

CHARTER TOWNSHIP OF GARFIELD
VIRTUAL PLANNING COMMISSION MEETING

Wednesday, July 8, 2020 at 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

The Wednesday, July 8, 2020 Planning Commission meeting at 7:00 pm will be held virtually due to COVID-19 and Governor Whitmer's Executive Order 2020-129: Temporary Authorization of Remote Participation in Public Meetings and Hearings and Temporary Relief from Monthly Meeting Requirements for School Boards. To provide input on any business that will come before the Commission or to contact the Commissioner(s), please send an email to the Township Planning Director, John Sych, at jsych@garfield-twp.com.

You are invited to join the Garfield Township Planning Commission Meeting on July 8, 2020 at 7:00 pm

Please click the link below to join the webinar:
<https://us02web.zoom.us/j/87245242628>

Or iPhone one-tap :

US: +13126266799,,87245242628#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799

Webinar ID: 872 4524 2628

International numbers available: <https://us02web.zoom.us/j/87245242628>

A G E N D A

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. **Review and approval of the Agenda – Conflict of Interest**
3. **Minutes** – June 24, 2020
4. **Correspondence**
5. **Reports**
 - a. Township Board
 - b. Planning Commissioners
 - c. Staff Report
6. **Unfinished Business**
 - a. PD 2020-101 – Oakleaf Village of Garfield Township PUD FOF
 - b. PD 2020-100 – Village at LaFranier Woods PUD Final
 - c. PD 2020-99 – 4051 Cedar Run C-O Rezoning – Withdrawal
 - d. PD 2020-103 – Chick-fil-A SUP – Withdrawal
 - e. PD 2020-105 – 3077 Garfield Conditional Rezoning Update
7. **New Business**
 - a. PD 2020-102 – Wendy's Restaurant SPR
 - b. PD 2020-104 – Property Maintenance Ordinance – Proposed Amendment
8. **Public Comment**
9. **Other Business**
10. **Items for Next Agenda – July 22, 2020**
 - a. Redevelopment Ready Communities – Status Update
 - b. Zoning Ordinance Use Chart Project – Update
 - c. Requirements for Siting Solar Energy Systems – Discussion
11. **Adjournment**

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412.

**CHARTER TOWNSHIP OF GARFIELD
VIRTUAL PLANNING COMMISSION MEETING
June 24, 2020**

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm via the ZOOM application.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Robert Fudge, Steve Duell, Joe McManus, Chris DeGood, Joe Robertson, Pat Cline, and John Racine

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:02)

Fudge moved and Cline seconded to approve the agenda as amended adding "In Person Meeting Discussion" to agenda item 9.

Yeas: Fudge, Cline, Duell, McManus, DeGood, Robertson, Racine

Nays: None

3. Minutes (7:06)

a. June 10, 2020

Duell moved and Cline seconded to adopt the minutes of June 10, 2020 as amended noting that on page two John Sych stated that the stub was placed as a dead end and not John Urbain; and the times need to be adjusted in items 10 to 8:34pm and item 11 to 8:37pm.

Yeas: Duell, Cline, Fudge, McManus, DeGood, Robertson, Racine

Nays: None

4. Correspondence (7:06)

None

5. Reports (7:06)

Township Board Report

Duell reported that the ZBA Fees were approved as presented. The revised Parkland Ordinance was approved and Tim Hughes was reappointed to the Joint Recreation Authority. Board members also reviewed the Township Strategic Plan and added Emergency Transport Services under the Public Safety item.

Planning Commissioners

None

Staff Report

Sych mentioned that the volume of applications may taper off slightly in the upcoming months.

6. Unfinished Business**a. PD 2020-97 Redevelopment Ready Communities – Self- Evaluation (7:11)**

John Sych said that staff has done the Self Evaluation portion of the Redevelopment Ready Community. Deputy Planner Hannon has already completed training, which is a requirement as well. Staff reviewed the six components of the Self Evaluation with commissioners and said that the MEDC would provide more feedback at an upcoming meeting. Sych explained the benefits of an RRC community and commissioners and Staff discussed the importance of attracting business to the area and to engage with community partners whenever possible. Staff suggested delaying any action on the application until they could meet with the MEDC and incorporate any feedback.

b. PD 2020-98 Zoning Ordinance Use Chart Project (7:37)

Staff said that this Use Chart is used on a daily basis with applicants and the public. Revisions will help staff, public, Commissioners and applicants to have a sense of the Zoning Ordinance and where a proposed project fits. Hannon gave an overview to recap where they are in this process of revision. He reiterated the six guiding principles and explained some of the uses that need further explanation and clarification in the definitions section. Commissioners gave feedback on definitions and inconsistencies in the ordinance and staff thought it may be prudent to revise ordinance definitions altogether to reduce any confusion.

7. New Business**a. Requirements for Siting Solar Energy Systems – Discussion (8:01)**

Staff has seen an uptick in solar energy systems in the area and believes that the ordinance ought to include such uses. Sych suggested that language pertaining to solar systems could be placed in the Essential Services portion of the ordinance. If it is a small private solar energy panel, it could be a use by right. Larger solar farms would need some type of management and possibly go through a Special Use Permit process at the Planning Commission level. Commissioners discussed the use and also touched upon the decommissioning of a larger solar farm use and a possible bond or ordinance language which cites what happens when the solar farm is no longer in use. Staff will continue to take suggestions from other municipal entities who already have such an ordinance in place and will revisit the item with commissioners in the near future.

b. Sidewalks Near North Long Lake Road and Zimmerman Road & TC West Senior High (8:28)

Sych showed a map which indicates where sidewalks are located in the area of Long Lake Road and Zimmerman Road and suggested where sidewalks will be required for developments. The proposed plan for the Oakleaf PUD has a multi -use path and a safe road crossing. With this new portion of sidewalk installed they will be abundant in the area and come close to connecting the schools. Staff is looking at a Property Maintenance police power ordinance for maintenance of the sidewalks.

8. Public Comment (8:40)

None

9. Other Business (8:41)

a. In Person Meeting Discussion

Staff and commissioners discussed whether the next meeting would be via Zoom or in person. After talking about social distancing and mask use, it was decided that the next meeting would be held via Zoom on July 8th.

10. Items for Next Agenda – July 8, 2020 (8:56)

- a. Oakleaf Village PUD FOF**
- b. Village at LaFranier Woods PUD Final**
- c. Chick-fil-A SUP Update**
- d. 3077 Garfield Conditional Rezoning Update**
- e. 4051 Cedar Run Rezoning – Withdrawal**
- f. Wendy’s SPR**

11. Adjournment

Fudge moved and Duell seconded to adjourn the meeting at 9:00pm.

Yeas: Fudge, Duell, Robertson, McManus, Cline, DeGood, Racine

Nays: None

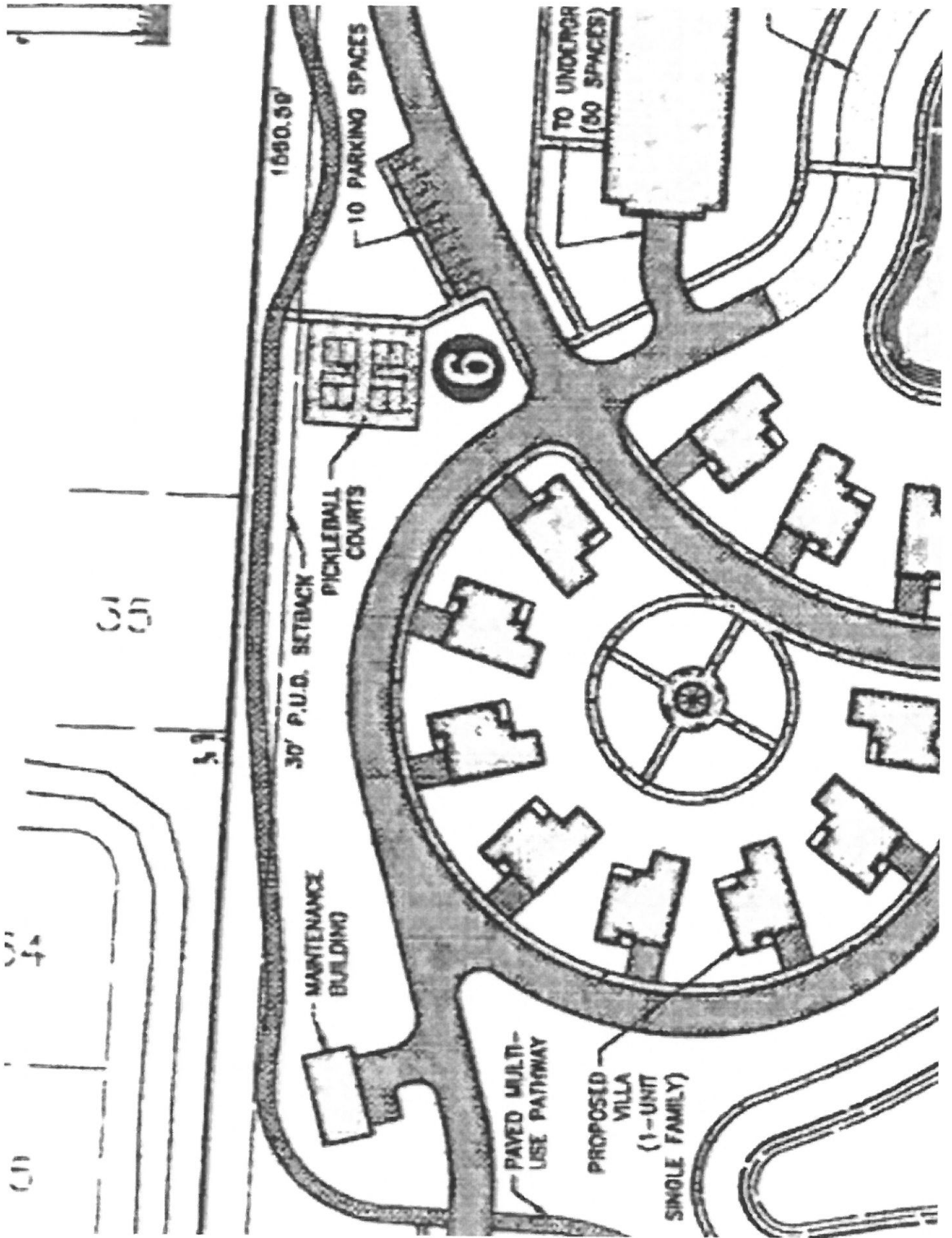
Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

John Sych

From: Kimberly Weiner <mikekimweiner@gmail.com>
Sent: Sunday, June 14, 2020 12:33 AM
To: John Sych
Subject: Help

John,

I need your help. I'm in the process of buying 5260 Eaglehurst. We started the process back in early March. After reviewing the latest information on the new development going in at [5143 North Long Lake Road](#) I'm hoping you can voice my concern about how close their bike path is to my future home. The Northern part of the path is at a 30' setback where there are NO neighboring homes, but once you get to lot 35 (5260 Eaglehurst) it's closer than the 30' setback and there aren't any homes on the opposite side of the path. I would appreciate some trees and space for privacy pushing the path to the 30 foot line.



Thank you,
Mike and Kimberly Weiner
Lot 35
5260 Eaglehurst

Sent from Kimberly's iPhone

John Sych

From: Ken Murray <kmurraytvc@gmail.com>
Sent: Thursday, June 18, 2020 9:15 AM
To: John Sych
Subject: Oakleaf proposed development

Hello, John Sych Garfield Township planner.

My name is Ken Murray. My wife Mary and I own a home located at 3713 Falcon Hurst Dr. in the Eagle Hurst Subdivision.

I recently received a copy of the proposed development of the 53 acres that neighbors our sub. While the new development appears to be a good fit to the area I am troubled by the possible connection to Ravenhurst Drive. The connection could/would place more traffic on an already busy road where people walk and kids play. In closing it just doesn't seem necessary or required. Also no one in our sub received notice of the P.U.D.

Thank You, Ken Murray

John Sych

From: Jess and Al Russell <jessal898@gmail.com>
Sent: Saturday, June 27, 2020 11:09 AM
To: John Sych
Subject: Concerns over Oakleaf connection to Eaglehurst Estates

John,

Forgive me if you are not the person to contact about this, but we are residents in the Eaglehurst Estates neighborhood and have serious concerns about connecting our little neighborhood to the new Village at Oakleaf development.

To be clear, we do not have issues with the development itself. only in needlessly tying it in to our neighborhood. This connection would increase traffic through the neighborhood as people will no doubt use it to try and avoid the lights at Herker and Zimmerman. I have a suspicion that it won't even be any faster, but that doesn't stop people from cutting through slabtown, Munson, NMC or any of the other areas of TC that have become victims of parade folks who are not inclined to wait in traffic.


Furthermore, it would not serve our neighborhood as it takes very little time for us to get in and out and we do not need another exit. I also don't see how this connection would benefit future Oakleaf residents. It just seems like a waste of asphalt.

We are planning to make our voices heard at the meeting on the 8th, but wanted to also submit our concerns in writing. It would be a real shame to disrupt our peaceful little neighborhood and put the safety of our families at risk with increased traffic.

Thank you for your time and attention.

James & Jessica Russell

5319 Ravenhurst Dr.
Traverse City, MI 49685

 Charter Township of Garfield Planning Department Report No. 2020-101			
Prepared:	July 1, 2020	Pages:	5
Meeting:	July 8, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Oakleaf Village of Garfield Township PUD – Findings of Fact		
Applicant:	Wallick Communities		
Owner:	OTTO, LLC		
File No.	PUD 2020-01		
Parcel No.	05-018-013-00		

SUBJECT PROPERTY:

- 5143 North Long Lake Road, west of Zimmerman Road
- 52.56 acres in area
- Currently undeveloped open land
- A-Agricultural zoning

PURPOSE OF APPLICATION:

The application proposes a Planned Unit Development (PUD) for senior living campus including the following:

- Phase 1 – 154 units
 - 155,000 square-foot one-story and two-story licensed Adult Care Facility (50 Independent Living Apartments, 60 Assisted Living, and 24 Memory Care units)
 - 20 Independent Living detached villas
 - 1,800 square-foot maintenance building
- Phase 2 – 75 units
 - 33 detached single-family homes
 - Addition to Adult Care Facility (30 Assisted Living and 12 Memory Care units)

Based on this configuration, 229 total units are proposed.

Aerial image of the subject property (property lines highlighted in blue):



PROCEDURE:

PUD applications shall be reviewed in a two-step process in accordance with Section 426.B Preliminary Review and Decision and with Section 426.C Final Review and Decision.

Preliminary review shall establish proposed land uses, project density, site layout and design, proposed vehicular and pedestrian circulation patterns, natural resource protection areas, open space, land use buffers, grading, storm water management patterns, and site servicing. Final engineering is not required for preliminary review and decision.

The Planning Commission held a public hearing on the PUD application on June 10, 2020. At this meeting, the Planning Commission shall make a preliminary recommendation to the Township Board on whether to approve or deny the request for preliminary PUD approval. Preliminary recommendation of a PUD shall specify all conditions that must be satisfied prior to submission of the PUD under Section 426.C Final Review and Decision.

Upon receipt of the Planning Commission's recommendation, the Township Board may hold a public hearing on the application for preliminary PUD approval and may specify additional conditions or requirements that shall be satisfied prior to submission of the PUD under Section 426.C Final Review and Decision.

Preliminary plans may not be changed or amended except as required by final engineering.

FINDINGS OF FACT:

- 1) An application has been received to develop a 229-unit Planned Unit Development (PUD) for senior living (including an adult care facility and detached villas) and single-family residential dwellings.
- 2) The proposed development will be comprised of the following two phases:
 - a. Phase 1 – 154 units containing a 155,000 square-foot one-story and two-story licensed Adult Care Facility (50 Independent Living Apartments, 60 Assisted Living, and 24 Memory Care units), 20 Independent Living detached villas, and an 1,800 square-foot maintenance building
 - b. Phase 2 – 75 units containing 33 detached single-family homes and an Addition to Adult Care Facility (30 Assisted Living and 12 Memory Care units)
- 3) The subject parcel is 52.56 acres located at 5143 North Long Lake Road.

Section 426.E(4) Criteria

- (a) The uses will be compatible with the natural environment, and with adjacent and surrounding land uses and properties, and will not have an adverse economic, social or environmental impact on adjacent and surrounding land uses and properties;
 - **Finding:** The Planning Commission finds that this standard HAS BEEN MET because the application proposes a variety of senior living and single family residential housing units which are compatible with surrounding institutional, multi-family, and single-family residential uses; are located on a large parcel which will provide open space and landscaping between uses; and will not have an adverse impact on adjacent or surrounding properties.

- (b) The uses will be compatible with the capacity of existing public services and facilities, or of planned and feasible future public services and facilities, and such use is consistent with the public health, safety and welfare of the Township residents;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development is located in an area with a variety of existing institutional, office, and residential uses and will be adequately served by existing available services, including water and sewer services. Other agency reviews have been conducted to ensure that road design and emergency service requirements have been met.
- (c) The uses and development are warranted by the design of additional amenities made possible with, and incorporated by, the development proposal;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development includes outdoor amenities such as a multi-use path, pocket neighborhood parks, outdoor patio, gazebos, pickleball courts and water features. The development will include many indoor amenities for residents including 24-hour care and security, state of the art dining and exercise facilities, multi-purpose room used for movie nights and large group activities, bistros and pubs, classes, planned indoor and outdoor activities, beauty salon and barbershop, and large living rooms to gather with friends and family.
- (d) Insofar as practicable, the landscape shall be preserved in its natural state by minimizing tree and soil disturbance and removal;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development has an extensive landscaping plan that utilizes existing trees where possible, provides landscaped buffers with adjacent properties and creates an attractive visual aesthetic for the site.
- (e) Existing important natural, historical and architectural features within the development shall be preserved;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the applicant has made reasonable efforts to provide open space on the property. The previous use of the site was farmland with no identifiable features.
- (f) Proposed buildings shall be sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the proposed building setbacks are compatible and create a residential campus setting for all the uses. Building architecture, street layouts, signs, park features, and landscaping create a unified look for the development.
- (g) With respect to vehicular and pedestrian circulation and parking, special attention shall be given to the location and number of access points to public streets, minimizing potential motorized/non-motorized conflict points, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe

and convenient and, insofar as is practicable, do not detract from the design of proposed structures and neighboring properties;

- Finding: The Planning Commission finds that the standard CAN BE MET because the proposed roadways, drives, sidewalks, and walking paths are laid out in a cohesive manner, including safe and separate areas for pedestrians and vehicles. However, two additional issues will need to be addressed:
 - i. Street connection to two adjacent neighborhoods are also proposed. The Road Commission is reviewing these connections to determine the best arrangement to facilitate maintenance of these connections.
 - ii. After review and agreement between the Road Commission and the applicant, the main entrance off North Long Lake Road in Phase I will require minor improvements by the applicant to the roadway to provide safe turning movements. For the entrance off Zimmerman Road in Phase II, the applicant is required to prepare a Traffic Impact Report. An updated Trip Generation Analysis has been provided by the applicant (see attached). The updated Analysis indicates that after completion of both phases the site will generate 958 total vehicular trips per day with 66 vehicular trips during the morning peak-hour and 87 vehicular trips during the afternoon peak-hour. These projections do not exceed the threshold requiring a Traffic Impact Report in the Zoning Ordinance; however, a Report is necessary to provide guidance to the Road Commission to determine the appropriate improvements to the Zimmerman Road entrance. The Report is not expected to impact the design and layout of the PUD and any required improvements will be performed by the applicant.

- (h) Landscaping is provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property and, where applicable, to create a pleasant pedestrian scale outdoor environment;
 - Finding: The Planning Commission finds that the standard HAS BEEN MET because consistent landscaping is proposed that is attractive and serves to provide buffers where needed.

- (i) The development consolidates and maximizes useable open space;
 - Finding: The Planning Commission finds that the standard HAS BEEN MET because the development plan provides approximately 12.6 acres of open space. Common areas and activities have also been identified, including multi-use path, pocket neighborhood parks, outdoor patio, gazebos, pickleball courts and water features.

- (j) The benefits of the development are not achievable under any single zoning classification; and
 - Finding: The Planning Commission finds that the standard HAS BEEN MET because the development plan presents a mixed-use development which is not achievable under any single zoning district.

- (k) The development is compatible with the intent and purpose of the adopted master plan.
 - Finding: The Planning Commission finds that the standard HAS BEEN MET because the development plan remains generally consistent with the Master Plan and surrounding

existing land uses. The planned density for the PUD is approximately 4.4 units per acre. Planned unit developments in the vicinity have densities ranging from 3.4 to 4.8 units per acre.

ACTION REQUESTED:

The following motion is offered for consideration:

MOTION THAT the Findings of Fact for application PUD 2020-01, as presented in Planning Department Report 2020-101, BE ADOPTED.

The following motion is recommended to grant *preliminary* approval for the project in accordance with Section 426 of the Zoning Ordinance, subject to the conditions as noted, and subject to conditions which are routinely added to all approvals.

