNUM	#5 CONT			
VD	12	VIBURNUM DENTATUM DEAMI 'SMVDLS' TM / ALL THAT GLITTERS VIBURNUM	#5 CONT			
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	REMARKS	
CZ	37	COREOPSIS VERTICILLATA 'ZAGREB' / ZAGREB TICKSEED	#1 CONT	18" O.C.		
GP	328 FT ²	GAULTHERIA PROCUMBENS / WINTERGREEN AREA	3 1/4" FLAT	12" O.C.		
HG	73	HEMEROCALLIS X 'LITTLE GRAPETTE' / LITTLE GRAPETTE DAYLILY	#1 CONT	18" O.C.		

LAWN SEED MIX

EGGS GREEN GROUNDS SEED MIX
19.96% KELLY KENTUCKY BLUEGRASS
19.96% BARON KENTUCKY BLUEGRASS
19.91% SOX FAN PERENNIAL RYEGRASS
19.82% EXACTA II GLSR PERENNIAL RYEGRASS
19.73% JUMPSTART KENTUCKY BLUEGRASS
BY ECO GREEN SUPPLY. SEED AT RATE OF 5 TO 7 LBS. PER 1,000 S.F. OR APPROVED EQUAL.

- GROUND COVER / PERENNIAL AREA
- ROCK MULCH, 1-2" NATIVE WASHED STONE
- ANNUAL FLOWER AREA (BY OWNER)
- BARK MULCH
- SOD LAWN