MOTION THAT Application PUD 2020-01, submitted by Wallick Communities for the Oakleaf Village of Garfield Township PUD, BE RECOMMENDED FOR PRELIMINARY APPROVAL by the TOWNSHIP BOARD, subject to the following conditions:

1. Provide a Traffic Impact Report to determine needed improvements for the Zimmerman Road entrance to the PUD.
2. Obtain Road Commission determination on best arrangement to facilitate street connections with Heritage Estates and Eaglehurst Estates.
3. For the final review, the applicant shall obtain any necessary reviews or approvals from the Township Engineer, Grand Traverse Metro Fire Department, Grand Traverse County Department of Public Works, Grand Traverse County Road Commission, and Grand Traverse County Soil Erosion and Sedimentation Control.

Attachments:

1. Trip Generation Analysis from Progressive AE dated June 26, 2020
2. Oakleaf Village of Garfield Township PUD plan set provided by applicant dated June 29, 2020

June 26, 2020

Doug Hula, PE
Senior Geotechnical Engineer
Gosling Czubak Engineering Sciences, Inc.
1280 Business Park Drive
Traverse City, MI 49686

Re: Trip Generation Analysis
Oakleaf Village Development, Garfield Township, Grand Traverse County, MI

Dear Mr. Hula,

Progressive AE has completed a review of the anticipated future trip generation characteristics for the proposed Oakleaf Village project located on Long Lake Road in Garfield Township, Michigan. The following sections summarize our findings regarding the potential trip generation projections for the proposed site.

INTRODUCTION

As a part of the approval process for the proposed Oakleaf Village development, a trip generation analysis has been requested for the proposed development. The project will be constructed in two phases. In total, the proposed development will consist of 196 senior adult housing units, including 70 attached independent housing units, 90 assisted living units, and 36 memory care units. In addition, 33 single family homes (not restricted to seniors) are included in the project. Figure 1 shows the proposed site plan for the project.



Figure 1. Proposed Site Plan

TRIP GENERATION

The Trip Generation Manual, Tenth Edition, by the Institute of Transportation Engineers (ITE) was used to calculate the anticipated traffic that may be generated by the proposed site. Trips are measured individually for inbound and outbound movements; therefore, a visit to the site by an employee or visitor, for instance, generates two trips—one inbound and one outbound.

Based on the land use descriptions provided within the ITE Trip Generation Manual, the most applicable land uses for the proposed site would be the Single Family Residential (Land Use Code 210), Senior Adult Housing — Attached (Land Use 252) and Assisted Living (Land Use 254). As the memory care units are the most similar to the assisted living land use description, these units were included with the assisted living units for the purposes of the trip generation analysis.

The trip generation calculations were completed separately for Phase I and Phase II of the development. Phase I of the proposed development consists of 70 independent senior housing units, 60 senior assisted living units, and 24 senior memory care units. Phase II includes an additional 30 senior assisted living units and 12 senior memory care units. In addition, Phase II includes a 33-unit single family residential subdivision with no age restrictions. Table 1 shows the anticipated trip generation for the proposed site for both Phase I and Phase II.

Table 1. Oakleaf Village Trip Generation Summary

Land Use	ITE Code	Size	AM			PM			Daily Trips
			Total	Enter	Exit	Total	Enter	Exit	
Phase I									
Senior Adult Housing — Attached	252	70 units	14	5	9	19	10	9	256
Assisted Living	254	84 units (60 assisted living, 24 memory care)	16	10	6	22	8	14	218
Phase I Subtotal		154 units	30	15	15	41	18	23	474
Phase II									
Single Family Residential	210	33 units	28	7	21	35	22	13	375
Assisted Living	254	42 units (30 assisted living, 12 memory care)	8	5	3	11	4	7	109
Phase II Subtotal		75 units	36	12	24	46	26	20	484
Grand Total		229 units	66	27	39	87	44	43	958

Source: Progressive AE, June 2020

CONCLUSIONS

Based on the analyses performed, Phase I of the proposed Oakleaf Village development will have minimal impact to existing traffic operations along adjacent roadways. For Phase I, the site is anticipated to generate approximately 474 total vehicular trips (total entering and exiting) during the typical weekday, 30 vehicular trips (15 entering, 15 exiting) during the morning peak-hour and 41 vehicular trips (18 entering, 23 exiting) during the afternoon peak-hour.

At the completion of Phase II, the site is anticipated to generate approximately 958 total vehicular trips (total entering and exiting) during the typical weekday, 66 vehicular trips (27 entering, 39 exiting) during the morning peak-hour and 87 vehicular trips (44 entering, 43 exiting) during the afternoon peak-hour.

Garfield Township traffic impact study thresholds state that the minimum threshold for requiring a traffic impact study is 150 new peak-hour directional trips during either the morning or afternoon peak hour or 1,000 daily trips. **The proposed project's trip generation is anticipated to be below these thresholds after the completion of Phase I and Phase II.**

Sincerely,



Nicholas D. LaCroix, PE, PTOE
Senior Transportation Engineer

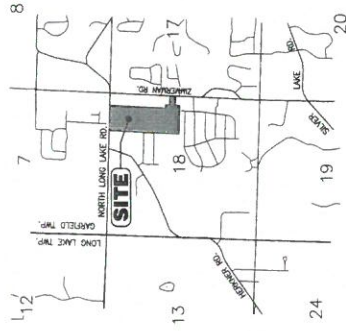


Christopher E. Zull, PE
Transportation Practice Leader

OAKLEAF VILLAGE OF GARFIELD TOWNSHIP
PLANNED UNIT DEVELOPMENT
 NE 1/4, SECTION 18, T27N-R11W
 GARFIELD CHARTER TOWNSHIP
 GRAND TRAVERSE COUNTY, MICHIGAN



SITE LOCATION MAP
 NOT TO SCALE



DRAWING INDEX

Sheet	Sheet Title
Cover Sheet	Cover Sheet
A-1	Site Plan
A-2	Main Entry Apartment Elevations
A-3	Assisted Living Villa Elevations
C-1	Loading Conditions and Description Plan
C-2	Site Layout Plan (Phase 1)
C-3	Site Layout Plan (Phase 2)
C-4	Entraged Site Plan (Sheet 1)
C-5	Entraged Site Plan (Sheet 2)
C-6	Soil Erosion and Sedimentation Control Plan
C-7	Overall Grading and Drainage Plan
C-8	Overall Utility Plan
L-0	Landscaping Cover Sheet
L-1	Overall Landscape Site Plan
L-2	Northwest Quadrant Planting Plan
L-3	Northeast Quadrant Planting Plan
L-4	Southwest Quadrant Planting Plan
L-5	Water Planting Plan
L-6	Stormwater Detention & Ponds Planting Plan
SE-1	Electric Site Plan
SE-2	Photovoltaic Plan
SE-3	Lighting Details



DEVELOPER

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 New Albany, OH 43054
 614.652.5604
 walick.com

ARCHITECT

RDL
 ARCHITECTS
 11150 Chippewa Blvd.
 Steiner Lakeside, OH 44120
 813.752.4300
 rdlarchitects.com

CIVIL ENGINEER

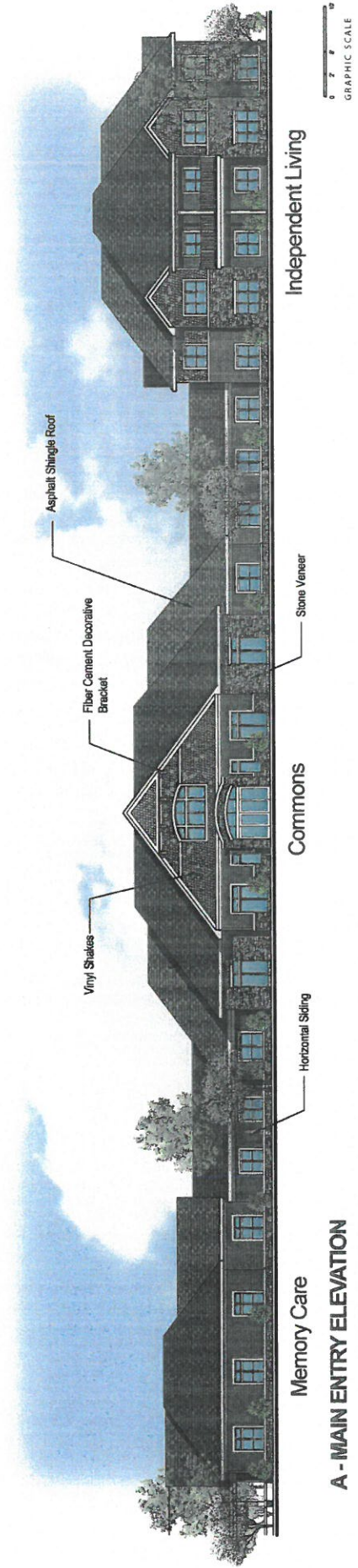


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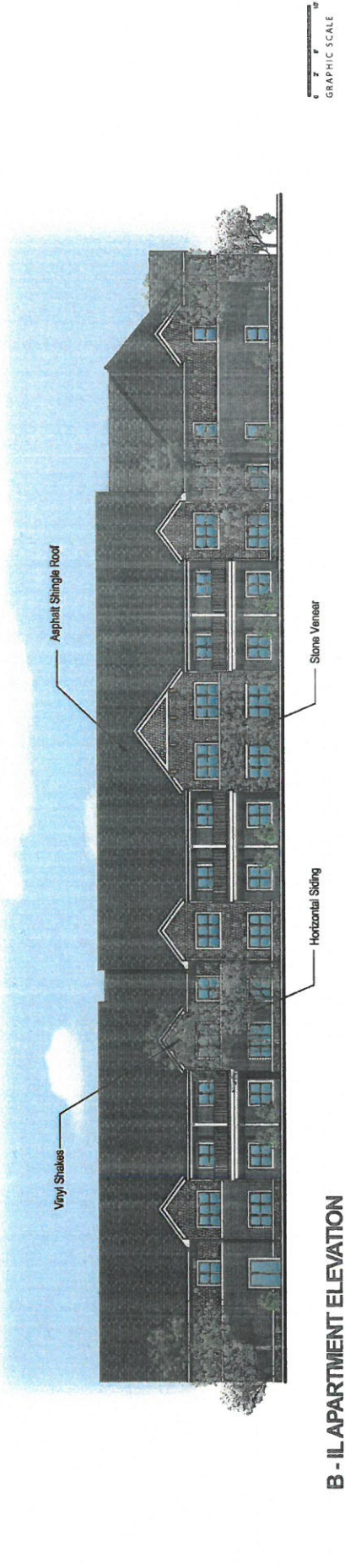


Independent Living

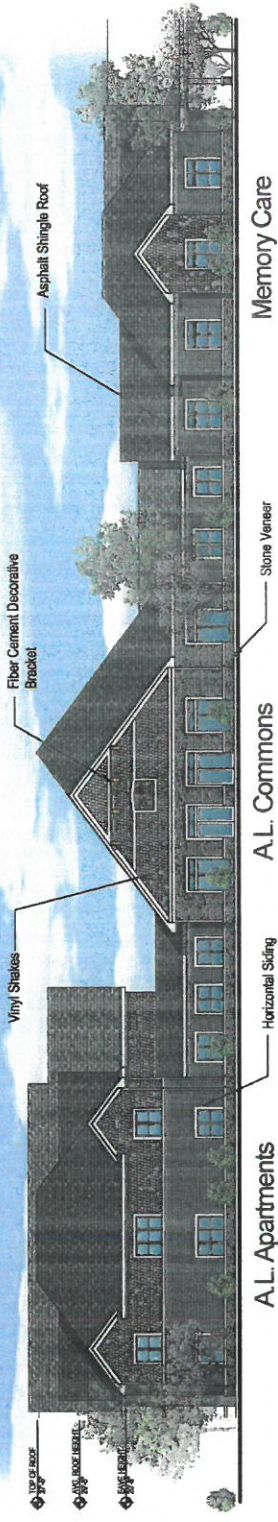
Commons

Memory Care

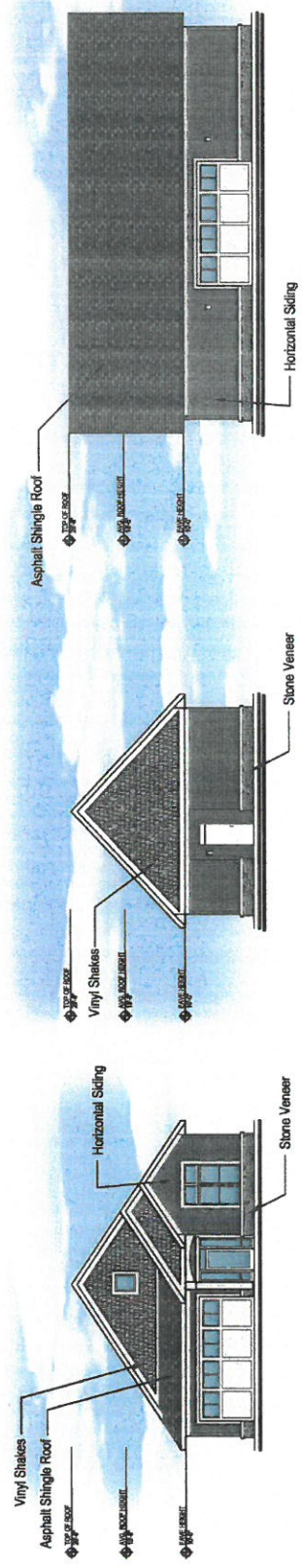
A - MAIN ENTRY ELEVATION



B - IL APARTMENT ELEVATION



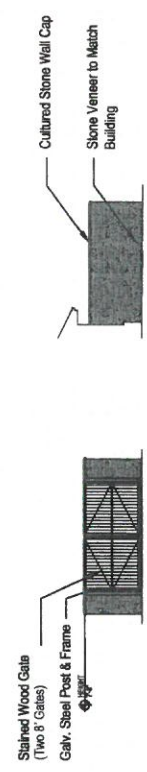
C- ASSISTED LIVING ELEVATION



VILLA ELEVATION

MAINTENANCE BUILDING ELEVATIONS

D - DUMPSTER ENCLOSURE ELEVATIONS



DEMOLITION NOTES

1. ALL BUILDINGS AND FOUNDATIONS WITHIN PROJECT LIMITS TO BE FULLY REMOVED.

2. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

3. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

4. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

5. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

6. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

7. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

8. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

9. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

10. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

PARCEL DESCRIPTION

FOR THE VILLAGE OF GARFIELD, GRAND TRAVEL COUNTY, MISSOURI.

SECTION 18, TOWNSHIP 27 NORTH, RANGE 17 WEST.

PARCELS 1-15.

DEMOLITION NOTES

1. ALL BUILDINGS AND FOUNDATIONS WITHIN PROJECT LIMITS TO BE FULLY REMOVED.

2. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

3. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

4. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

5. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

6. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

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8. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

9. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

10. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

DEMOLITION NOTES

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5. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

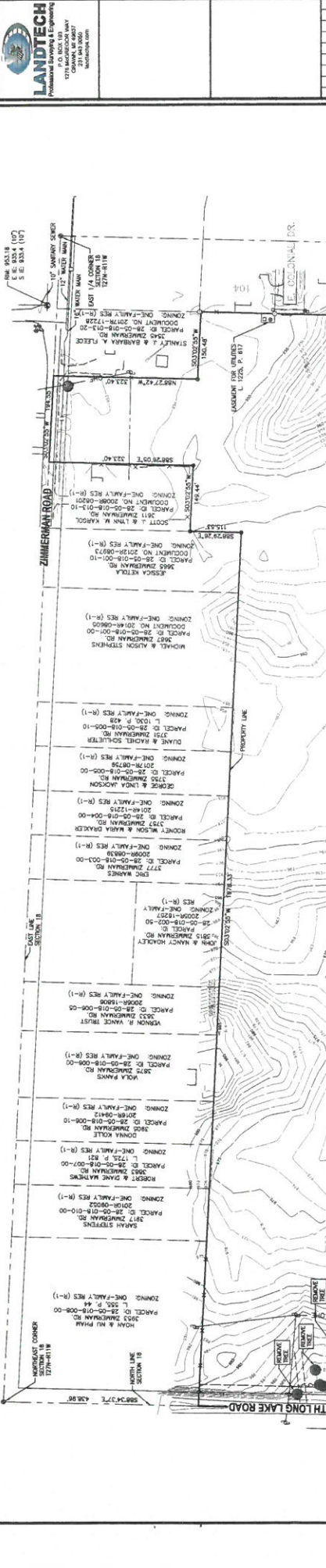
6. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

7. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

8. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

9. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.

10. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE REMOVED.



PROJECT: Oakleaf Village of Garfield Township
 SHEET TITLE: Existing Conditions and Demolition Plan

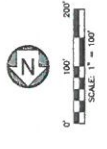
REV	DATE	DESCRIPTION
A	08/29/2018	PLANNING COMMISSION REVIEW
B	09/18/2018	REVISION
C	09/29/2018	REVISION

DESIGNED BY: JACOB J. BRUNS
 CHECKED BY: JACOB J. BRUNS
 DRAWN BY: JACOB J. BRUNS
 DATE PLOTTED: 09/29/2018

LANDTECH
 LAND SURVEYING & CONSULTING
 200 S. HIGHWAY 177
 GARFIELD, MISSOURI 64533
 (417) 242-5000

PLANS PREPARED BY: JACOB J. BRUNS

C-1
 SCALE: 1" = 100'

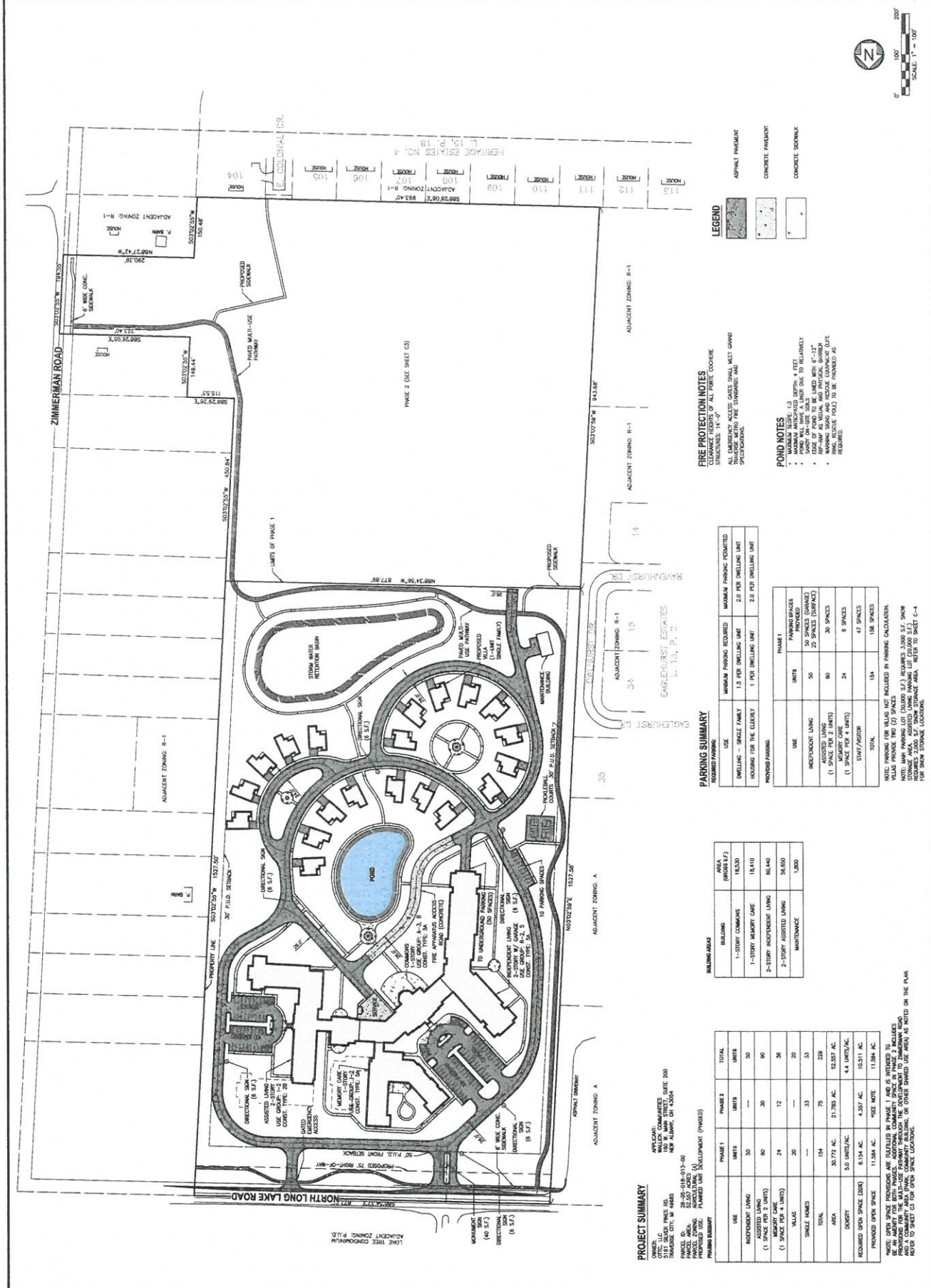


Oakleaf Village of Garfield Township
 Site Layout Plan (Phase I)

PROJECT SHEET TITLE

REV	DATE	DESCRIPTION
1	06-14-2025	PRELIMINARY
2	06-25-2025	PLANNING COMMISSION REVIEW
3	06-25-2025	FINAL REVIEW

LANDTECH
 Professional Surveying & Engineering
 1771 MACDONOUGH WAY
 GARFIELD TOWNSHIP
 231 241 5000
 landtech.com



LEGEND

[Symbol]	APPOINTMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE SIDEWALK

FIRE PROTECTION NOTES

1. ALL UTILITY COVERAGE SHALL BE PROVIDED FOR ALL STRUCTURES 14'-0" OR GREATER IN HEIGHT.

2. ALL EMERGENCY ACCESS ROADS SHALL MEET GARFIELD TOWNSHIP FIRE DEPARTMENT REQUIREMENTS.

- POND NOTES**
- 1. POND DEPTH SHALL BE 4 FEET.
 - 2. MAXIMUM ANTI-SUCK DEPTH SHALL BE 1.5 FEET.
 - 3. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
 - 4. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
 - 5. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
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 - 7. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
 - 8. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
 - 9. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.
 - 10. POND SHALL BE SURVEYED AND SET OUT TO RELIABLE SURVEY POINTS.

PARKING SUMMARY

REQUIRED PARKING	USE	MINIMUM PARKING REQUIRED	MAXIMUM PARKING PROVIDED
REQUIRED PARKING	DWELLING - SINGLE FAMILY	1.5 PER DWELLING UNIT	2.0 PER DWELLING UNIT
	HOUSING FOR THE ELDERLY	1 PER DWELLING UNIT	2.0 PER DWELLING UNIT
	PROPOSED PARKING		
PROPOSED PARKING	INDEPENDENT LIVING (50 SPACES)	50	50 SPACES (GARAGES)
	ASSISTED LIVING (25 SPACES)	25	25 SPACES (GARAGES)
	MEMORY CARE (30 SPACES)	30	30 SPACES
	MAINTENANCE BUILDING (24 SPACES)	24	24 SPACES
	TOTAL	154	154 SPACES

MAINTENANCE AREAS

BUILDING	AREA (SQUARE FEET)
1-STORY COMMONS	18,530
1-STORY MEMORY CARE	18,410
2-STORY INDEPENDENT LIVING	60,440
2-STORY ASSISTED LIVING	58,850
MAINTENANCE	1,900

PROJECT SUMMARY

USE	PHASE I	PHASE II	TOTAL
INDEPENDENT LIVING	50	0	50
ASSISTED LIVING (1 UNIT PER 4 UNITS)	25	0	25
MEMORY CARE	30	0	30
MAINTENANCE	24	0	24
TOTAL	129	0	129
AREA	53,772 AC.	21,789 AC.	75,561 AC.
DENSITY	3.5 UNITS/AC.	4.1 UNITS/AC.	4.1 UNITS/AC.
PROVIDED OPEN SPACE	11,541 AC.	4,337 AC.	15,878 AC.
PROVIDED OPEN SPACE (NET)	11,541 AC.	4,337 AC.	15,878 AC.

NOTE: OPEN SPACE PROVISIONS ARE FULFILLED IN PHASE I AND IS INTENDED TO PROVIDE FOR THE MULTI-USE PARKING THROUGHOUT THE DEVELOPMENT TO MAINTAIN ROAD ACCESS TO ALL PHASES AND TO PROVIDE OPEN SPACE ACCESS TO ALL PHASES.

PROJECT SUMMARY

OWNER: WALKER COMMUNITIES
 PROJECT: OAKLEAF VILLAGE
 ADDRESS: 231 241 5000
 COUNTY: GARFIELD TOWNSHIP
 STATE: NJ
 PROJECT NO.: 23-05-018-013-00
 SHEET NO.: 23-05-018-013-00-001
 DATE: 06-14-2025



APRINT PAVEMENT
CONCRETE PAVEMENT
CONCRETE SIDEWALK
OPEN SPACE
OPEN SPACE BOUNDARY

LEGEND

PHASE 2 DIMENSIONAL STANDARDS
(COMPLY WITH R-1 ZONING STANDARDS)

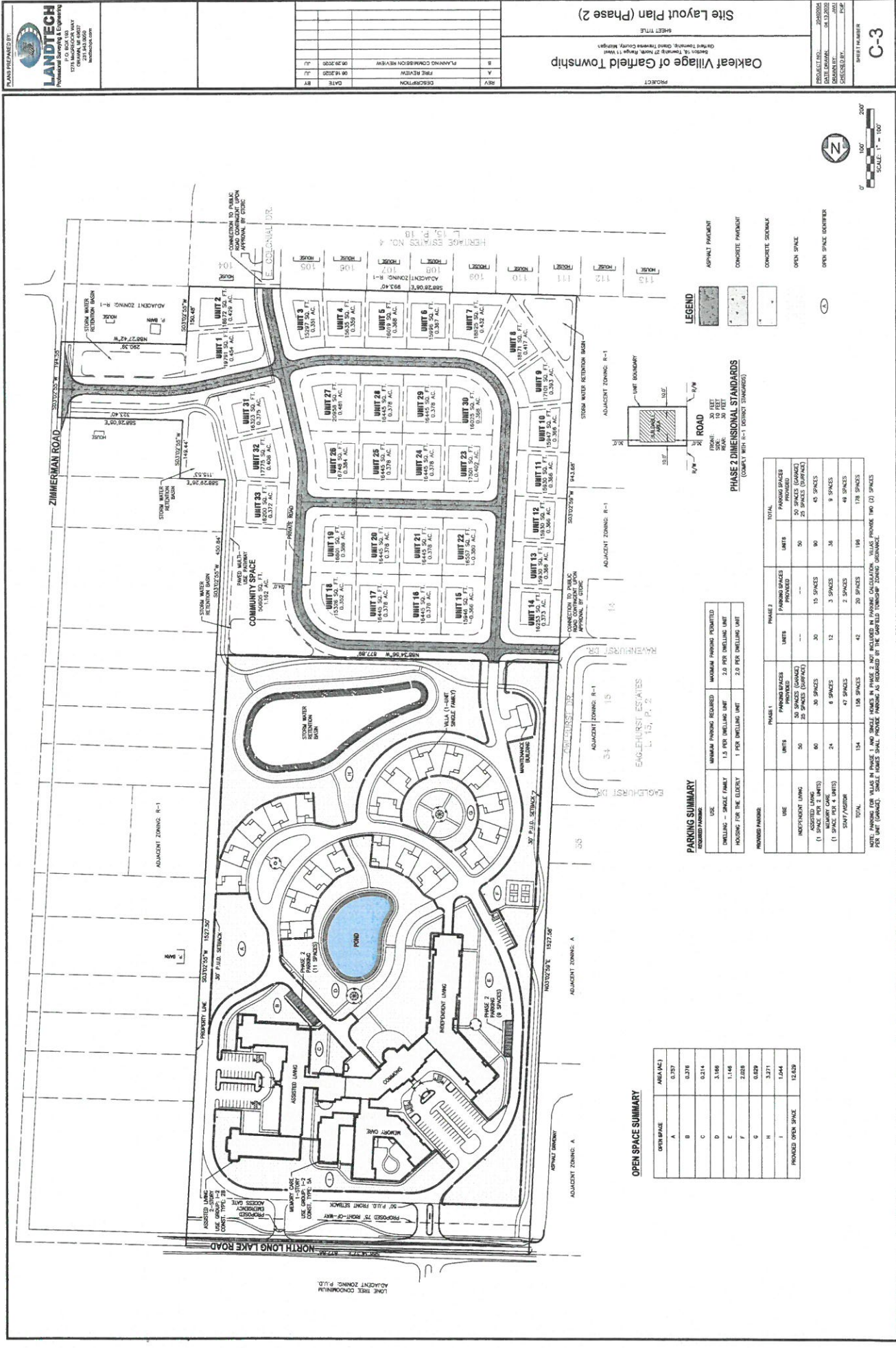
USE	PHASE 1		PHASE 2		TOTAL	
	UNITS	PARKING SPACES PROVIDED	UNITS	PARKING SPACES PROVIDED	UNITS	PARKING SPACES PROVIDED
INDEPENDENT LIVING	50	30 SPACES (60 SPACES)	---	---	50	30 SPACES (60 SPACES)
ASSISTED LIVING (1 SPACE PER 2 UNITS)	60	30 SPACES	30	15 SPACES	90	45 SPACES
ASSISTED LIVING (1 SPACE PER 4 UNITS)	24	47 SPACES	12	3 SPACES	36	9 SPACES
SWAY/HOUSE	154	108 SPACES	42	2 SPACES	196	110 SPACES
TOTAL						

PARKING SUMMARY

USE	MINIMUM PARKING REQUIRED	MAXIMUM PARKING PERMITTED
DWELLING - SINGLE FAMILY	1.5 PER DWELLING UNIT	2.0 PER DWELLING UNIT
HOUSING FOR THE ELDERLY	1 PER DWELLING UNIT	2.0 PER DWELLING UNIT

OPEN SPACE SUMMARY

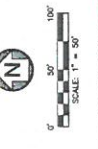
OPEN SPACE	AREA (AC)
A	0.737
B	0.378
C	0.214
D	3.186
E	1.146
F	2.028
G	0.829
H	3.271
I	1.544
TOTAL	12.829



PROJECT: Oakleaf Village of Garfield Township
 SHEET TITLE: Site Layout Plan (Phase 2)
 SHEET NUMBER: C-3

REV	DATE	DESCRIPTION
A	06/16/2020	FINAL REVIEW
B	06/16/2020	PLANNING COMMISSION REVIEW
C	06/28/2020	

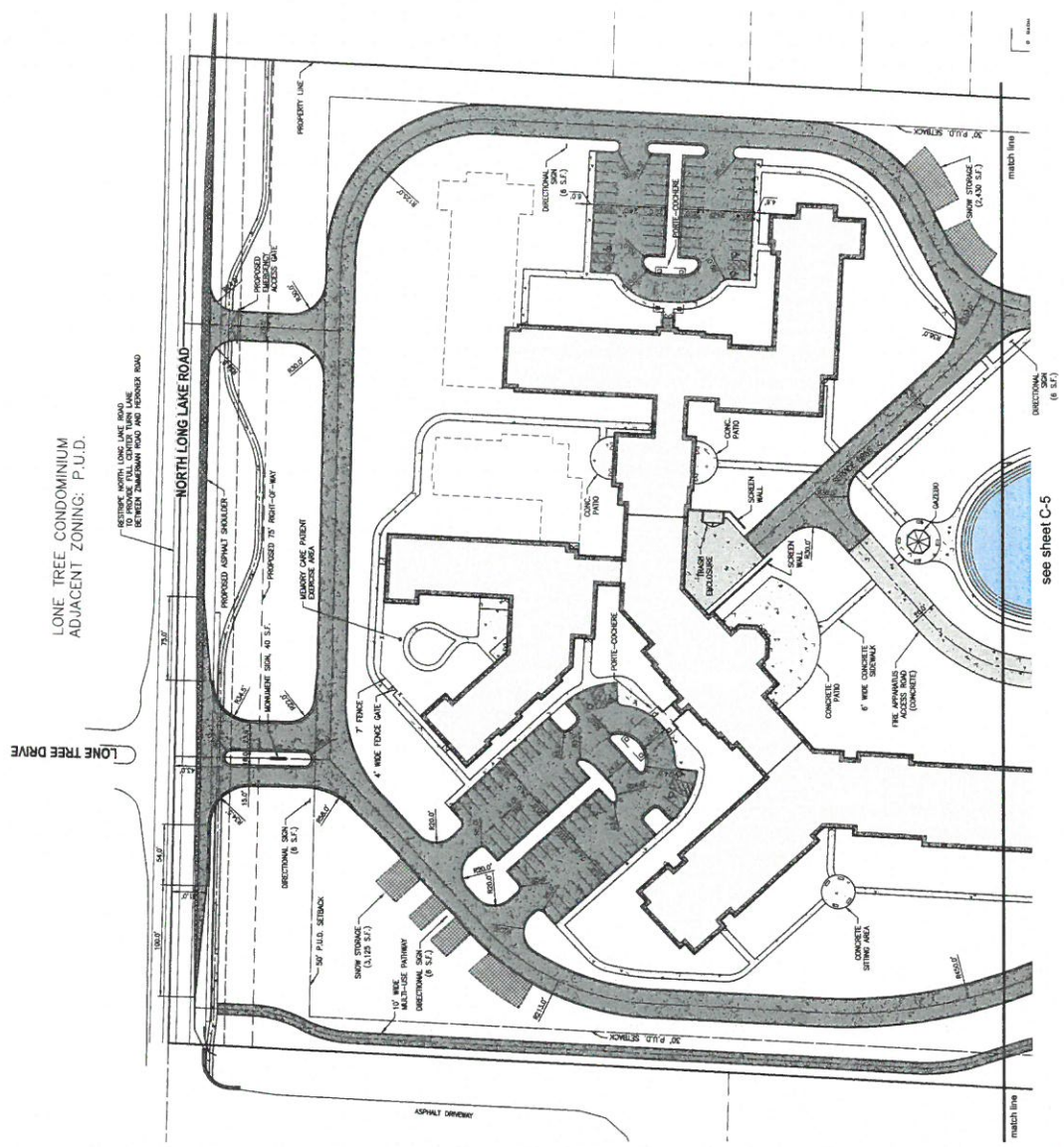
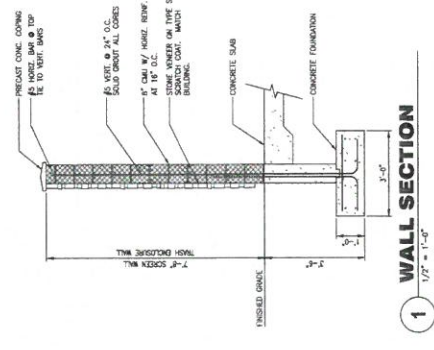
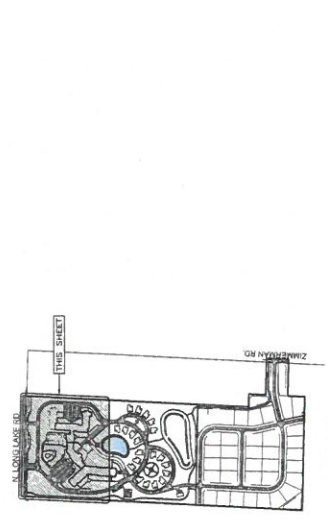
LANDTECH
 Professional Land Surveying & Engineering
 1775 HARRISON BLVD., SUITE 100
 WASHINGTON, DC 20004
 202-462-1000



PROJECT NUMBER: C-4
 SHEET NUMBER: C-4

PROJECT: Oakleaf Village of Garfield Township
 Enlarged Site Plan (Sheet 1)
 SHEET TITLE: Enlarged Site Plan (Sheet 1)
 DATE: 08/29/2023
 BY: J.L.
 CHECKED BY: J.L.
 DATE: 08/29/2023
 DESCRIPTION: PLANNING COMMISSION REVIEW

LANDTECH
 Professional Surveying & Engineering
 1370 ALLEGANNE WAY
 ALLEGANNE, MI 49701
 261.943.0500
 landtech.com



LONE TREE CONDOMINIUM
 ADJACENT ZONING: P.U.D.

see sheet C-5



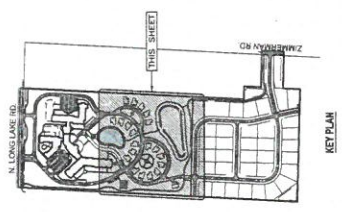
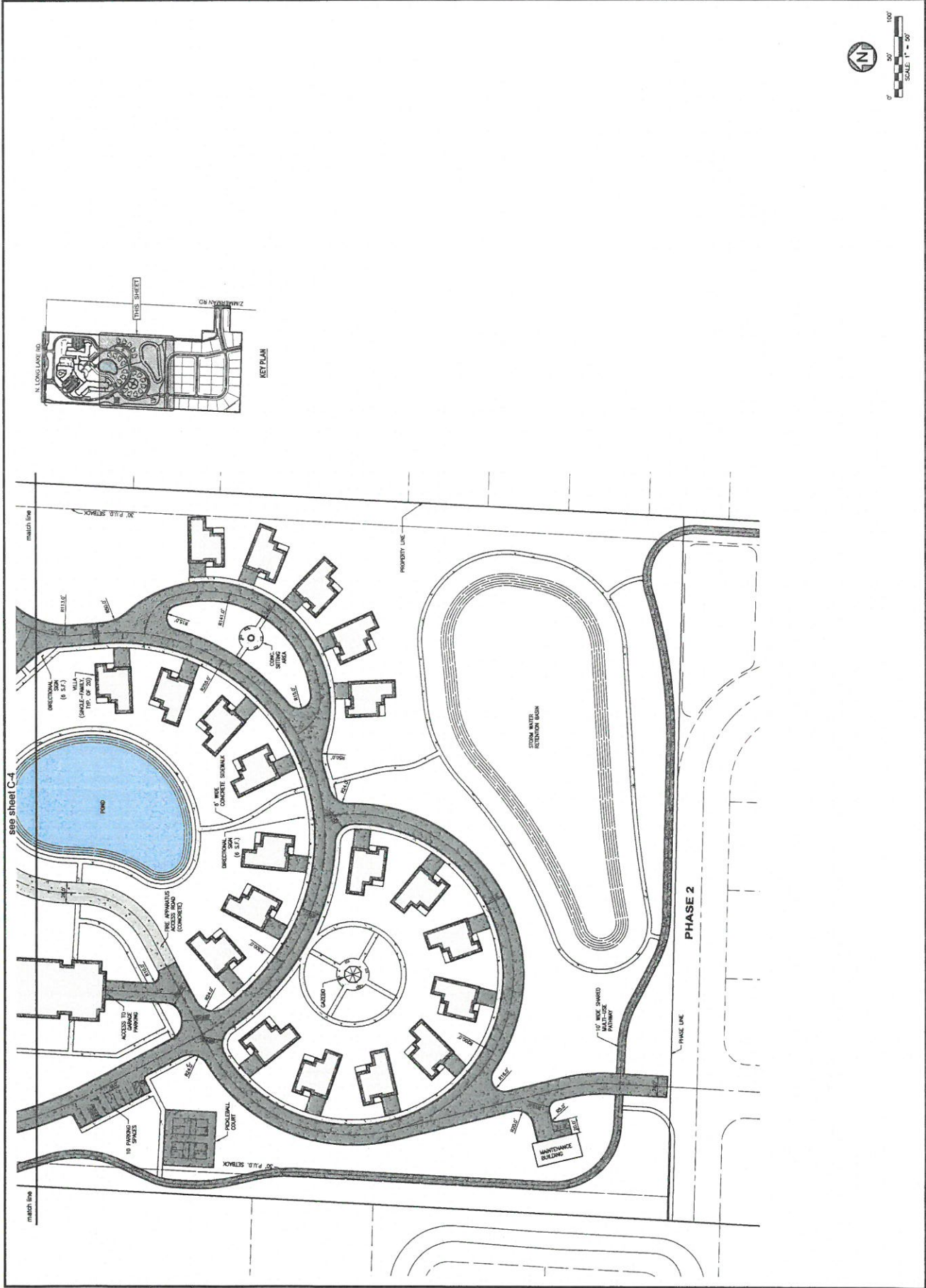
PROJECT NO.: 20150086
DATE: 06/16/2020
DRAWN BY: JACOB
CHECKED BY: JACOB
SCALE: AS SHOWN

Oakleaf Village of Garfield Township
Garfield Township, Garfield Township, Michigan
Sector 18, Township 27 North, Range 11 West

Enlarged Site Plan (Sheet 2)

REV	DESCRIPTION	DATE	BY
A	FINAL REVIEW	06/16/2020	JAC
B	PLANNING COMMISSION REVIEW	06/29/2020	JAC

LANDTECH
PLANNING & ENGINEERING
1375 HARBORVIEW WAY
ANN ARBOR, MI 48106
TEL: 734.661.2600
WWW.LANDTECHMI.COM



see sheet C-4

PHASE 2

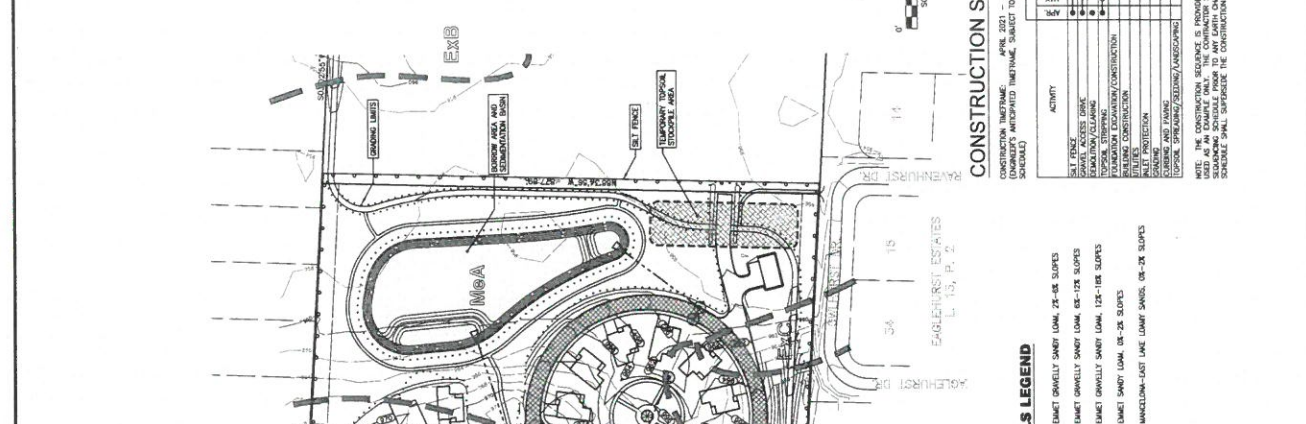
SOIL EROSION CONTROL NOTES

THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 307 OF THE GRAND TRAVELER COUNTY, SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF GRAND TRAVELER COUNTY.
2. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF GRAND TRAVELER COUNTY.
3. THE CONTRACTOR SHALL MAINTAIN THE PROTECTION OF EXISTING ADJACENT PROPERTY, WATERWAYS, AND OPEN CHANNELS THROUGHOUT THE LIFE OF THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES.
5. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
6. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
7. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
8. IF ANY DRAINAGE IS REQUIRED, IT SHALL BE DESIGNATED THROUGH A FILTER BAG OVER A SAND FILTER AND SHALL BE DISCHARGED AT A MINIMUM VELOCITY. IF NECESSARY, AN APPROVED UNDER-DRAINAGE SYSTEM MAY BE USED.
9. DRAINAGE DEVICES SHALL BE MAINTAINED FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY OTHER AREAS WHERE EROSION CONTROL MEASURES ARE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
10. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY OTHER AREAS SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OF THE FINAL FILL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
11. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
12. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.