LANDSCAPE PLANTING LEGEND

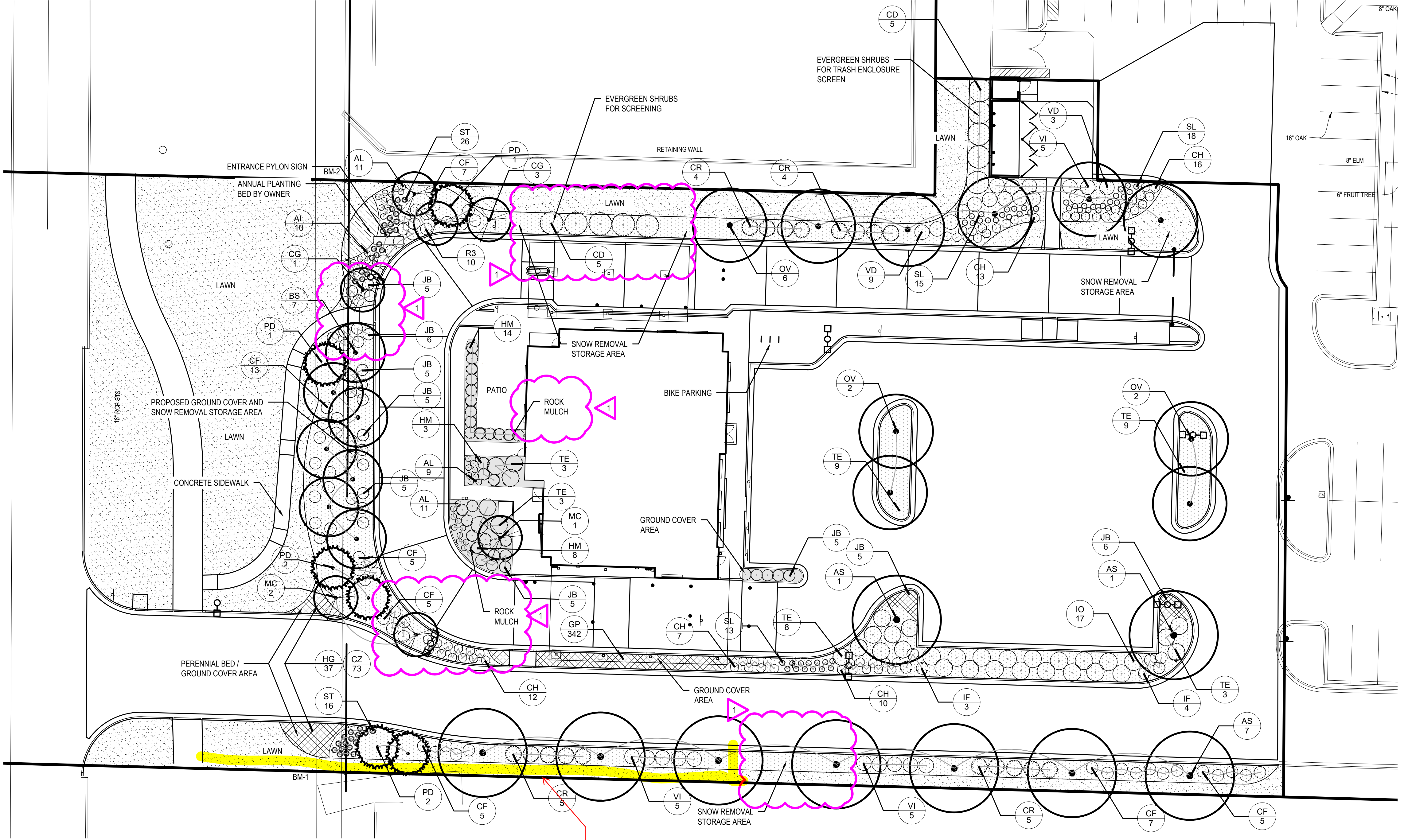


GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS
- CONTRACTOR TO CONTACT MICHIGAN 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PIT
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.

ZONING NOTES AND CALCULATIONS

- #### BUFFERING REQUIREMENTS
- TYPE "C" BUFFER
-PER 100' LF: 3 LARGE TREES, 3 SMALL TREES, 1 EVERGREEN
EAST C BUFFER: BUFFER ALONG EAST PROPERTY LINE WAIVED DUE TO SHARED ACCESS WITH PROPOSED DEVELOPMENT
BUFFER TO BE IMPLEMENTED ON EASTERN PROPERTY LINE OF ADJACENT EASTERN PROPERTY.
 - TYPE "B" BUFFER ALONG COMMERCIAL ZONES
-PER 100' LF: 2 LARGE TREES, 1 MEDIUM TREE, 4 SHRUBS
-10' IN WIDTH WITH GROUND COVER
NORTH B BUFFER: 285' LF
REQUIRED: 6 L. TREES, 3 M. TREES, 11 SHRUBS
PROPOSED: 6 L. TREES, 3 M. TREES 37 SHRUBS
SOUTH B BUFFER: 318' LF
REQUIRED: 6 L. TREES, 3 M. TREES, 13 SHRUBS
PROPOSED: 6 L. TREES, 6 M. TREES 40 SHRUBS
WEST D BUFFER: 164' LF
REQUIRED: 8 L. TREES, 6 M. TREES, 6 EVERGREEN
PROPOSED: 8 L. TREES, 6 M. TREES 6 EVERGREEN
- #### INTERIOR PARKING LANDSCAPE AREA
- 10' OF AREA PER PARKING SPACE
- TOTAL PARKING SPACES: 36 SPACES
REQUIRED AREA: 360FT²
PROPOSED AREA: 781FT²
- CANOPY TREES: 2" CAL.
EVERGREEN TREES: 6" HEIGHT
ORNAMENTAL TREES: 1.5" CAL.
SHRUBS: 5 GALLON



PLANTING PLAN
1"=20'

move walk to the green space here?

ISSUED FOR CONSTRUCTION

CHICK-FIL-A
TRAVERSE CITY FSU
2700 US 31 SOUTH
TRAVERSE CITY, MI 49684

FSU# 04815

REVISION	SCHEDULE	
NO.	DATE	DESCRIPTION
1	07/09/21	ISSUED FOR CONSTRUCTION

PROJECT NUMBER	77202027
PRINTED FOR	ISSUED FOR PERMITS
DATE	5/11/2021
DRAWN BY	DCM

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SHEET
PLANTING PLAN

SHEET NUMBER
L-1.0

P:\77202027\04815\04815-11-PLANTING PLAN.dwg - Sheet: PLAN - Based by: mchilias - Interim/Issued: 5/11/21 4:42 PM - Printed by: Susan Van Dyke - July 9, 2021 11:25 AM