MAINTENANCE NOTES

1. ALL DIRT AND MATERIAL TRACKED OFF SITE SHALL BE CLEANED UP AND THE TRACKING SHALL BE MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR.
2. SHOULD DIRT BECOME A PROBLEM AT THE SITE, THE CONTRACTOR SHALL PROVIDE WATERING OR OTHER MEANS OF DIRT CONTROL, ACCEPTABLE TO THE LOCAL SOIL EROSION CONTROL AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES ON ALL AREAS TO BE CONSTRUCTED OR CHANGED CONDITIONS.
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CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE: APRIL 2021 - JULY 2021 (CONTRACTOR'S ANTICIPATED TIMING, SUBJECT TO CHANGE BASED ON CONTRACTOR'S SCHEDULE)

DATE	ACTIVITY
APR 15, 2021	SOIL TESTS
APR 20, 2021	PERMITTING APPLICATION
APR 25, 2021	UTILITY LOCATIONS
MAY 5, 2021	GRADING AND EXCAVATION
MAY 15, 2021	INSTALLATION OF EROSION CONTROL DEVICES
MAY 25, 2021	FOUNDATION WORK
JUN 5, 2021	FRAMING
JUN 15, 2021	MECHANICAL/ELECTRICAL/PLUMBING
JUN 25, 2021	ROOFING
JUL 5, 2021	LANDSCAPING

USDA SOILS LEGEND

EXB ERECT GIMMELLY SANDY LOAM, 2% - 6% SLOPES
 EXC ERECT GIMMELLY SANDY LOAM, 6% - 12% SLOPES
 EXD2 ERECT GIMMELLY SANDY LOAM, 12% - 18% SLOPES
 EXA ERECT SANDY LOAM, 0% - 2% SLOPES
 M6a MANICELLOM-COAST LAKE LOAMY SANDS, 0% - 2% SLOPES

EROSION CONTROL LEGEND

SILT FENCE
 CONCRETE WASH-OUT PIT
 CATCH BASIN INLET FILTER

811. You want better. Call before you dig.

ALL UTILITIES ARE SHOWN AND ANY UTILITIES NOT SHOWN SHOULD BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THIS AREA.

REV	DATE	DESCRIPTION
8	06/22/20	PLANNING COMMISSION REVIEW
A	08/16/20	FINAL REVIEW
B	08/26/20	JULY



PHASE 1

31 ACRES
DRAINAGE AREA: 105,470 S.F.
RAINFALL CURVE: 60%
WETLANDS: 279,140 S.F.
POND VOLUME: 1,120,000 GAL.
POND VOLUME REQUIRED: 1,120,000 GAL.
POND VOLUME PROVIDED: 1,120,000 GAL.

PHASE 2

21 ACRES
DRAINAGE AREA: 92,100 S.F.
RAINFALL CURVE: 60%
WETLANDS: 279,140 S.F.
POND VOLUME: 1,120,000 GAL.
POND VOLUME REQUIRED: 1,120,000 GAL.
POND VOLUME PROVIDED: 1,120,000 GAL.

A TOTAL OF FOUR (4) RETENTION BASINS ARE PLANNED FOR PHASE 1. TWO (2) OF THESE BASINS WILL BE PLANNED TO PROVIDE STORAGE FOR PHASE 2, PROVIDING AN APPROPRIATE SLOPE TO GRADE AND ENSURE PROPER FLOW OF STORM WATER FROM THE RETENTION BASIN TO THE POND. THE OTHER TWO (2) BASINS WILL BE PLANNED TO PROVIDE STORAGE FOR PHASE 1. CONSTRUCTION MATERIALS TO BE UTILIZED SHALL BE DETERMINED BY THE ENGINEER BASED ON THE RESULTS OF TESTING.

PHASE 1

31 ACRES
DRAINAGE AREA: 105,470 S.F.
RAINFALL CURVE: 60%
WETLANDS: 279,140 S.F.
POND VOLUME: 1,120,000 GAL.
POND VOLUME REQUIRED: 1,120,000 GAL.
POND VOLUME PROVIDED: 1,120,000 GAL.

PHASE 2

21 ACRES
DRAINAGE AREA: 92,100 S.F.
RAINFALL CURVE: 60%
WETLANDS: 279,140 S.F.
POND VOLUME: 1,120,000 GAL.
POND VOLUME REQUIRED: 1,120,000 GAL.
POND VOLUME PROVIDED: 1,120,000 GAL.

DRAINAGE SUMMARY

PHASE 1 AND PHASE 2 CONSIST OF WELL-DIVIDED CLAY SAND AND SANDY LOAM. AN ADEQUATE OULLET FOR THE INFILTRATION SYSTEM IS PRESENT AT THE SITE. INFILTRATION TRENCHES WILL BE INSTALLED TO PROVIDE 24-HOUR INFILTRATION. 100-TON-LOADING-TRUCKS WILL BE USED FOR INFILTRATION TRENCHES.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS. EXACT LOCATIONS SHALL BE DETERMINED BY THE CLIENT. LOCATIONS OF UTILITIES SHALL BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

811
Know what's below.
Call before you dig.

STRUCTURE NAME	DAMETER	FORM CL.	CASTING	IE IN.	IE OUT
CB-23	48"	996.00	MOOT K	18" N 827.63	24" SW 857.83
CB-24	48"	998.03	MOOT K	18" SE 858.83	18" NW 858.58
CB-25	48"	998.48	MOOT K	18" SE 900.98	18" NW 902.71
CB-26	24"	998.48	MOOT K	18" SE 900.98	18" NW 902.71
CB-28	48"	973.71	MOOT K	12" SE 998.29	18" SW 998.61
CB-29	24"	973.71	MOOT K	12" SE 998.29	18" SW 998.61
CB-30	24"	973.71	MOOT K	18" N 967.63	18" SW 967.75
CB-31	48"	973.67	MOOT K	18" N 967.63	18" SW 967.75
CB-32	24"	973.67	MOOT K	18" N 967.63	18" SW 967.75
CB-33	48"	974.31	MOOT K	15" N 968.48	15" SE 968.28
CB-34	48"	974.31	MOOT K	15" N 968.48	15" SE 968.28
CB-35	48"	975.74	MOOT K	15" N 968.48	15" SE 968.28
CB-36	24"	975.74	MOOT K	15" N 968.48	15" SE 968.28
CB-37	48"	973.60	MOOT K	12" SE 971.60	18" SE 971.60
CB-38	24"	973.60	MOOT K	12" SE 971.60	18" SE 971.60
CB-39	24"	982.42	MOOT K	15" N 973.94	15" SE 973.96
CB-19	24"	982.30	MOOT K	15" N 973.94	15" SE 973.96
CB-21	48"	982.38	MOOT K	12" N 977.13	15" W 977.08
CB-22	24"	982.38	MOOT K	12" N 977.13	15" W 977.08

STRUCTURE NAME	DAMETER	FORM CL.	CASTING	IE IN.	IE OUT
CB-41	24"	971.37	MOOT K	12" NE 945.27	12" NE 946.56
CB-42	48"	971.00	Standard	30" W 944.80	30" W 944.72
MB-1	60"	970.25	1040/A	24" NE 954.82	30" W 954.72
MB-2	60"	968.00	1040/A	30" W 955.33	30" W 955.25
MB-5	60"	968.00	1040/A	15" N 968.00	30" W 968.00
MB-6	60"	968.00	1040/A	12" W 981.90	30" W 982.00
MB-17	48"	976.00	1040/A	15" NE 971.48	15" W 971.39
MB-20	48"	983.84	1040/A	15" E 976.30	15" W 976.22
MB-27	48"	973.38	1040/A	18" N 968.85	18" SW 968.77
MB-28	48"	976.48	1040/A	15" NE 965.60	15" SE 955.72

DRAINAGE DISTRICTS	DRAINAGE DISTRICT (AC)	RUNOFF COEFFICIENT
3	0.178	0.60
4	0.127	0.55
5	1.077	0.55
10	3.774	0.60
11	1.255	0.55
15	1.450	0.55
16	1.516	0.55
17	0.918	0.60
18	0.831	0.60
23	0.552	0.60
24	0.179	0.60
25	0.233	0.60
26	1.129	0.45
29	0.160	0.60
30	0.844	0.75
31	0.327	0.60
32	1.139	0.55

DRAINAGE DISTRICTS	DRAINAGE DISTRICT (AC)	RUNOFF COEFFICIENT
33	0.523	0.60
35	0.163	0.60
36	0.873	0.55
37	0.886	0.75
38	1.043	0.60
40	2.096	0.55
41	0.114	0.55
87	1.056	0.60
98	1.167	0.60
99	2.861	0.75

DISTRICT NUMBERS CORRESPOND TO DISTRICTS 91-99
TO BE USED FOR LOADS OF DISTRICTS 91-99

PROJECT NO.	20080205
DATE	08/14/08
DRAWN BY	LANDTECH
CHECKED BY	LANDTECH
DATE	

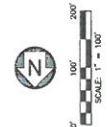
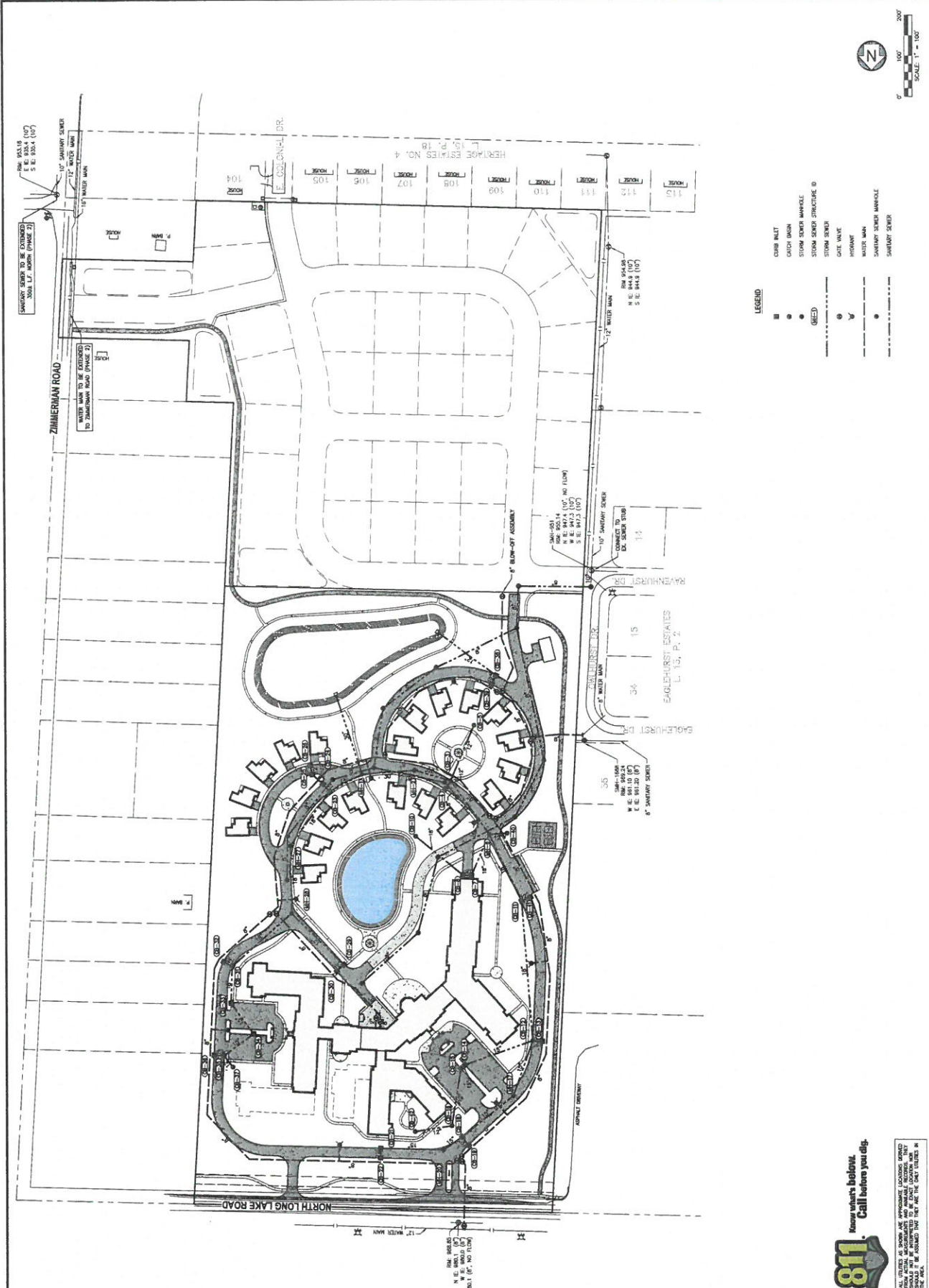
Oakleaf Village of Garfield Township
 Oakleaf Township, Garfield County, Michigan
 Section 18, Township 27 North, Range 11 West

Overall Utility Plan
 SHEET TITLE

REV	DESCRIPTION	DATE	BY
5	PLANNING COMMISSION REVIEW	08/14/2008	JL
4	FINAL REVIEW	08/29/2008	JL

PLANS PREPARED BY:

LANDTECH
 Professional Surveying & Engineering
 1379 BUCKLEBOUR WAY
 SUITE 200
 48110-3900
 248-354-5000
 landtech.com



- LEGEND**
- CB/8 INLET
 - CATCH BASIN
 - STORM SEWER MANHOLE
 - STORM SEWER STRUCTURE @
 - STORM SEWER
 - DATE WAIVE
 - HYDRAWT
 - WATER MAIN
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER

811
 Know what's below.
 Call before you dig.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS BASED ON RECORD DRAWINGS. FIELD VERIFICATION OF ALL UTILITIES SHOULD BE CONDUCTED PRIOR TO ANY EXCAVATION WORK IN THE AREA.

OAKLEAF VILLAGE

TRAVERSE CITY, MICHIGAN

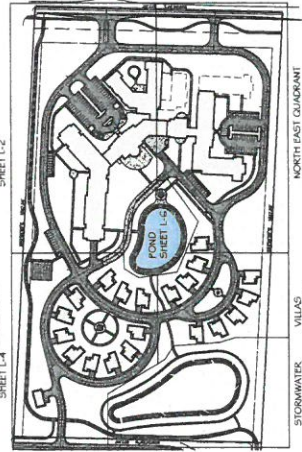
PRELIMINARY LANDSCAPE PLAN

APRIL 10, 2020

REVISED 06/26/20

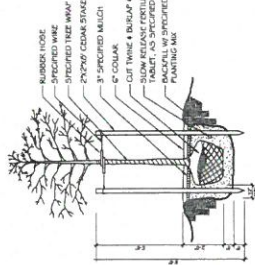
DRAWING INDEX:

- | | |
|--|---------------------|
| <u>SHEET TITLE</u> | <u>SHEET NUMBER</u> |
| COVER SHEET | L-0 |
| GENERAL NOTES | L-0 |
| LANDSCAPE NOTES, CALCULATIONS & PLANTING DETAILS | L-0 |
| OVERALL LANDSCAPE SITE PLAN | L-1 |
| NORTH WEST QUADRANT | L-2 |
| NORTH EAST QUADRANT | L-3 |
| SOUTH WEST QUADRANT | L-4 |
| VILLAS | L-5 |
| STORMWATER DETENTION & POND | L-6 |



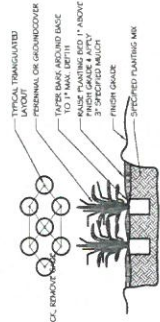
LANDSCAPE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONTRACTS AND A SINGLE FROM LANDSCAPE ARCHITECT WITH A MINIMUM OF (5) FIVE YEARS EXPERIENCE IN THE INSTALLATION OF LANDSCAPE OF COMPARABLE SIZE AND COMPLEXITY WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES. OBTAIN ALL PERMITS PRIOR TO CONSTRUCTION.
2. OPERATIONS, UTILITIES, PUBLIC AND PRIVATE, PRIOR TO ANY LANDSCAPE CONSTRUCTION.
3. ALL PLANT MATERIALS SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH ITS ORIGINAL OTHER ELEMENTS ON THE SITE FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS. ANY DAMAGE CAUSED BY EXTENDING OPERATIONS SHALL BE REPAIRED TO ORIGINAL CONDITION.
4. ALL WORK IN THIS SECTION SHALL BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION OF THE PROJECT.
5. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES TO ANY LANDSCAPE OPERATIONS.
6. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES TO ANY LANDSCAPE OPERATIONS.
7. ALL PLANT MATERIALS SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH ITS ORIGINAL OTHER ELEMENTS ON THE SITE FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS. ANY DAMAGE CAUSED BY EXTENDING OPERATIONS SHALL BE REPAIRED TO ORIGINAL CONDITION.
8. ALL PLANT MATERIALS SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH ITS ORIGINAL OTHER ELEMENTS ON THE SITE FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS. ANY DAMAGE CAUSED BY EXTENDING OPERATIONS SHALL BE REPAIRED TO ORIGINAL CONDITION.
9. ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS OR WORKMANSHIP THAT DOES NOT MEET THE STANDARDS SPECIFIED IN THE DRAWINGS.
10. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS. ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS.
11. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS. ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS.
12. ACCORDANCE WITH PLANTING DETAILS. REMOVE ALL TYMES, WHILE MAINTAIN TREE CANOPIES.
13. LANDSCAPE ALUMINUM LIGHTS SHALL BE INSTALLED AROUND ALL PLANTING BEDS AND FORMATIONS AS SHOWN ON THE DRAWINGS.
14. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS. DOUBLE PROCESSED PINE BARK MULCH (UNLESS NOTED OTHERWISE ON THE DRAWINGS) SHALL BE USED. ALL MULCH SHALL BE APPLIED TO A DEPTH OF (2) INCHES AND SPREAD AT LEAST AROUND ALL TREES, SHRUBS AND PERENNIALS TAKING CARE TO NOT BURRY LEAVY STEMS. MULCH ALL BEDS IN THEIR ENTIRETY.
15. ALL PLANT MATERIALS SHALL BE PREPARED AND HYDRATED USING PREMIUM SUNNY BLEND TURF SEED OR AS NOTED ON THE DRAWINGS. PREPARED AND HYDRATED TURF SHALL BE APPLIED TO A DEPTH OF (2) INCHES.
16. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS. ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT INDUSTRY PRACTICES AND STANDARDS.