Tapestry Segmentation Area Profile

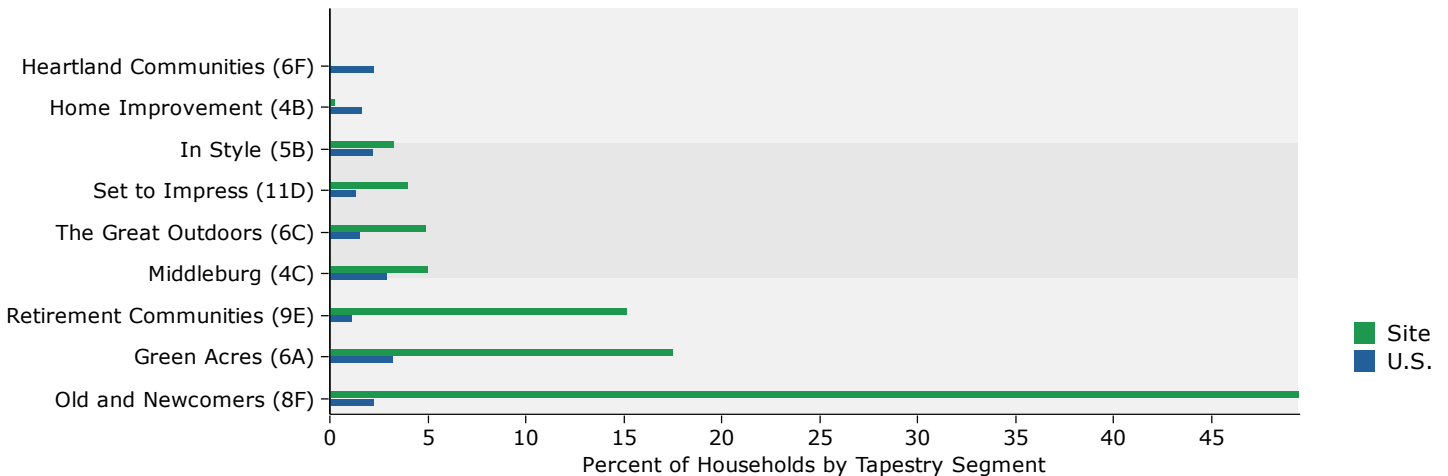
Township Boundary - Township Boundary

Prepared by Esri

Top Twenty Tapestry Segments

Rank	Tapestry Segment	2021 Households		2021 U.S. Households		Index
		Percent	Cumulative Percent	Percent	Cumulative Percent	
1	Old and Newcomers (8F)	49.5%	49.5%	2.3%	2.3%	2154
2	Green Acres (6A)	17.6%	67.1%	3.3%	5.6%	539
3	Retirement Communities (9E)	15.3%	82.4%	1.2%	6.8%	1,272
4	Middleburg (4C)	5.0%	87.4%	3.0%	9.8%	169
5	The Great Outdoors (6C)	4.9%	92.3%	1.6%	11.4%	312
Subtotal		92.3%		11.4%		
6	Set to Impress (11D)	4.0%	96.3%	1.4%	12.8%	291
7	In Style (5B)	3.3%	99.6%	2.2%	15.0%	148
8	Home Improvement (4B)	0.3%	99.9%	1.7%	16.7%	20
9	Heartland Communities (6F)	0.0%	99.9%	2.3%	19.0%	1
Subtotal		7.6%		7.6%		
Total		100.0%		18.9%		529

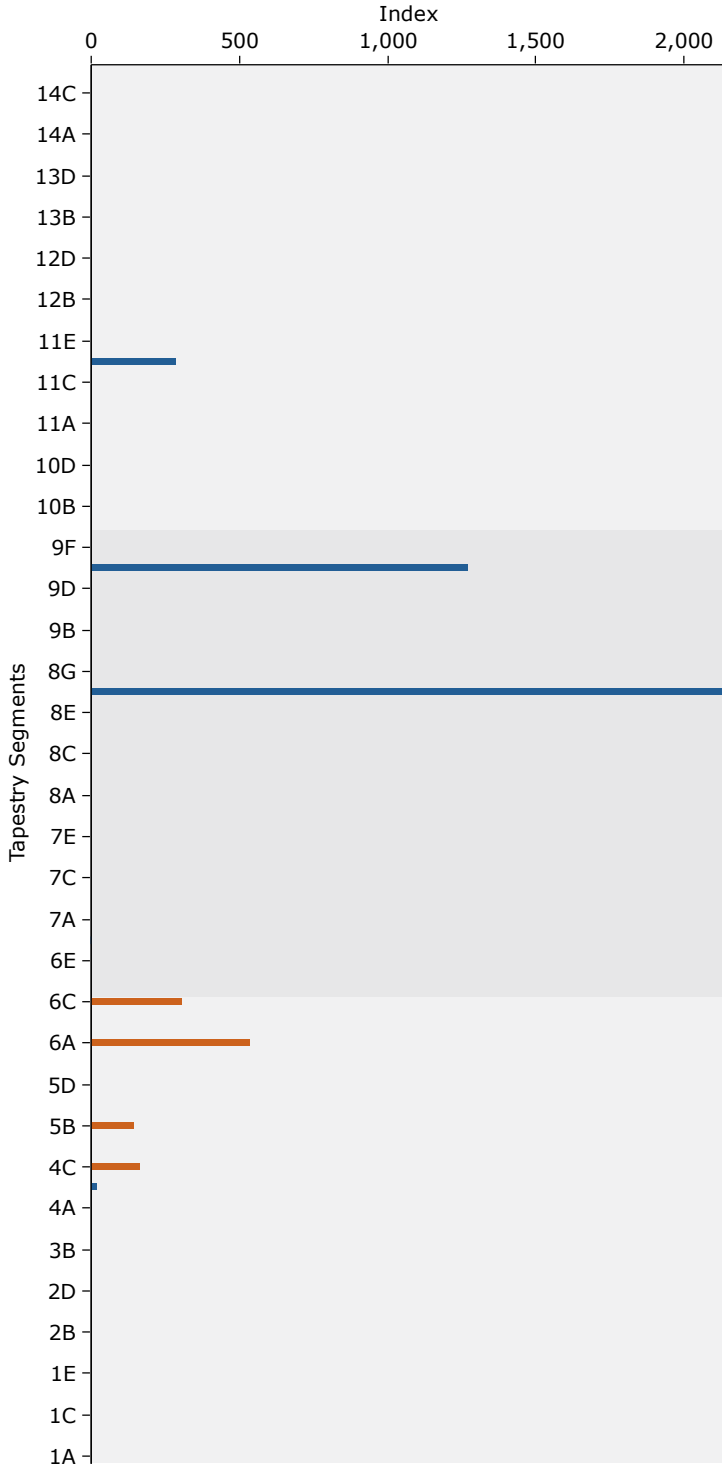
Top Ten Tapestry Segments Site vs. U.S.



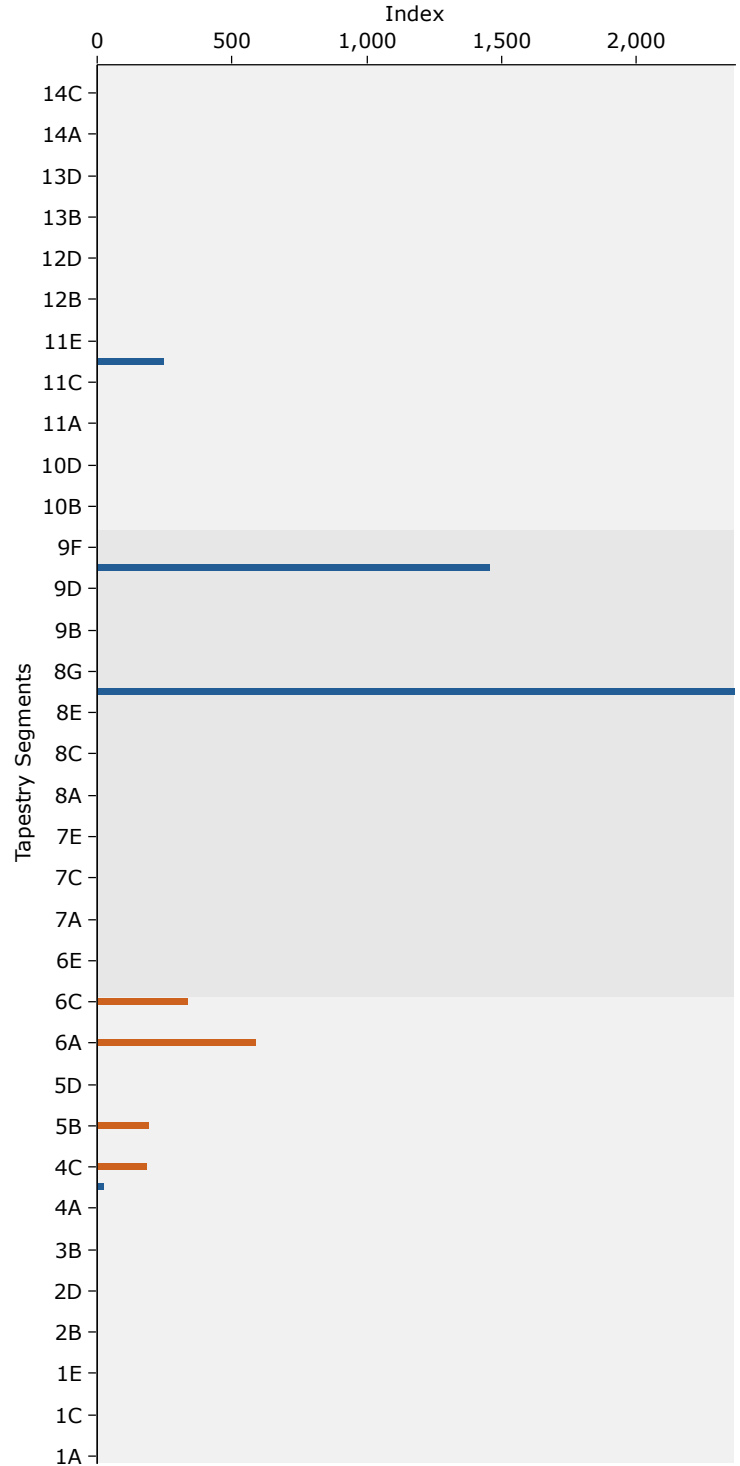
Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri