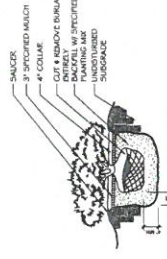
TREE PLANTING DETAIL

NO SCALE



PERENNIAL PLANTING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE

ANTILAVO LANDSCAPE ARCHITECT
 231 EAST 1025
 TRAVERSE CITY, MI 49560
 PHONE: 231.933.1925
 EMAIL: INFO@ANTILAVO.COM
 PROJECT: NORTH LONG LAKE ROAD, TRAVERSE CITY, MICHIGAN

OAKLEAF VILLAGE - GARFIELD TOWNSHIP
 LANDSCAPE DEVELOPMENT PLAN
 COVER SHEET
 DATE: 2007
 SHEET: L-0

LANDSCAPING CALCULATIONS:

DESIGNED LANDSCAPE - BUFFER

TYPE "C" BUFFER: BUFFER COVER AS SPECIFIED IN SECTION SHALL PLUS THREE LARGE TREES, THREE MEDIUM OR SMALL TREES OR ONE EVERGREEN OR CONIFEROUS TREE PER ONE HUNDRED (100) LINEAR FEET OF GREENSPACE AREA. TYPE "D" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TEN (10) FEET.

TYPE "B" BUFFER: BUFFER COVER AS SPECIFIED IN SECTION SHALL PLUS ONE HUNDRED (100) LINEAR FEET OF GREENSPACE AREA. TYPE "C" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TEN (10) FEET.

TYPE "A" BUFFER: BUFFER COVER AS SPECIFIED IN SECTION SHALL PLUS ONE HUNDRED (100) LINEAR FEET OF GREENSPACE AREA. TYPE "D" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TWENTY (20) FEET.

DESIGNED LANDSCAPE - BUFFER

NORTH WEST BUFFER: BUFFER: 877'00" **PROVIDED: 28 LARGE TREES**
REQUIRED: 28 MEDIUM TREES
PROVIDED: 28 MEDIUM TREES
REQUIRED: 28 MEDIUM TREES

WEST PROPERTY LINE AREA 1 (TYPE "C" BUFFER) 468'00" **PROVIDED: 44 LARGE TREES**
REQUIRED: 44 LARGE TREES
 WEST PROPERTY LINE AREA 2 (TYPE "C" BUFFER) 468'00" **PROVIDED: 44 LARGE TREES**
REQUIRED: 44 LARGE TREES
 WEST PROPERTY LINE AREA 3 (TYPE "D" BUFFER) 967'00" **PROVIDED: 96 LARGE TREES**
REQUIRED: 96 LARGE TREES

DESIGNED LANDSCAPE - INTERIOR PARKING

ALL PARKING AREAS WITH TWO (2) OR MORE PARKING SPACES SHALL REQUIRE INTERIOR LANDSCAPED AREAS OF AT LEAST ONE (1) PERCENT (1%) OF THE TOTAL SQUARE FOOTAGE OF THE PARKING AREA. EACH INTERIOR LANDSCAPED AREA SHALL INCLUDE ONE (1) OR MORE CANOPY TREES PER EACH 100 SQUARE FEET OF INTERIOR LANDSCAPING AREA.

DESIGNED LANDSCAPE - INTERIOR PARKING

NORTH WEST PARKING LOT
 TEN (10) SF OF INTERIOR LANDSCAPING (1) CANOPY TREE PER 100 SF OF INTERIOR SPACE, 50 SHRUBS IN TOTAL PER 100 SF **PROVIDED: 95 SHRUBS**
 AREA PROVIDED: 244 SF
REQUIRED: 244 SF

EAST PARKING LOT
 TEN (10) SF OF INTERIOR LANDSCAPING (1) CANOPY TREE PER 100 SF OF INTERIOR SPACE, 50 SHRUBS IN TOTAL PER 100 SF **PROVIDED: 95 SHRUBS**
 AREA PROVIDED: 244 SF
REQUIRED: 244 SF

DESIGNED LANDSCAPE - INTERIOR PARKING

ALL PARKING AREAS WITH TWO (2) OR MORE PARKING SPACES SHALL REQUIRE INTERIOR LANDSCAPED AREAS OF AT LEAST ONE (1) PERCENT (1%) OF THE TOTAL SQUARE FOOTAGE OF THE PARKING AREA. EACH INTERIOR LANDSCAPED AREA SHALL INCLUDE ONE (1) OR MORE CANOPY TREES PER EACH 100 SQUARE FEET OF INTERIOR LANDSCAPING AREA.

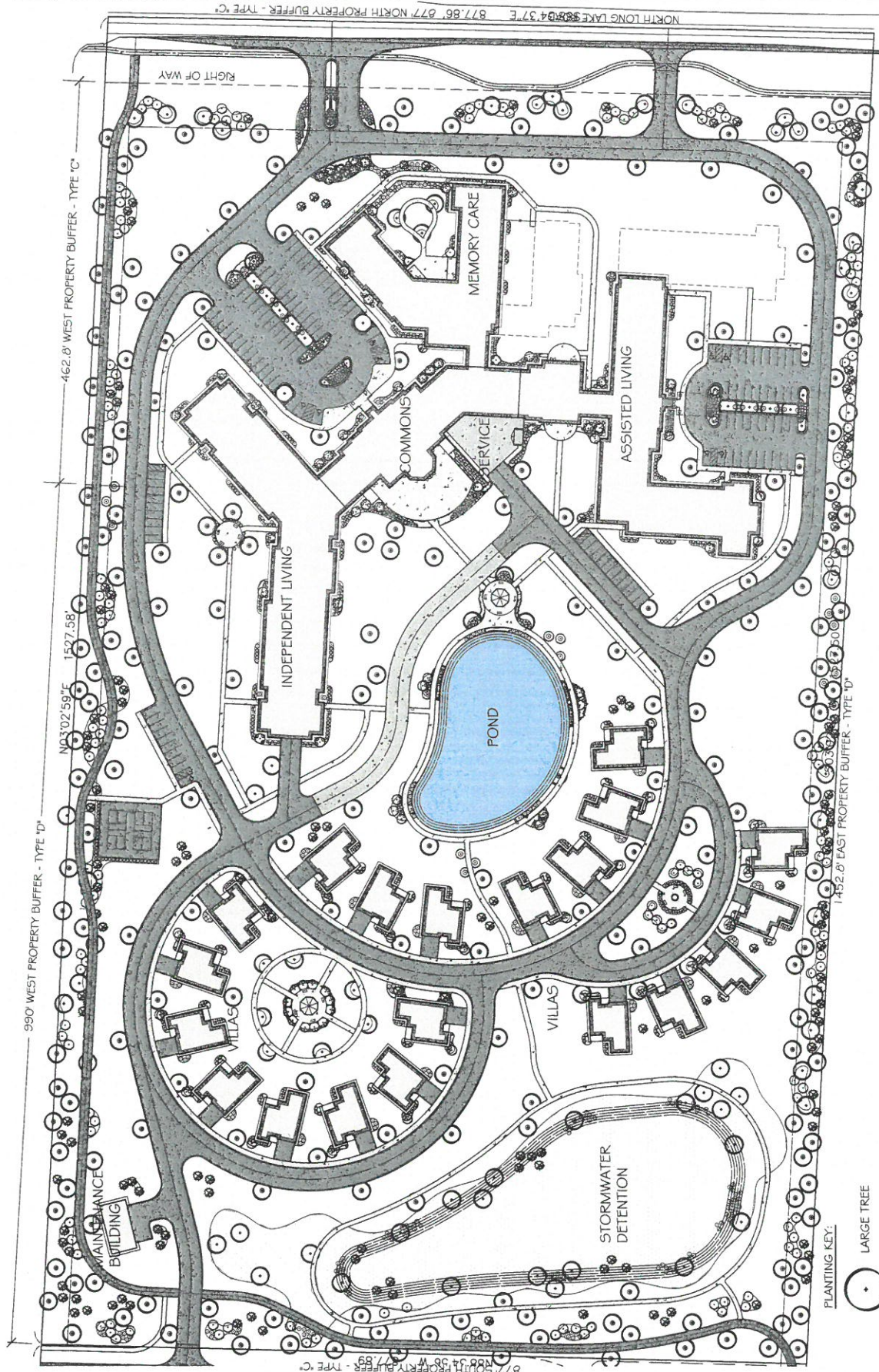
DESIGNED LANDSCAPE - INTERIOR PARKING

NORTH WEST PARKING LOT
 TEN (10) SF OF INTERIOR LANDSCAPING (1) CANOPY TREE PER 100 SF OF INTERIOR SPACE, 50 SHRUBS IN TOTAL PER 100 SF **PROVIDED: 95 SHRUBS**
 AREA PROVIDED: 244 SF
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EAST PARKING LOT
 TEN (10) SF OF INTERIOR LANDSCAPING (1) CANOPY TREE PER 100 SF OF INTERIOR SPACE, 50 SHRUBS IN TOTAL PER 100 SF **PROVIDED: 95 SHRUBS**
 AREA PROVIDED: 244 SF
REQUIRED: 244 SF

ANTILAVO LANDSCAPE ARCHITECT
 231 EAST 1025
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OAKLEAF VILLAGE - GARFIELD TOWNSHIP
 LANDSCAPE DEVELOPMENT PLAN
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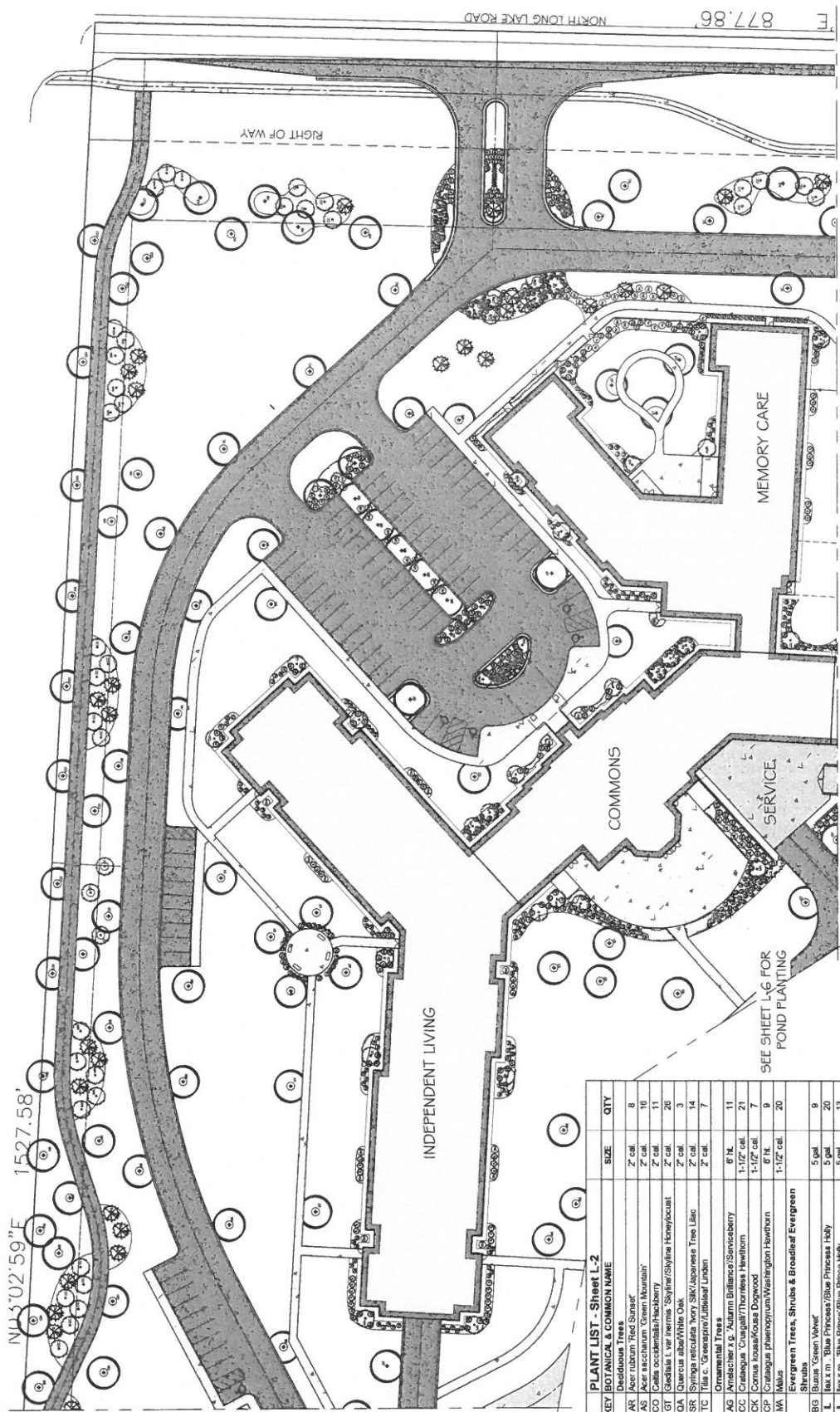
SEE SHEET L.O.O FOR
LANDSCAPE BUFFER & PARKING
LOT REQUIREMENTS

LANDSCAPE SITE PLAN

PLANTING KEY:

- LARGE TREE
- MEDIUM/SMALL TREE
- EVERGREEN TREE
- LARGE DECIDUOUS SHRUB
- EVERGREEN SHRUB
- SMALL DECIDUOUS SHRUB
- PERENNIALS & ORNAMENTAL GRASSES





MATCHLINE - SEE SHEET L-3

NORTH WEST QUADRANT

N15°02'59"E 1527.58'

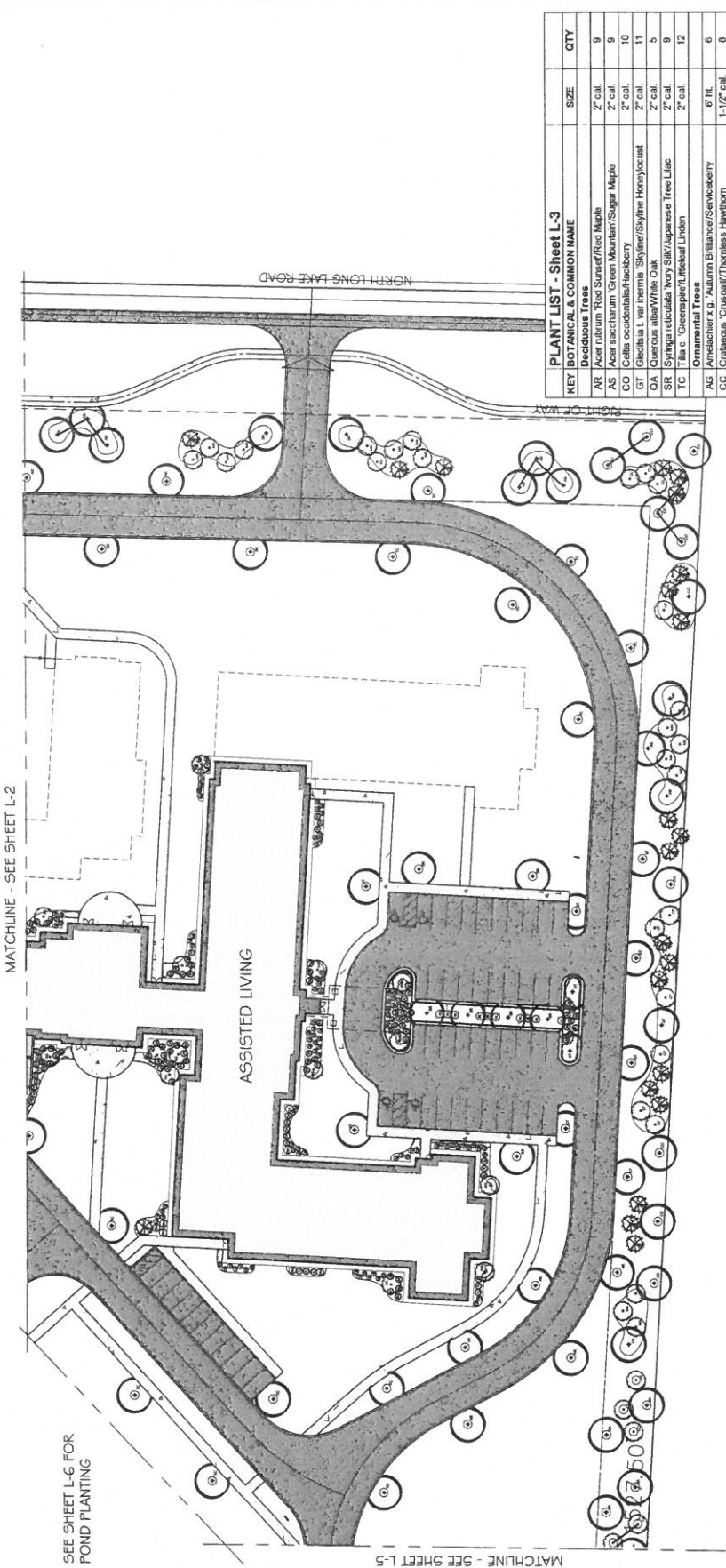
877.86' E NORTH LONG LAKE ROAD

MATCHLINE - SEE SHEET L-4

PLANT LIST - Sheet L-2

KEY	BOTANICAL & COMMON NAME	SIZE	QTY
DB	Deciduous Trees		
AB	Acer 'Green Vase'	2" cal.	8
AS	Acer saccharum 'Green Mountain'	2" cal.	10
CO	Cornus occidentalis 'Freckberry'	2" cal.	11
GT	Gleditsia 'Viv' Inermis 'Skyline Honeylocust'	2" cal.	26
QA	Quercus alba/White Oak	2" cal.	3
SR	Syringa reticulata 'Ivory Silk'/Japanese Tree Lilac	2" cal.	14
TC	Tilia c. 'Greenspire'/Limeleaf Linden	2" cal.	7
Ornamental Trees			
AG	Amelanchier s.p. 'Autumn Brilliance'/Spiceberry	6" fl.	11
CC	Cornus 'Chargal'/Thornless Hawthorn	1-1/2" cal.	21
CK	Cornus tosa/Kousa Dogwood	1-1/2" cal.	7
CP	Chamaecyparis phenicopyllum/Washington Hemlock	6" fl.	9
MA	Malus	1-1/2" cal.	20
Evergreen Trees, Shrubs & Broadleaf Evergreen			
SH	Shrub		
BG	Buxus 'Green Vase'	5 gal.	0
L	Llex m. 'Blue Princess'/Blue Princess Holly	5 gal.	20
IL	Ilex m. 'Blue Prince'/Blue Prince Holly	5 gal.	13
JN	Juniperus h. 'Broadmoor'/Low Juniper	5 gal.	113
PA	Picea abies/Norway Spruce	6" fl.	0
PG	Picea glauca/White Spruce	6" fl.	12
PO	Picea omnis/Scrub Spruce	6" fl.	2
PS	Pinus strobus/White Pine	6" fl.	9
RA	Rhododendron 'Autumn White Rhodo'	26" fl.	3
TH	Thuja occidentalis 'Green Gem'/Green Gem Arborvitae	5 gal.	34
Deciduous Shrubs			
AN	Aronia m. 'Low Spine Mead'/Dwarf Aronia	5 gal.	130
HA	Hydrangea s. 'Ticodoba'	5 gal.	53
HL	Hydrangea 'Limelight'	5 gal.	13
HP	Hydrangea 'Sunny Boulevard'/Sunny Boulevard	5 gal.	10
RO	Rosa 'Flower Carpet Pink'/Low Growing Rose	5 gal.	60
SP	Syringa p. 'Missy White'/Missy White Lilac	5 gal.	115
SV	Syringa vulgaris/Common Lilac	5 gal.	16
VB	Viburnum d. 'Blue Muffin'/Arrowwood Vib	5 gal.	16





NORTH EAST QUADRANT

PLANT LIST - Sheet L-3

KEY	BOTANICAL & COMMON NAME	SIZE	QTY
Deciduous Trees			
AR	Acer rubrum 'Red Sunset'/Red Maple	2" cal.	9
AS	Acer saccharum 'Green Mountain'/Sugar Maple	2" cal.	9
CO	Cornus occidentalis/Facberry	2" cal.	10
GT	Quercus alba/White Oak	2" cal.	11
GA	Quercus alba/White Oak	2" cal.	5
SR	Syringa reticulata 'Wory Sak'/Japanese Tree Lilac	2" cal.	9
TC	Tilia c. 'Greenspire'/Lilac Linden	2" cal.	12
Ornamental Trees			
AG	Amelanchier s.g. 'Autumn Briance'/Serviceberry	6" HL	6
CC	Crataegus 'Craggall'/Thomas Hawthorn	1-1/2" cal.	6
CK	Cornus kousa/Kousa Dogwood	1-1/2" cal.	7
CP	Chaenactis 'Honeycrisp'/Washington Hawthorn	7" HL	1
MA	Malus 'Royal Raindrops'/Flowering Crabapple	1-1/2" cal.	20
Evergreen Trees, Shrubs & Broadleaf Evergreen			
BI	Buxus 'Green Velvet'	5 gal.	2
L	Llex x m. 'Blue Princess'/Blue Princess Holly	5 gal.	6
IL	Llex x m. 'Blue Prince'/Blue Prince Holly	5 gal.	3
JN	Juniperus h. 'Broadmoor'/Low Juniper	5 gal.	52
PA	Picea abies/Norway Spruce	6" HL	12
PG	Picea glauca/White Spruce	6" HL	3
PO	Picea omorika/Serbian Spruce	8" HL	1
PS	Prunus sibirica/White Pine	6" HL	6
RH	Rhododendron c. 'Album'/White Rhododendron	30" HL	1
TA	Taxus 'Autumn'/Autumn Yew	5 gal.	32
TH	Thuja c. 'Nigra'/Dark Green Arborvitae	6" HL	9
Deciduous Shrubs			
AN	Aronia m. 'Low Scape Mound'/Dwarf Aronia	5 gal.	6
DG	Deutzia gracilis 'Nana'	5 gal.	46
HA	Hydrangea s. 'Incrediball'	5 gal.	28
HL	Hydrangea 'Limelight'	5 gal.	10
HP	Hypericum 'Starry Boulevard'/St. John's Wort	5 gal.	19
SM	Syringa p. 'Miss Kim'/Dwarf Lilac	5 gal.	5