2021 Tapestry Indexes by Households



2021 Tapestry Indexes by Total Population 18+



Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri



Tapestry Segmentation Area Profile

Township Boundary - Township Boundary

Prepared by Esri

Tapestry LifeMode Groups	2021 Households			2021 Adult Population		
	Number	Percent	Index	Number	Percent	Index
Total:	8,654	100.0%		15,508	100.0%	
1. Affluent Estates	0	0.0%	0	0	0.0%	0
Top Tier (1A)	0	0.0%	0	0	0.0%	0
Professional Pride (1B)	0	0.0%	0	0	0.0%	0
Boomburbs (1C)	0	0.0%	0	0	0.0%	0
Savvy Suburbanites (1D)	0	0.0%	0	0	0.0%	0
Exurbanites (1E)	0	0.0%	0	0	0.0%	0
2. Upscale Avenues	0	0.0%	0	0	0.0%	0
Urban Chic (2A)	0	0.0%	0	0	0.0%	0
Pleasantville (2B)	0	0.0%	0	0	0.0%	0
Pacific Heights (2C)	0	0.0%	0	0	0.0%	0
Enterprising Professionals (2D)	0	0.0%	0	0	0.0%	0
3. Uptown Individuals	0	0.0%	0	0	0.0%	0
Laptops and Lattes (3A)	0	0.0%	0	0	0.0%	0
Metro Renters (3B)	0	0.0%	0	0	0.0%	0
Trendsetters (3C)	0	0.0%	0	0	0.0%	0
4. Family Landscapes	465	5.4%	70	955	6.2%	77
Workday Drive (4A)	0	0.0%	0	0	0.0%	0
Home Improvement (4B)	30	0.3%	20	79	0.5%	28
Middleburg (4C)	435	5.0%	169	876	5.6%	190
5. GenXurban	287	3.3%	29	623	4.0%	37
Comfortable Empty Nesters (5A)	0	0.0%	0	0	0.0%	0
In Style (5B)	287	3.3%	148	623	4.0%	193
Parks and Rec (5C)	0	0.0%	0	0	0.0%	0
Rustbelt Traditions (5D)	0	0.0%	0	0	0.0%	0
Midlife Constants (5E)	0	0.0%	0	0	0.0%	0
6. Cozy Country Living	1,948	22.5%	187	3,931	25.3%	213
Green Acres (6A)	1,520	17.6%	539	3,110	20.1%	593
Salt of the Earth (6B)	0	0.0%	0	0	0.0%	0
The Great Outdoors (6C)	427	4.9%	312	820	5.3%	342
Prairie Living (6D)	0	0.0%	0	0	0.0%	0
Rural Resort Dwellers (6E)	0	0.0%	0	0	0.0%	0
Heartland Communities (6F)	1	0.0%	1	1	0.0%	0
7. Sprouting Explorers	0	0.0%	0	0	0.0%	0
Up and Coming Families (7A)	0	0.0%	0	0	0.0%	0
Urban Villages (7B)	0	0.0%	0	0	0.0%	0
Urban Edge Families (7C)	0	0.0%	0	0	0.0%	0
Forging Opportunity (7D)	0	0.0%	0	0	0.0%	0
Farm to Table (7E)	0	0.0%	0	0	0.0%	0
Southwestern Families (7F)	0	0.0%	0	0	0.0%	0

Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri



Tapestry Segmentation Area Profile

Township Boundary - Township Boundary

Prepared by Esri

Tapestry LifeMode Groups	2021 Households			2021 Adult Population		
	Number	Percent	Index	Number	Percent	Index
Total:	8,654	100.0%		15,508	100.0%	
8. Middle Ground	4,286	49.5%	459	7,269	46.9%	468
City Lights (8A)	0	0.0%	0	0	0.0%	0
Emerald City (8B)	0	0.0%	0	0	0.0%	0
Bright Young Professionals (8C)	0	0.0%	0	0	0.0%	0
Downtown Melting Pot (8D)	0	0.0%	0	0	0.0%	0
Front Porches (8E)	0	0.0%	0	0	0.0%	0
Old and Newcomers (8F)	4,286	49.5%	2,154	7,269	46.9%	2,370
Hometown Heritage (8G)	0	0.0%	0	0	0.0%	0
9. Senior Styles	1,320	15.3%	263	2,268	14.6%	292
Silver & Gold (9A)	0	0.0%	0	0	0.0%	0
Golden Years (9B)	0	0.0%	0	0	0.0%	0
The Elders (9C)	0	0.0%	0	0	0.0%	0
Senior Escapes (9D)	0	0.0%	0	0	0.0%	0
Retirement Communities (9E)	1,320	15.3%	1,272	2,268	14.6%	1,461
Social Security Set (9F)	0	0.0%	0	0	0.0%	0
10. Rustic Outposts	0	0.0%	0	0	0.0%	0
Southern Satellites (10A)	0	0.0%	0	0	0.0%	0
Rooted Rural (10B)	0	0.0%	0	0	0.0%	0
Economic BedRock (10C)	0	0.0%	0	0	0.0%	0
Down the Road (10D)	0	0.0%	0	0	0.0%	0
Rural Bypasses (10E)	0	0.0%	0	0	0.0%	0
11. Midtown Singles	348	4.0%	65	462	3.0%	55
City Strivers (11A)	0	0.0%	0	0	0.0%	0
Young and Restless (11B)	0	0.0%	0	0	0.0%	0
Metro Fusion (11C)	0	0.0%	0	0	0.0%	0
Set to Impress (11D)	348	4.0%	291	462	3.0%	253
City Commons (11E)	0	0.0%	0	0	0.0%	0
12. Hometown	0	0.0%	0	0	0.0%	0
Family Foundations (12A)	0	0.0%	0	0	0.0%	0
Traditional Living (12B)	0	0.0%	0	0	0.0%	0
Small Town Simplicity (12C)	0	0.0%	0	0	0.0%	0
Modest Income Homes (12D)	0	0.0%	0	0	0.0%	0
13. Next Wave	0	0.0%	0	0	0.0%	0
Diverse Convergence (13A)	0	0.0%	0	0	0.0%	0
Family Extensions (13B)	0	0.0%	0	0	0.0%	0
NeWest Residents (13C)	0	0.0%	0	0	0.0%	0
Fresh Ambitions (13D)	0	0.0%	0	0	0.0%	0
High Rise Renters (13E)	0	0.0%	0	0	0.0%	0
14. Scholars and Patriots	0	0.0%	0	0	0.0%	0
Military Proximity (14A)	0	0.0%	0	0	0.0%	0
College Towns (14B)	0	0.0%	0	0	0.0%	0
Dorms to Diplomas (14C)	0	0.0%	0	0	0.0%	0
Unclassified (15)	0	0.0%	0	0	0.0%	0

Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri



Tapestry Segmentation Area Profile

Township Boundary - Township Boundary

Prepared by Esri

Tapestry Urbanization Groups	2021 Households			2021 Adult Population		
	Number	Percent	Index	Number	Percent	Index
Total:	8,654	100.0%		15,508	100.0%	
1. Principal Urban Center	0	0.0%	0	0	0.0%	0
Laptops and Lattes (3A)	0	0.0%	0	0	0.0%	0
Metro Renters (3B)	0	0.0%	0	0	0.0%	0
Trendsetters (3C)	0	0.0%	0	0	0.0%	0
Downtown Melting Pot (8D)	0	0.0%	0	0	0.0%	0
City Strivers (11A)	0	0.0%	0	0	0.0%	0
NeWest Residents (13C)	0	0.0%	0	0	0.0%	0
Fresh Ambitions (13D)	0	0.0%	0	0	0.0%	0
High Rise Renters (13E)	0	0.0%	0	0	0.0%	0
2. Urban Periphery	0	0.0%	0	0	0.0%	0
Pacific Heights (2C)	0	0.0%	0	0	0.0%	0
Rustbelt Traditions (5D)	0	0.0%	0	0	0.0%	0
Urban Villages (7B)	0	0.0%	0	0	0.0%	0
Urban Edge Families (7C)	0	0.0%	0	0	0.0%	0
Forging Opportunity (7D)	0	0.0%	0	0	0.0%	0
Southwestern Families (7F)	0	0.0%	0	0	0.0%	0
City Lights (8A)	0	0.0%	0	0	0.0%	0
Bright Young Professionals (8C)	0	0.0%	0	0	0.0%	0
Metro Fusion (11C)	0	0.0%	0	0	0.0%	0
Family Foundations (12A)	0	0.0%	0	0	0.0%	0
Modest Income Homes (12D)	0	0.0%	0	0	0.0%	0
Diverse Convergence (13A)	0	0.0%	0	0	0.0%	0
Family Extensions (13B)	0	0.0%	0	0	0.0%	0
3. Metro Cities	6,241	72.1%	399	10,622	68.5%	410
In Style (5B)	287	3.3%	148	623	4.0%	193
Emerald City (8B)	0	0.0%	0	0	0.0%	0
Front Porches (8E)	0	0.0%	0	0	0.0%	0
Old and Newcomers (8F)	4,286	49.5%	2,154	7,269	46.9%	2,370
Hometown Heritage (8G)	0	0.0%	0	0	0.0%	0
Retirement Communities (9E)	1,320	15.3%	1,272	2,268	14.6%	1,461
Social Security Set (9F)	0	0.0%	0	0	0.0%	0
Young and Restless (11B)	0	0.0%	0	0	0.0%	0
Set to Impress (11D)	348	4.0%	291	462	3.0%	253
City Commons (11E)	0	0.0%	0	0	0.0%	0
Traditional Living (12B)	0	0.0%	0	0	0.0%	0
College Towns (14B)	0	0.0%	0	0	0.0%	0
Dorms to Diplomas (14C)	0	0.0%	0	0	0.0%	0

Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri



Tapestry Segmentation Area Profile

Township Boundary - Township Boundary

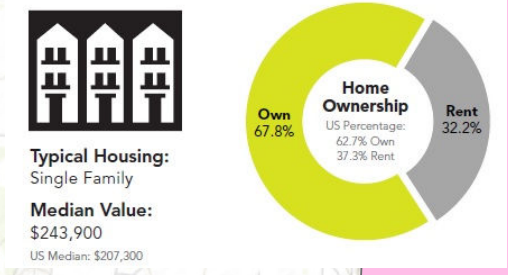
Prepared by Esri

Tapestry Urbanization Groups	2021 Households			2021 Adult Population		
	Number	Percent	Index	Number	Percent	Index
Total:	8,654	100.0%		15,508	100.0%	
4. Suburban Periphery	30	0.3%	1	79	0.5%	2
Top Tier (1A)	0	0.0%	0	0	0.0%	0
Professional Pride (1B)	0	0.0%	0	0	0.0%	0
Boomburbs (1C)	0	0.0%	0	0	0.0%	0
Savvy Suburbanites (1D)	0	0.0%	0	0	0.0%	0
Exurbanites (1E)	0	0.0%	0	0	0.0%	0
Urban Chic (2A)	0	0.0%	0	0	0.0%	0
Pleasantville (2B)	0	0.0%	0	0	0.0%	0
Enterprising Professionals (2D)	0	0.0%	0	0	0.0%	0
Workday Drive (4A)	0	0.0%	0	0	0.0%	0
Home Improvement (4B)	30	0.3%	20	79	0.5%	28
Comfortable Empty Nesters (5A)	0	0.0%	0	0	0.0%	0
Parks and Rec (5C)	0	0.0%	0	0	0.0%	0
Midlife Constants (5E)	0	0.0%	0	0	0.0%	0
Up and Coming Families (7A)	0	0.0%	0	0	0.0%	0
Silver & Gold (9A)	0	0.0%	0	0	0.0%	0
Golden Years (9B)	0	0.0%	0	0	0.0%	0
The Elders (9C)	0	0.0%	0	0	0.0%	0
Military Proximity (14A)	0	0.0%	0	0	0.0%	0
5. Semirural	436	5.0%	54	877	5.7%	62
Middleburg (4C)	435	5.0%	169	876	5.6%	190
Heartland Communities (6F)	1	0.0%	1	1	0.0%	0
Farm to Table (7E)	0	0.0%	0	0	0.0%	0
Senior Escapes (9D)	0	0.0%	0	0	0.0%	0
Down the Road (10D)	0	0.0%	0	0	0.0%	0
Small Town Simplicity (12C)	0	0.0%	0	0	0.0%	0
6. Rural	1,947	22.5%	133	3,930	25.3%	149
Green Acres (6A)	1,520	17.6%	539	3,110	20.1%	593
Salt of the Earth (6B)	0	0.0%	0	0	0.0%	0
The Great Outdoors (6C)	427	4.9%	312	820	5.3%	342
Prairie Living (6D)	0	0.0%	0	0	0.0%	0
Rural Resort Dwellers (6E)	0	0.0%	0	0	0.0%	0
Southern Satellites (10A)	0	0.0%	0	0	0.0%	0
Rooted Rural (10B)	0	0.0%	0	0	0.0%	0
Economic BedRock (10C)	0	0.0%	0	0	0.0%	0
Rural Bypasses (10E)	0	0.0%	0	0	0.0%	0
Unclassified (15)	0	0.0%	0	0	0.0%	0

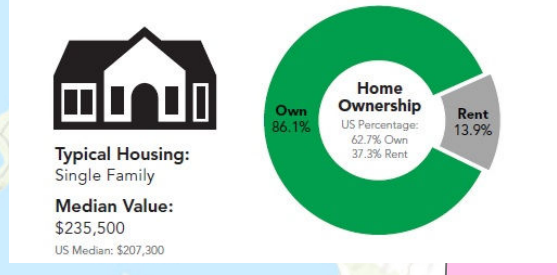
Data Note: This report identifies neighborhood segments in the area, and describes the socioeconomic quality of the immediate neighborhood. The index is a comparison of the percent of households or Total Population 18+ in the area, by Tapestry segment, to the percent of households or Total Population 18+ in the United States, by segment. An index of 100 is the US average.