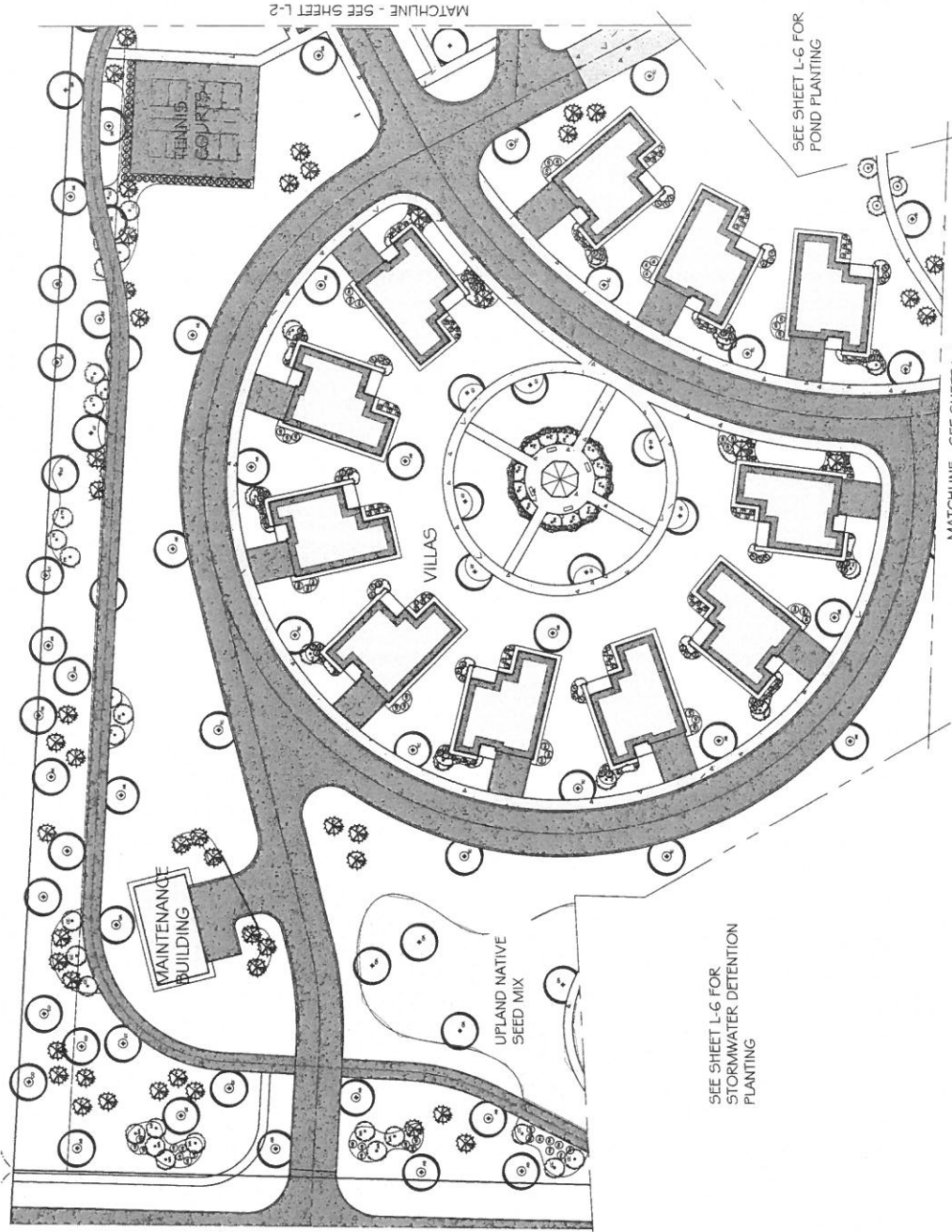
MATCHLINE - SEE SHEET L-2

SEE SHEET L-6 FOR POND PLANTING

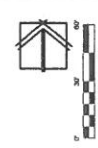
MATCHLINE - SEE SHEET L-5

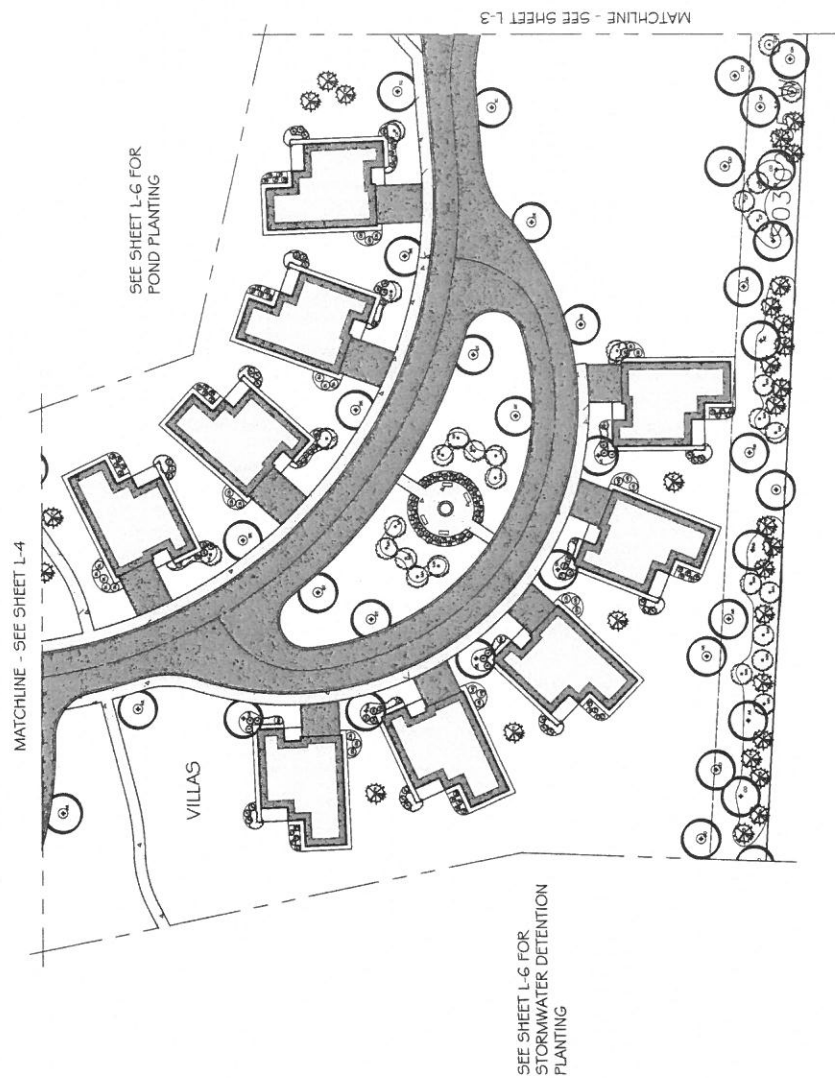
KEY	BOTANICAL & COMMON NAME	SIZE	QTY
AR	Arbutus Menziesii 'Red Sunset'	2" cal.	16
AS	Aster saccatum 'Green Mountain'	2" cal.	6
CD	Cornus occidentalis 'Blackberry'	2" cal.	3
GT	Gaillardia l. var. inermis 'Sylvia/Sylvia Honeycomb'	2" cal.	17
OA	Quercus alba/White Oak	2" cal.	6
SR	Syringa reticulata ' Ivory Silk/Japanese Tree Lilac	2" cal.	6
TC	Tilia c. 'Greenspire/Lilacleaf Linden'	2" cal.	10
Ornamental Trees			
AG	Amelanchier s. p. 'Autumn Brilliance/Serviceberry'	6" HL	5
CC	Cornuspa 'Chagall/Thomas Hawthorn'	1-1/2" cal.	11
MA	Malus 'Royal Hedgespink/Flowering Crabapple'	1-1/2" cal.	6
MS	Malus s. 'Royal Red/Asian Magpie'	1-1/2" cal.	6
PR	Prunella s. 'Royal Purple/Black Cherry'	1-1/2" cal.	23
European Trees, Shrubs & Broadleaf Evergreen			
JN	Juniperus h. 'Broadmoor/Low Juniper'	5 gal.	9
JN	Juniperus c. 'Hedra Columnaris/Green Columnar Juniper'	6" HL	16
PA	Pinus strobus/White Spruce	6" HL	9
PG	Pinus glauca/White Spruce	6" HL	3
PO	Pinus strobus/White Spruce	6" HL	11
PS	Pinus strobus/White Pine	6" HL	26
TA	Taxus 'Tutu/Tilton/Vew'	5 gal.	21
TH	Thuja o. 'Nigra/Green Giant Arborvitae'	6" HL	49
Deciduous Shrubs			
AN	Anemone s. 'Meadow/Heart Anemone'	5 gal.	15
CS	Cornus s. 'Femur/Arctic Fire Red Leaf Dogwood'	5 gal.	9
DG	Deutzia o. 'Nival'	5 gal.	5
HA	Hydrangea a. 'Incrediball'	5 gal.	27
HP	Hydrangea s. 'Sunny Boulevard/S.L. John's Wort'	5 gal.	24
PH	Physocarpus o. 'Siberian/Summer Wine Ninesilk'	5 gal.	8
SL	Salix purpurea 'Nana/Dwarf Arctic Willow'	5 gal.	2
SP	Spiraea 'Goldflame/Plum Atlas/Spiraea'	5 gal.	12
SP	Spiraea 'Goldflame/Plum Atlas/Spiraea'	5 gal.	58
VB	Viburnum o. 'Blue Muffin/Arrowwood Vb'	5 gal.	9

BOTANICAL NAME	COMMON NAME
Grasses	
Bouteloua gracilis	Blue Grama
Bouteloua curtipendula	Stonewall Grama
Sporobolus cryptandrus	Sand Dropseed
Koeleria macrantha	Prairie Junegrass
Andropogon s. p.	
Andropogon s. p.	Black-Eyed Susan
Andropogon s. p.	Burney Milkweed
Andropogon s. p.	Cleopatra Coneflower
Andropogon s. p.	Dwarf Evening Primrose
Andropogon s. p.	Grey-headed Coneflower
Andropogon s. p.	Indian Blanket
Andropogon s. p.	Lance-Leaved Coneopsis
Andropogon s. p.	Lavender Hyssop
Andropogon s. p.	New England Aster
Andropogon s. p.	Ox-Eye Sunflower
Andropogon s. p.	Pale Purple Coneflower
Andropogon s. p.	Plains Coneopsis
Andropogon s. p.	Prairie Aster
Andropogon s. p.	Prairie Coneflower
Andropogon s. p.	Prairie Flowered
Andropogon s. p.	Purple Coneflower
Andropogon s. p.	Smooth Plains Aster
Andropogon s. p.	Sweet Black-Eyed Susan
Andropogon s. p.	Theoklappa Gayfeather
Andropogon s. p.	White Upland Aster

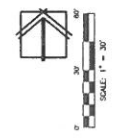


SOUTH WEST QUADRANT





KEY	BOTANICAL & COMMON NAME	SIZE	QTY
Deciduous Trees			
AR	Acer rubrum 'Red Sunset'	2' cal.	6
AS	Acer saccharum 'Green Mountain'	2' cal.	2
CO	Celtis occidentalis/Hickory	2' cal.	8
GT	Gleditsia ver. inermis 'Sagefire/Skyline Honeylocust'	2' cal.	4
GA	Quercus alba/White Oak	2' cal.	3
SR	Syringa reticulata 'Kory-Silk/Japanese Tree Lilac'	2' cal.	10
TC	Tilia c. 'Korona/Queen of Pines'	2' cal.	2
Evergreen Trees			
AG	Arctostaphylos 'Adam's Billionaire/Sandcherry'	6" HL	3
CC	Crataegus 'Crusgall/Thomas Hawthorn'	1-1/2' cal.	2
CK	Cornus kousa/Kousa Dogwood	1-1/2' cal.	2
CP	Crataegus phaeopynum/Washington Hawthorn	6" HL	3
MA	Malus 'Royal Randrom/Prink Flowering Crabapple'	1-1/2' cal.	19
Shrubs			
BG	Buxus 'Green Velvet'	5 gal.	14
IL	Ilex x.m. 'Blue Princess/Blue Princess Holly'	5 gal.	6
IL	Ilex x.m. 'Blue Prince/Blue Prince Holly'	5 gal.	6
JP	Juniperus 'Blue Star/Blue Star Juniper'	5 gal.	6
PA	Picea canadensis/White Spruce	6" HL	21
PA	Picea canadensis/White Spruce	6" HL	11
PS	Picea canadensis/White Spruce	6" HL	3
PS	Picea canadensis/White Spruce	6" HL	14
RH	Rhododendron c. 'Albino/White Rhododendron'	30" HL	3
TA	Taxus 'Tadpole/Tadpole Yew'	5 gal.	6
TH	Thuja o. 'Nigra/Green Giant Arborvitae'	6" HL	6
Deciduous Shrubs			
AN	Arctostaphylos 'Low Spine Mound/Dwarf Arctostaphylos'	5 gal.	10
CS	Cornus s. 'Farrow/Arctic Fire Red Vein Dogwood'	5 gal.	10
DO	Doronicum 'None'	5 gal.	10
HA	Hydrangea a. 'Incrediball'	5 gal.	14
PT	Physalis 'Starburst/Starburst Physalis'	5 gal.	34
PT	Physalis 'Starburst/Starburst Physalis'	5 gal.	15
SI	Sida purpurea 'None/Dwarf Arctic Willow'	5 gal.	6
SP	Spirea 'Galen/Double Play Arisaema Spirea'	5 gal.	4
VB	Viburnum c. 'Blue Muffin/Arrowwood Viburnum'	5 gal.	6



PLANT LIST - Sheet L-6 - POND

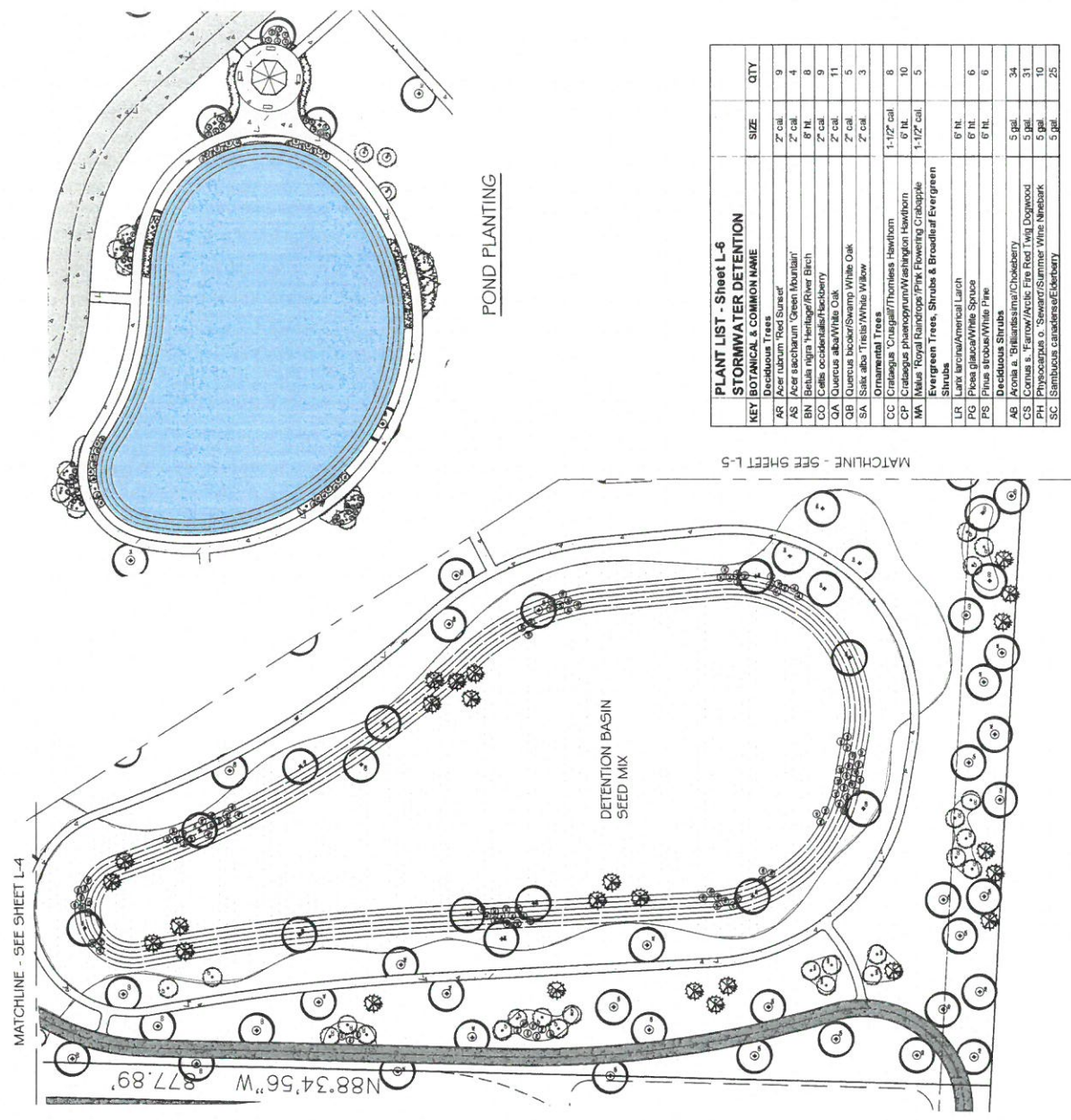
KEY	BOTANICAL & COMMON NAME	SIZE	QTY
BN	Deciduous Trees		
BN	Betula nigra 'Heritage/River Birch	10' HL	3
SA	Salix alba 'Trails/White Willow	2' cal.	3
TC	Tilia c. 'Greenpire/Canescent Linden	2' cal.	1
Ornamental Trees			
FR	Prunus s. 'American/Western Flowering Cherry	1-1/2' cal.	17
Evergreen Trees, Shrubs & Broadleaf Evergreen			
JN	Juncus s. 'Broadmoor/Low Juniper	5 gal	18
Deciduous Shrubs			
CS	Cornus s. 'Farrow/Arctic Fire Red Twig Dogwood	5 gal	17
PT	Potentilla 'Happy Face White'	5 gal	33
SL	Salix purpurea 'Nana/Dwarf Arctic Willow	5 gal	13

DETENTION BASIN SEED MIX

BOTANICAL NAME	COMMON NAME
Lolium multiflorum	Annual Ryegrass
Carex stipula	Awl-fruited Sedge
Avena sativa	Common Oat
Elymus repens	Common Stalked Grass
Phlebotria palustris	Field Horsetail
Chenopodium album	Common Lambsquarters
Juncus tenuis	Path Rush
Spartina pectinata	Fringe Cordgrass
Lernaea oxyzygos	Ries Cut Grass
Juncus effusus	Soft Rush
Schoenoplectus lateralis/montani	Soft Bulrush
Panicum virgatum	Switchgrass
Elymus virginicus	Virginia Wildrye
Wildflowers	
Mimulus ringens	Allegheny Monkeyflower
Sagittaria latifolia	Arrowhead
Verbena hastata	Blue Vervain
Rubus odoratus	Cultivar Candyflame
Pentstemon axillaris	Ditch Stenopogon
Asclepias incarnata	Swamp Milkweed
Bidens arifolia	Tickseed
Helianthus argenteus	Sunflower
Helianthus scaberrimus	Water Plantain

**PLANT LIST - Sheet L-6
STORMWATER DETENTION**

KEY	BOTANICAL & COMMON NAME	SIZE	QTY
AR	Acer rubrum 'Red Sunset'	2' cal.	9
AS	Acer saccharum 'Green Mountain'	2' cal.	4
BN	Betula nigra 'Heritage/River Birch	8' HL	8
CO	Cornus occidentalis/blackberry	2' cal.	9
QA	Quercus alba/White Oak	2' cal.	11
QB	Quercus bicolor/Swamp White Oak	2' cal.	5
SA	Salix alba 'Trails/White Willow	2' cal.	3
Ornamental Trees			
CC	Cornus s. 'Chispal/Thornless Hawthorn	1-1/2' cal.	8
CP	Cornus s. 'Pink Flowering Crabapple	6' HL	10
MA	Malus 'Royal Raindrops/Pink Flowering Crabapple	1-1/2' cal.	5
Evergreen Trees, Shrubs & Broadleaf Evergreen			
LR	Larix laricina/Canadian Larch	6' HL	6
PG	Pinus strobus/White Pine	6' HL	6
PD	Pinus strobus/White Pine	6' HL	6
Deciduous Shrubs			
AB	Abutilon 'Summer White'	5 gal	34
CS	Cornus s. 'Farrow/Arctic Fire Red Twig Dogwood	5 gal	31
PH	Physocarpus o. 'Seward/Summer White Ninebark	5 gal	10
SC	Sambucus canadensis/Elderberry	5 gal	25

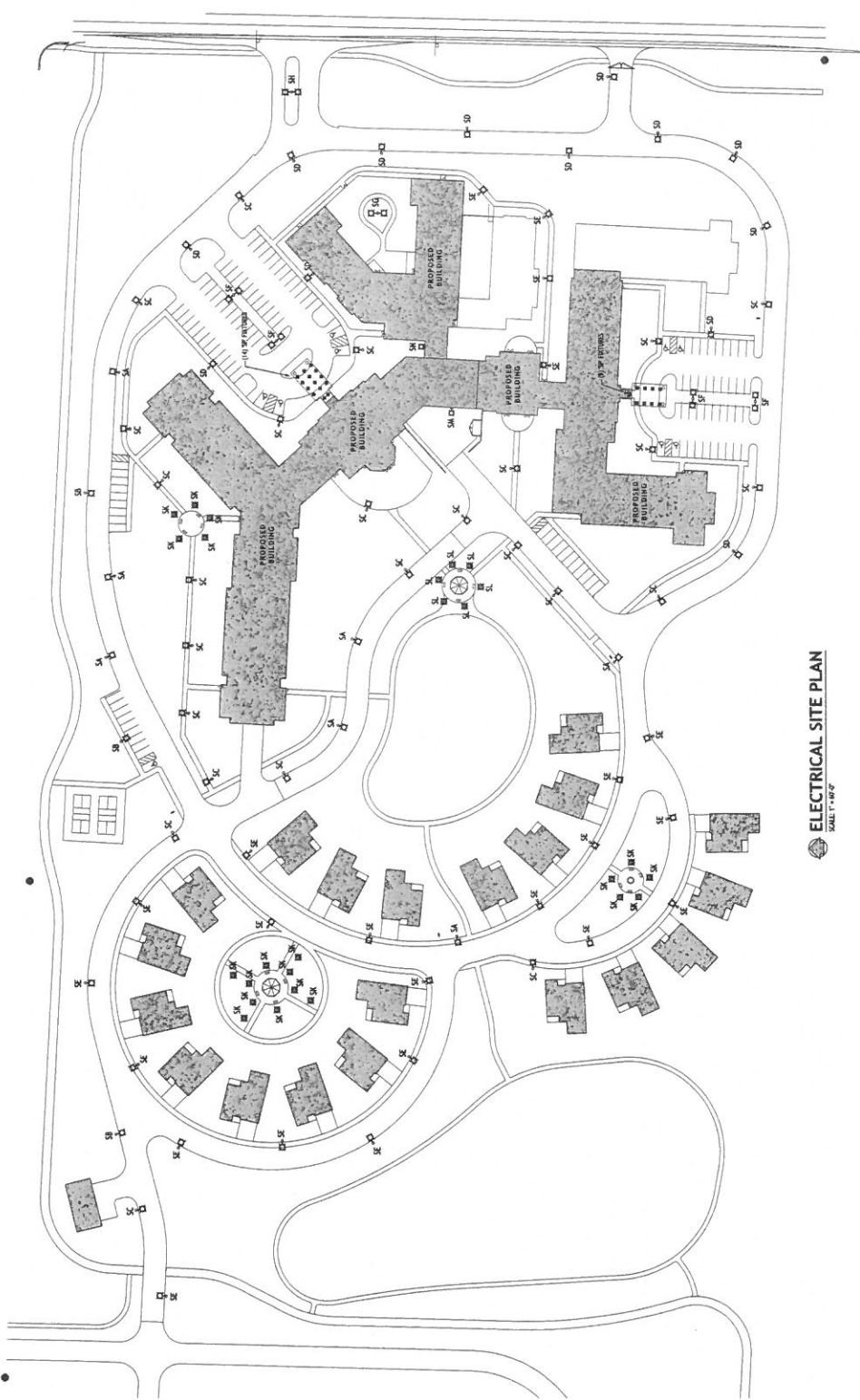


STORMWATER DETENTION PLANTING

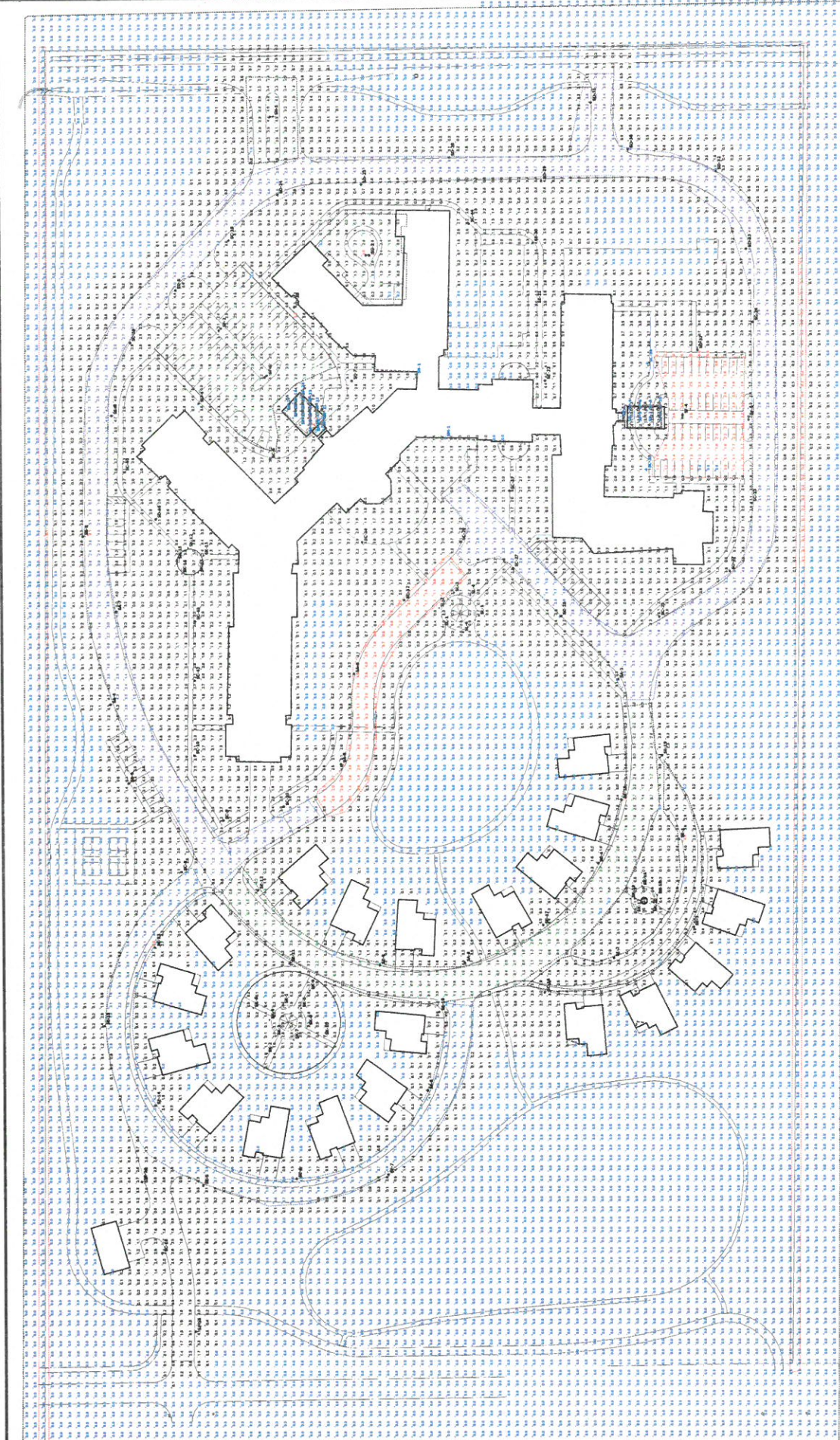
MATCHLINE - SEE SHEET L-4

MATCHLINE - SEE SHEET L-5

- SITE NOTES:**
1. ALL POLE MOUNTED LIGHT FIXTURES ARE 14' HIGH ABOVE GRADE EXCEPT TYPES "SP" AND "SH" WHICH ARE 20' HIGH ABOVE GRADE.
 2. FIXTURES TYPES "SK" & "SL" ARE LOW LEVEL BOLLARD FIXTURES AT 42" HIGH.
 3. COLOR TEMPERATURE FOR ALL FIXTURES WILL BE 3000K.
 4. ALL SITE FIXTURES ARE STEEL CUTOFF TYPE AND DARK SKY COMPLIANT.



ELECTRICAL SITE PLAN
SCALE 1"=40'



Category	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)
Site Area	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Building Footprints	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Parking	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Other	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Total	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Building Footprints	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Parking	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Other	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Total	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Building Footprints	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Parking	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Other	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000
Site Area - Total	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000	1,125,000

Date: 07/27/2010



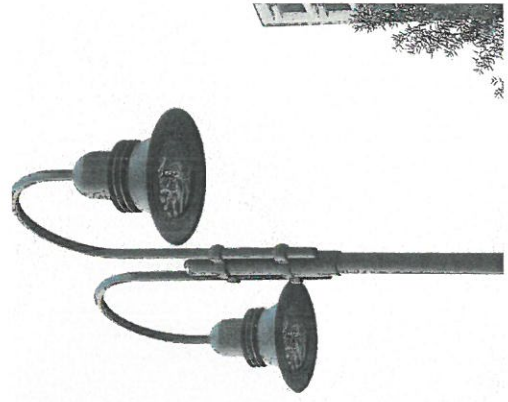
Symbol	Code	Mounting	Height	Beam Diameter	Beam Spread	Footcandle	Notes
⊙	SA	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SB	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SC	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SD	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SE	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SF	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SG	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SH	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SK	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SL	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SM	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SN	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SP	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'



TYPE "SN"



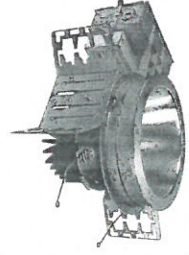
TYPE "SM"



TYPES "SA,SB,SC,SD,SE,SF,SG,& SH"
 SINGLE AND TWIN MOUNT AS SHOWN




TYPE "SK" & "SL"



TYPE "SP"

Symbol	Code	Mounting	Height	Beam Diameter	Beam Spread	Footcandle	Notes
⊙	SA	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SB	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SC	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SD	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SE	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SF	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SG	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SH	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SK	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SL	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SM	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SN	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'
⊙	SP	FLUSH MOUNT (LIGHTING)	15'	15'	15'	15'	15'

 Charter Township of Garfield Planning Department Report No. 2020-100			
Prepared:	July 1, 2020	Pages:	5
Meeting:	July 8, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Village at LaFranier Woods PUD Final Review		
Applicant:	RW Properties I LLC		
Owner:	Louis G. and Marvel R. LaFranier Trusts		
File No.	PUD 2019-01		
Parcel No.	05-023-041-00		

SUBJECT PROPERTY:

- 2242 LaFranier Road, north of Hammond Road
- 33.19 acres in area
- Currently undeveloped open and wooded land
- A-Agricultural zoning

PURPOSE OF APPLICATION:

The application proposes a 385-unit Planned Unit Development (PUD) for senior living residential development including detached cottages, congregate residential buildings and assisted living residences. The proposed development would be comprised of the following buildings in four phases:

- Phase 1: One (1) three-story building complex containing 116 independent living units.
- Phase 2: Four (4) one-story duplex and eight (8) one-story fourplex independent cottages totaling 40 units.
- Phase 3: One (1) one-story building complex containing 113 assisted living units.
- Phase 4: One (1) three-story building complex containing 116 independent living units.

Note: The subject parcel (05-023-041-00) is approximately 40 acres. The parcel was split resulting in approximately 33 acres for the subject development.

Aerial image of the subject property (property lines highlighted in blue):



Aerial image of the subject property (property lines highlighted in blue):



PROCEDURES:

PUD applications are reviewed in a two-step process. Preliminary Approval for the Village of LaFranier Woods PUD was granted by the Township Board on February 25, 2020. The applicant is now returning for Final Approval of the PUD application. The Planning Commission will be conducting a final review and making a recommendation at this meeting. Upon receipt of the Planning Commission's recommendation, the Township Board will hold a public hearing before consideration of approval at its meeting on July 14, 2020.

AGENCY REVIEWS:

The following agency reviews have been provided by the applicant and are attached to this report:

- Township Engineer – Water and Sewer Review
- Township Engineer – Stormwater Review
- Grand Traverse County Department of Public Works
- Grand Traverse County Road Commission
- Grand Traverse County Metro Fire Department
- Grand Traverse County Soil Erosion & Sedimentation Control

FINDINGS OF FACT:

- 1) An application has been received to develop a 385-unit Planned Unit Development (PUD) for senior living including detached cottages, congregate residential buildings and assisted living residences.
- 2) The proposed development will be comprised of the following buildings in four phases:
 - a. Phase 1: One (1) three-story building complex containing 116 independent living units.
 - b. Phase 2: Four (4) one-story duplex and eight (8) one-story fourplex independent cottages totaling 40 units.
 - c. Phase 3: One (1) one-story building complex containing 113 assisted living units.
 - d. Phase 4: One (1) three-story building complex containing 116 independent living units.

- 3) The subject parcel is 33.19 acres located at 2242 LaFranier Road.

Section 426.E(4) Criteria

- (a) The uses will be compatible with the natural environment, and with adjacent and surrounding land uses and properties, and will not have an adverse economic, social or environmental impact on adjacent and surrounding land uses and properties;
- Finding: The Planning Commission finds that this standard HAS BEEN MET because the application proposes a variety of senior living residential housing units which are compatible with surrounding multi-family and single-family residential; are located on a large parcel which will provide open space and landscaping between uses; and will not have an adverse impact on adjacent or surrounding properties.
- (b) The uses will be compatible with the capacity of existing public services and facilities, or of planned and feasible future public services and facilities, and such use is consistent with the public health, safety and welfare of the Township residents;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development is in an area planned to have high density residential uses and will be adequately served by existing available services, including water and sewer services. Other agency reviews have been conducted to ensure that road design and emergency service requirements have been met. The plan reflects future cross access between the subject parcel and adjacent parcels. Reviews have been obtained from the Township Engineer, Grand Traverse Metro Fire Department, Grand Traverse County Department of Public Works, Grand Traverse County Road Commission, and Grand Traverse County Soil Erosion & Sedimentation Control.
- (c) The uses and development are warranted by the design of additional amenities made possible with, and incorporated by, the development proposal;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development includes outdoor amenities such as sidewalks, nature trail and gardens throughout the site. Other outdoor amenities are located adjacent to the buildings include outside patios, pergolas and fireplaces. The development will include many indoor amenities for residents including entertainment areas, libraries, computer rooms, beauty salons, health clinics, fitness centers, etc.
- (d) Insofar as practicable, the landscape shall be preserved in its natural state by minimizing tree and soil disturbance and removal;
- Finding: The Planning Commission finds that this standard HAS BEEN MET. The proposed development has an extensive landscaping plan that utilizes existing trees where possible, provides landscaped buffers with adjacent properties and creates an attractive visual aesthetic for the site. Onsite contaminated soils from previous agricultural uses will be mitigated and addressed to meet residential requirements for the site.
- (e) Existing important natural, historical and architectural features within the development shall be preserved;

- Finding: The Planning Commission finds that the standard HAS BEEN MET because the applicant has made reasonable efforts to protect and retain existing mature vegetation and provide open space on the property. The previous use of the site was a fruit orchard with no buildings or structures.
- (f) Proposed buildings shall be sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the proposed building setbacks are compatible and create a residential campus setting for all the uses. Street layouts, signs, and landscaping create a unified look for the development.
- (g) With respect to vehicular and pedestrian circulation and parking, special attention shall be given to the location and number of access points to public streets, minimizing potential motorized/non-motorized conflict points, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient and, insofar as is practicable, do not detract from the design of proposed structures and neighboring properties;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the proposed roadways, drives, sidewalks and walking paths are laid out in a cohesive manner. The entrance to the development has been approved by the Road Commission. Future connections are identified to the adjacent properties to the north and south of the subject parcel.
- (h) Landscaping is provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property and, where applicable, to create a pleasant pedestrian scale outdoor environment;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because consistent landscaping is proposed that is attractive and serves to provide buffers where needed.
- (i) The development consolidates and maximizes useable open space;
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the development plan provides 8.6 acres of open space, including two larger garden areas and one wooded area. Common areas and activities have also been identified, including patios, sidewalks, and walking paths.
- (j) The benefits of the development are not achievable under any single zoning classification; and
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the development plan presents a mixed-use development which is not achievable under any single zoning district.
- (k) The development is compatible with the intent and purpose of the adopted master plan.
- Finding: The Planning Commission finds that the standard HAS BEEN MET because the amended development plan remains generally consistent with the Master Plan

designation for this area as high density residential (6-10 units per acre). The planned density for Village at LaFranier Woods PUD is approximately 11 units per acre.

ACTION REQUESTED:

The following motion is offered for consideration:

MOTION THAT the Findings of Fact for application PUD 2019-01, as presented in Planning Department Report 2020-100, BE ADOPTED.

The following motion is recommended to grant *final* approval for the project in accordance with Section 426 of the Zoning Ordinance.

MOTION THAT Application PUD 2019-01, submitted by RW Properties I LLC for the Village at LaFranier Woods PUD, BE RECOMMENDED FOR FINAL APPROVAL by the TOWNSHIP BOARD.

Attachments:

1. Township Engineer (GFA) – Water and Sewer Review – June 4, 2020
2. Township Engineer (GFA) – Stormwater Review – June 18, 2020
3. Grand Traverse County Department of Public Works – April 12, 2019
4. Grand Traverse County Road Commission – June 11, 2020
5. Grand Traverse County Metro Fire Department – May 8, 2020
6. Grand Traverse County Soil Erosion & Sedimentation Control – June 29, 2020
7. Village of LaFranier Woods PUD plan set provided by Progressive Associates, Inc. - June 15, 2020
8. Village of LaFranier Woods PUD plan set provided by Nederveld - June 4, 2020



Engineering
Surveying
Testing &
Operations

123 West Front Street
Traverse City, Michigan 49684
231.946.5874 
231.946.3703 

June 04, 2020

Mr. Chuck Korn, Supervisor
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

RE: Reenders – Lafranier Road (Village at LaFranier Woods)- Phase I
Water Main and Sanitary Sewer Extension
GFA No. 20078

Dear Mr. Korn,

We received and reviewed further revisions to the plans for the proposed water and sewer system improvements associated with the above referenced project. The revisions incorporated a scope reduction of phase 1. The revised submittal package contains updated plans and permit applications. The permit application was adjusted for to the current phase limits with recalculated REUs. The plans were prepared by Nederveld and submitted for final PUD application dated 06-04-20. Based upon our review on behalf of Garfield Township with respect to utilities, we offer the following comments.

DESCRIPTION OF THE PROPOSED PROJECT

These sanitary sewer and water main extensions are proposed to serve the current and future phases of the Village at LaFranier Woods development. The current project proposes 47.25 Residential Equivalent Units (REUs) with the future phases adding 83.3 REUs. The current project includes six (4) cottages/multi-unit buildings totaling 7-REUs and one (1) congregate building with 115 mixed 1 & 2 bedroom units valued at 0.35-REUs/unit. The future phases propose an additional six (8) cottages totaling 13-REUs, one (1) congregate building with 115 units at 0.35 REUs/Unit, and one (1) assisted living building with 100 units at 0.3 REUs/unit (this portion was not part of this review and will be submitted / reviewed at a future date with additional escrow funds required).

COMMENTS ON THE PLANS

The comments from the previous review letter are addressed. Please note the following minor comments:

Sheet C-401-402 (Watermain and Sanitary Plan)

1. It's understood the hydrant near sta. 17+02 is planned to be relocated during future phase. While not required, we recommend a mainline valve and tee to limit interruption of service during future extension.
2. Please include a 10' stub and plug from MH D for the future extension.



This concludes the review and we the plans are recommended to the Township for submission of permit application. GFA is in receipt of four (4) copies of plans and specifications (signed/ sealed) and one (1) pdf set. Please send four (4) copies *updated sheets* per the comments above.

We appreciate the opportunity to assist the Township during the approval of this project. If you have any questions, please don't hesitate to contact me at (231) 946-5874.

Sincerely,

GFA

A handwritten signature in black ink that reads "Jennifer Hodges".