Source: Esri

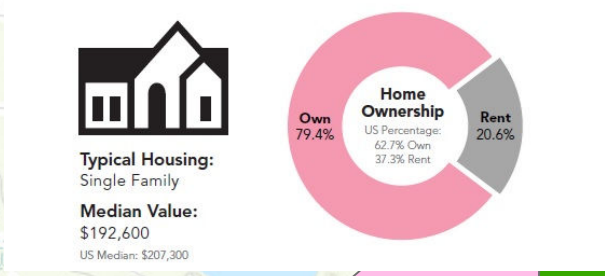
5B LifeMode Group: GenXurban
In Style



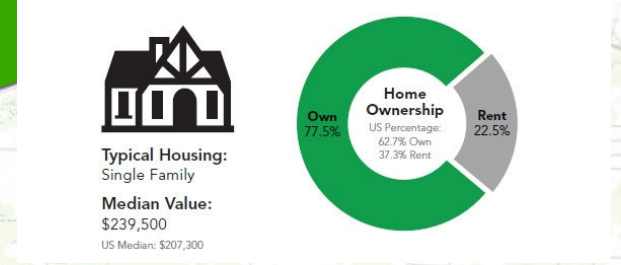
6A LifeMode Group: Cozy Country Living
Green Acres



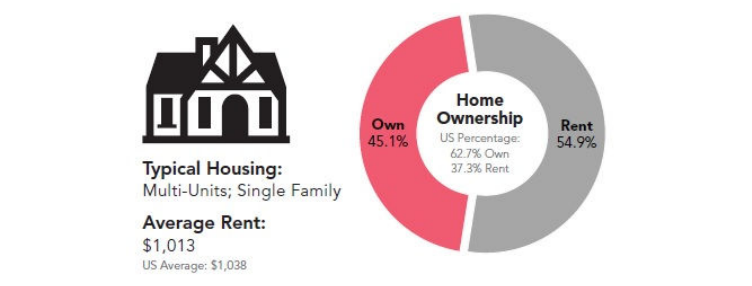
4B LifeMode Group: Family Landscapes
Home Improvement



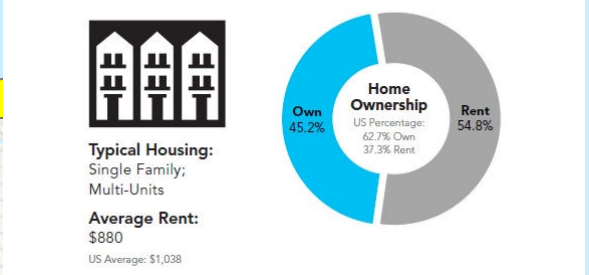
6C LifeMode Group: Cozy Country Living
The Great Outdoors



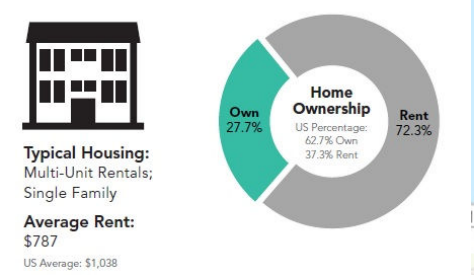
9E LifeMode Group: Senior Styles
Retirement Communities



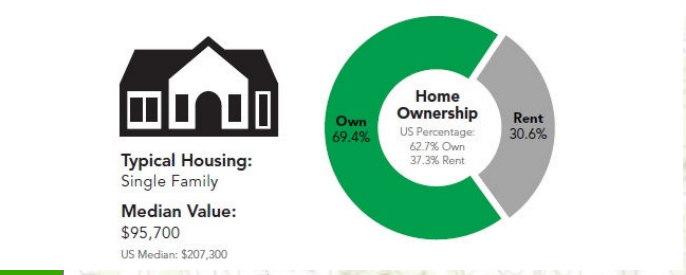
8F LifeMode Group: Middle Ground
Old and Newcomers



11D LifeMode Group: Midtown Singles
Set to Impress



6F LifeMode Group: Cozy Country Living
Heartland Communities



4C LifeMode Group: Family Landscapes
Middleburg