Jennifer Hodges, P.E.
Project Manager

A handwritten signature in black ink that reads "Mark Maguire".

Mark Maguire, P.E.
Project Engineer

CC: John Divozzo, Director, GTC DPW
Mr. John Casserly, PE - Nederveld



Engineering
Surveying
Testing &
Operations

123 West Front Street
Traverse City, Michigan 49684
231.946.5874 
231.946.3703 

June 18, 2020

Mr. Michael Green, Zoning Administrator
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

RE: Reenders – LaFranier Road (Village at LaFranier Woods)- Phase I
Water Main and Sanitary Sewer Extension
GFA No. 20078

Dear Mr. Green,

The following summarizes of GFA's **storm water review** of the of the plans for the Village of LaFranier Woods - Phase I. Plans are titled Reenders-LaFranier by Nederveld dated 06-11-20 and the storm water calculations by Jozwiak Consulting was received on 06-13-20. Additional plan sheets and calculations regarding the sediment forebay and snow storage were provided on 6-17-20. The submitted items were in response to GFA's initial storm water review dated 04-14-20. We have reviewed the plans for their accordance to Garfield Township's Storm Water Control Ordinance Number 49, hereinafter referred to the Ordinance. A summary of our review is as follows.

EXISTING CONDITIONS

Site & Storm Water Conditions

1. The existing terrain is hilly with the north edge of the site shedding north and the remaining majority of the site shedding to the south and south west. The existing parent parcel is approximately 40-ac of undeveloped, wooded land.
2. No existing drainage facilities are present.
3. A geotechnical report provided indicates sandy soils. Soil boring locations are on the plans.

PROPOSED SITE PLAN

The proposed plan shows phased development of the site. The current phase, Phase I, develops the west half of the property which includes (4) cottages buildings and one (1) Congregate 115-unit building. A network of paved private drives and parking is shown throughout. Primary access to the site is with a divided commercial drive off LaFranier located generally midway along the west property line. Emergency access drive to LaFranier is provided to the north as well.

Determination of Surface Runoff

1. Storm water is managed on-site with a system of paved roads, storm sewer, and one retention basin. The storm sewer collects drainage and routes all drainage from the proposed phase to the retention basin located in the south-middle of the property. The southerly large building is routed directly to the retention area.



2. HydroCAD Model was used to calculate the surface runoff volumes. The design rainfall and depths used appear acceptable.

Conveyance system

3. A HydroCAD model was used to evaluate the capacity of the storm system.
4. A review of the HydroCAD model and Design Manual shows that Ordinance criteria is met for the 10-year design flow 25-year event criteria. The system showed no instances of surcharging.
5. Storm sewer pipe is MDOT approved smooth interior polyethylene. Pipe sized, roughness, and slopes meet Ordinance criteria.
6. Roof water to the Congregate building are connected directly to the storm sewer system. The Cottages roof water drain to yard basins or the common rain garden with storm sewer connection to the retention basin. No overland flow to the retention basin is planned.

Storm Water Facilities

Retention Basin:

7. The retention basin was modeled in HydroCAD with a design infiltration rate of 6-in/hr. Infiltration tests were not performed, nor feasible at the design bottom. However, the geotechnical report provided a typical rate for the sieve analysis performed which is more than twice the design rate. This is acceptable. Future verification of infiltration rate should be collected during future phase connections to the basin.
8. The Design Manual shows modeled results for the back-to-back 100-year storm.
9. The results show sufficient storage volume for design event. The basin does not overtop when tested without deduction for infiltration. This is acceptable.
10. It is noted the provided calculations apply for Phase 1 only. Connections during future phases will require additional analysis and be evaluated at the time of submittal for consideration. Do they intend to connect to it the basin?
11. The basin is shown to drain within the 72 hours and is acceptable.
12. Plans and calculations detailing the sediment forebay show adequate treatment volumes.

Erosion Control

13. Sufficient measures for erosions control are shown on the plans.

Geometry/Safety

14. The retention basin is considerably deep. The plans show perimeter fencing as required by the Ordinance.

Maintenance

15. A Site Maintenance Plan and Budget was included and appears to be acceptable. Document to be recorded and copy provided to the Township.



16. Snow storage map was provided and shows adequate management. No storage is planned within the proposed basins.

RECOMMENDATION

The plans are considered approved as submitted. At this point it is requested the Applicant submit a final signed and sealed copy of the revised plans with corrections (as applicable) to address the above comments.

We appreciate the opportunity to assist the Township during the approval of this project. If you have any questions, please don't hesitate to contact me at (231) 946-5874.

Sincerely,

Goudie Frasier

GFA

Handwritten signature of Jennifer Hodges in black ink.

Jennifer Hodges, P.E.
Project Manager

Handwritten signature of Mark Maguire in black ink.

Mark Maguire, P.E.
Project Engineer

cc: Scott Jozwiak, PE, Jozwiak Consulting



April 12, 2019

L. Mackie Woodruff
Reenders, Inc.
950 Taylor Avenue
Grand Haven, Michigan 49417

Re: Proposed Residential Development – Garfield Township

Dear Mr. Woodruff:

I have received the Site Concept Plan for the residential development along LaFranier Road just north of Hammond Road in Garfield Township.

Water infrastructure currently terminates on the north boundary of the development property; sewer infrastructure is one parcel north of this. To service the parcel in question, utilities will need to be extended to the south property line of the parcel in question.

The utility systems have sufficient capacity to accept this new connection.

I recommend you contact the township directly because of the infrastructure installation requirements; the contact person is Jennifer Hodges, engineering consultant with Gourdie Fraser, and her phone number is 231-946-5874.

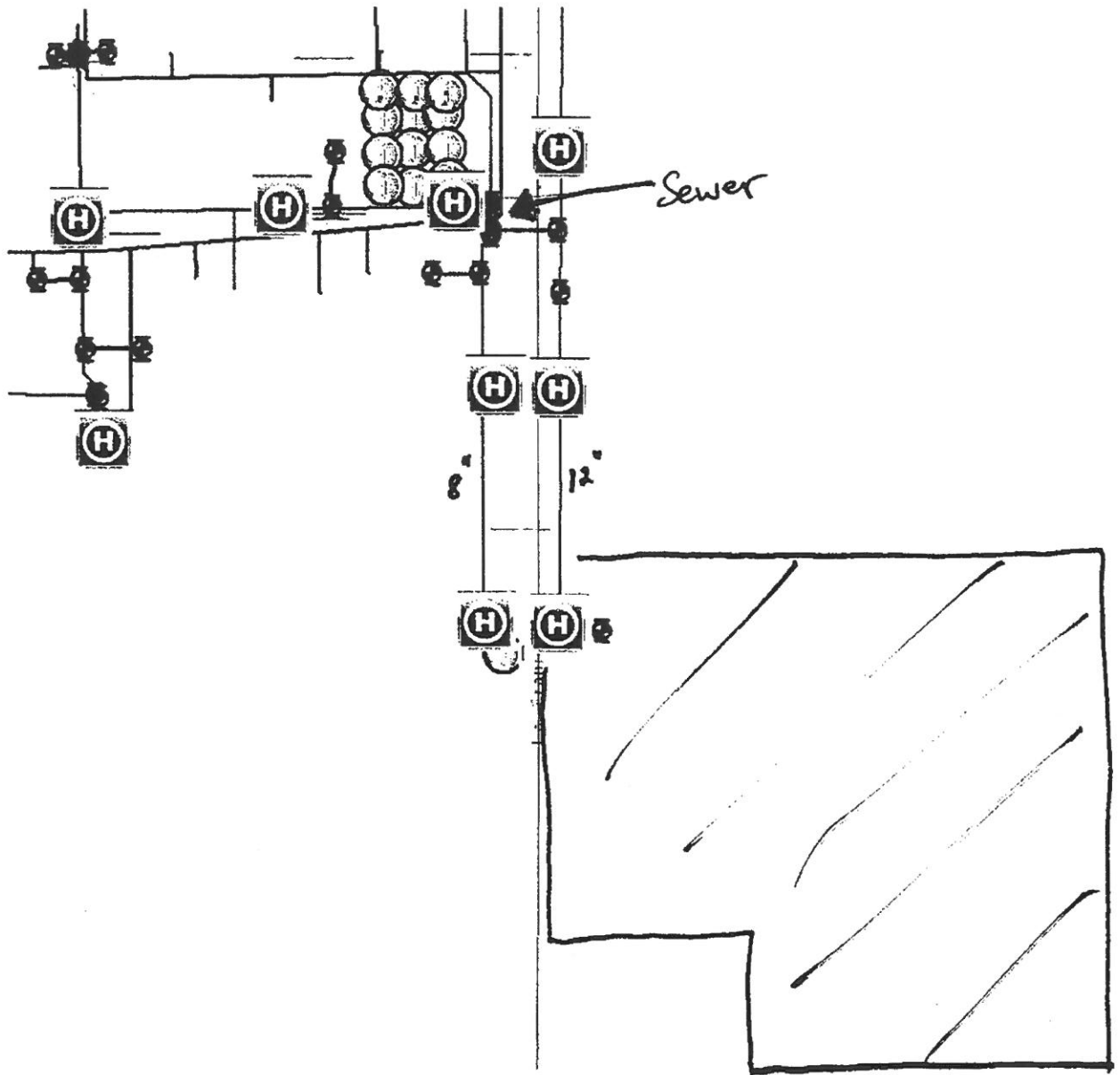
If you have any questions, comments, or concerns please contact the DPW office.

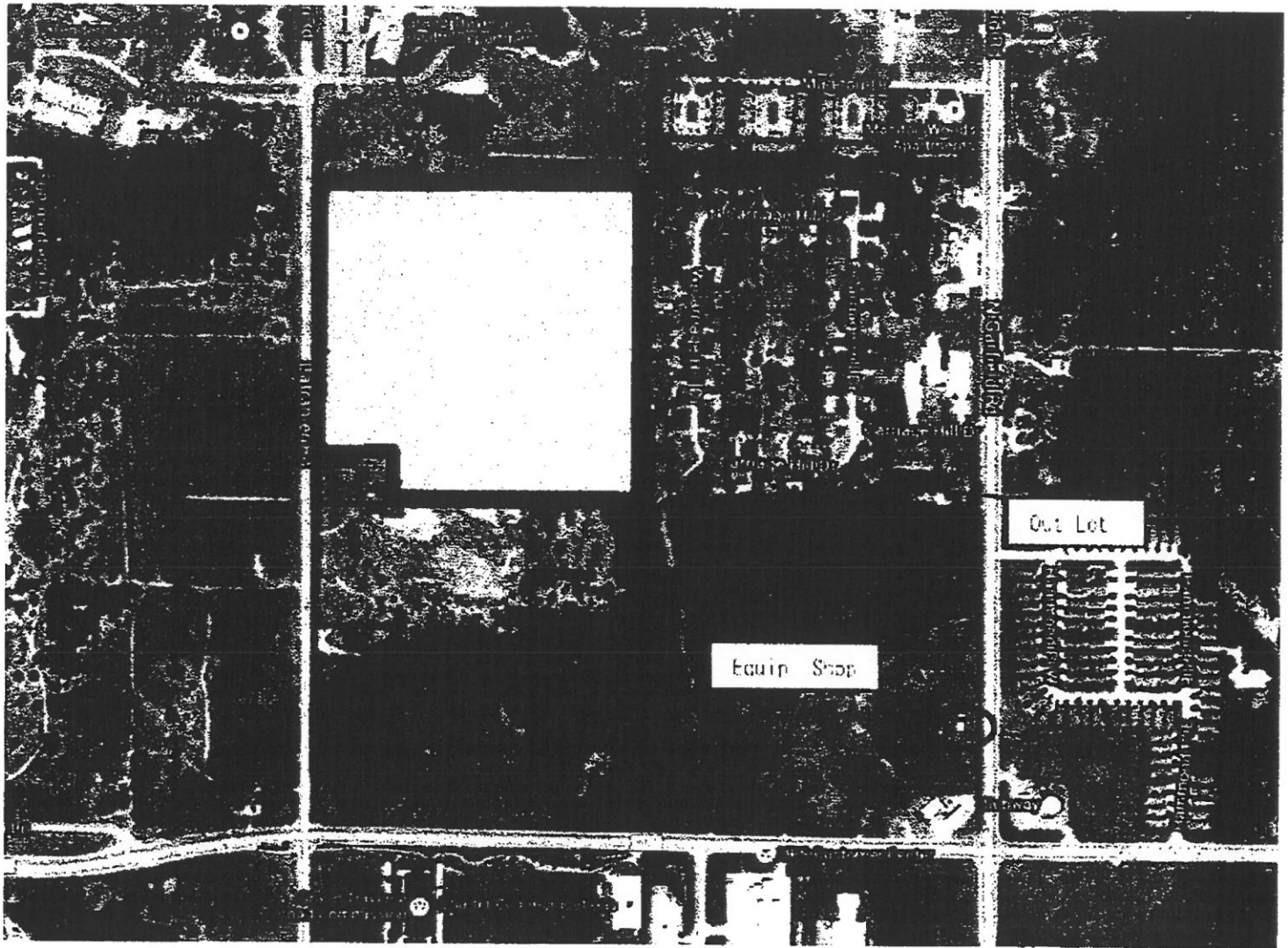
Sincerely,

A handwritten signature in cursive script that reads "John Divozzo".

John Divozzo
Director

Site map is attached





225 W. Loop East #250
 Houston, TX 77028
 Tel: 281.416.1100
 Fax: 281.416.1101
 Website: www.progressivearch.com

PROGRESSIVE NORTH, L.L.C.
 470 East Loop East, Suite 100
 Houston, TX 77028
 Tel: 281.416.1100
 Fax: 281.416.1101
 Website: www.progressivearch.com

Prepared For:
 RESENDERS
 03/03/10
 REVISIONS / REVIEW
 03/06/10
 03/16/10
 03/16/10
 REVISIONS / REVIEW
 03/16/10
 03/16/10
 03/16/10

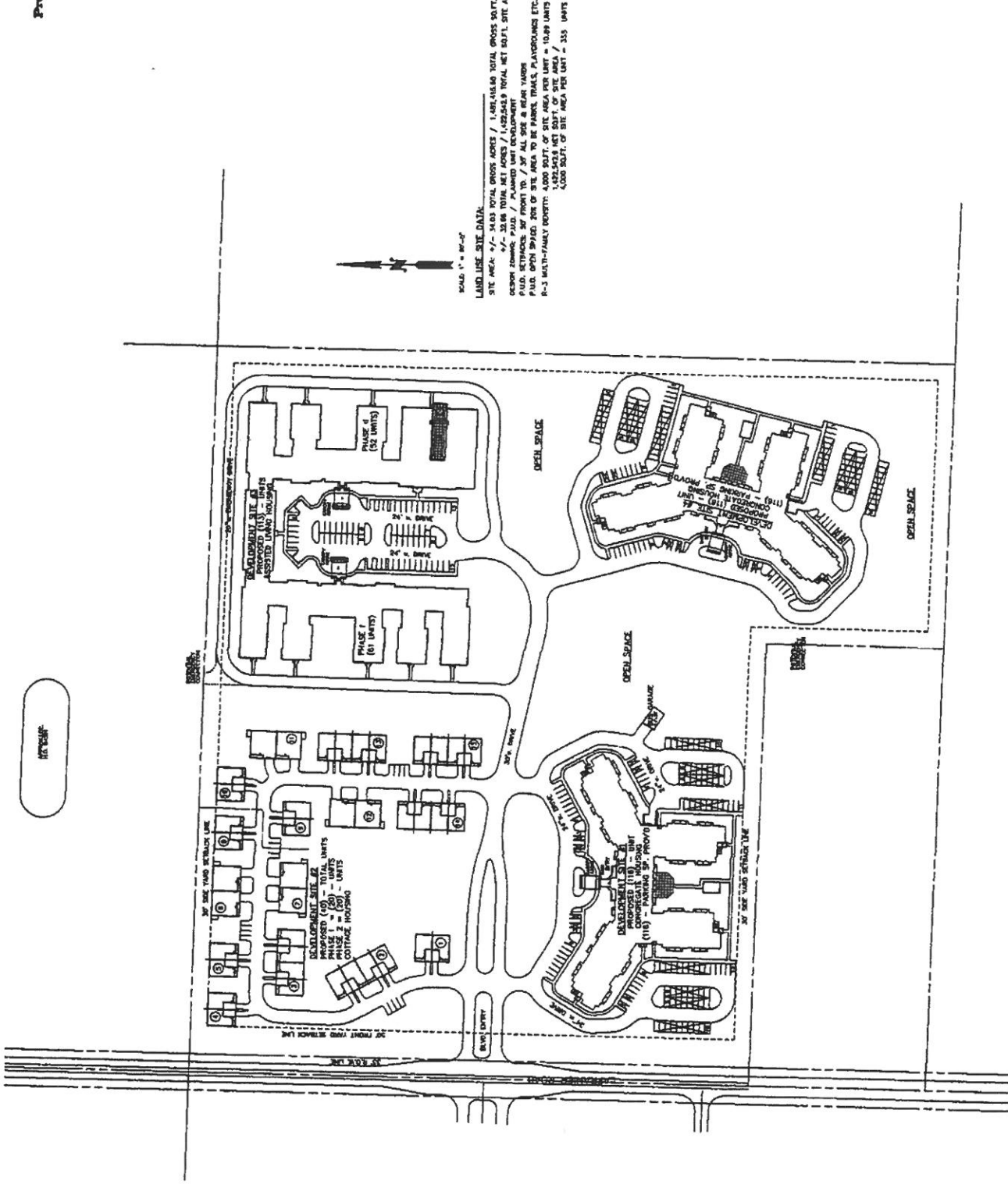
Developer:
 Reenders, Inc.

Project:
 PROPOSED
 RESIDENTIAL
 DEVELOPMENT

Sheet Title:
 04 HARFIELD TWP., MCKINLEY

SITE
 CONCEPT
 PLAN

Project Number: 19-110
 Drawing: C1
 Date: 03/10
 Sheet Number: SK1



LAND USE SITE DATA
 SITE AREA: 47.5 ACRES TOTAL GROSS AREA / 1.58 ACRES NET GROSS SOFT. SITE AREA
 47.5 ACRES TOTAL NET AREA / 1.58 ACRES TOTAL NET SOFT. SITE AREA
 DESIGN ZONING: PUD / PLANNED UNIT DEVELOPMENT
 PUD. SETBACKS: 30' FRONT TO / 30' ALL SIDE & REAR YARDS
 PUD. OPEN SPACES: 20% OF SITE AREA TO BE PARKS, TRAILS, PLAYGROUNDS ETC. = 9.50 ACRES
 R-3 MULTI-FAMILY HOUSING: 4,000 SQ. FT. OF SITE AREA PER UNIT = 10.89 UNITS PER NET ACRE
 4,000 SQ. FT. OF SITE AREA PER UNIT = 355 UNITS ALLOWED

REVISION

John Sych

From: Ron Rohloff <RRohloff@gtrc.org>
Sent: Thursday, June 11, 2020 4:55 PM
To: John Sych
Cc: John Casserly
Subject: LaFranier Woods Entrances
Attachments: Ridge45 Apartment Community.pdf

John,

We have approved the entrance for this development with the exception of additional 17' of ROW. I have also concluded talks with Ridge 45 and have attached their letter of intent on reconstructing their entrance to better align with our standards and the opposing development. WE will be processing the drive permit along with other requirements and conditions we may have as we also work on drainage issues.

Let me know if you have any questions or concerns.

Ron Rohloff

Traffic Services Supervisor
Grand Traverse County Road Commission
1881 LaFranier Rd
Traverse City, Mi. 49696
231-922-4849 ext 212 ph.
231-929-1836 fax



May 8, 2020

Grand Traverse County Road Commission
1881 Lafranier Road
Traverse City, MI 49696

Re: Ridge45 Apartment Community

To Whom It May Concern,

Please accept this correspondence as a letter of intent from Midwest MFD, LLC, a Michigan limited liability company, which is the owner of the Ridge45 apartment community in Garfield Township.

Assuming the senior living community project across the street from Ridge45 proceeds with construction, and assuming further that said project still intends to line its boulevard entrance directly across from the Ridge45 boulevard entrance, then, as specifically directed by the Grand Traverse County Road Commission, for the safety of our respective residents and others, it is our intention to revise the Ridge45 boulevard entrance in accordance with the plans and specifications attached hereto dated February 20, 2020. We will complete this revision in advance of the date the senior living community is ready to open to the public.

In the event the senior living community does not start construction within one (1) year from the date of this letter, or, if the senior living community boulevard entrance design is substantially revised or relocated, then our intention would be to leave the Ridge45 entrance as presently constructed. In such event, our expectation would be that the Grand Traverse County Road Commission would issue a final permit for the Ridge45 entrance as it currently exists.

If you have any questions or comments regarding this matter, please do not hesitate to contact the undersigned.

Best regards,

A handwritten signature in black ink, appearing to read "Scott M. Knowlton".

Scott M. Knowlton
Manager
Midwest MFD, LLC
(616) 842-2030
scott@westwind.build

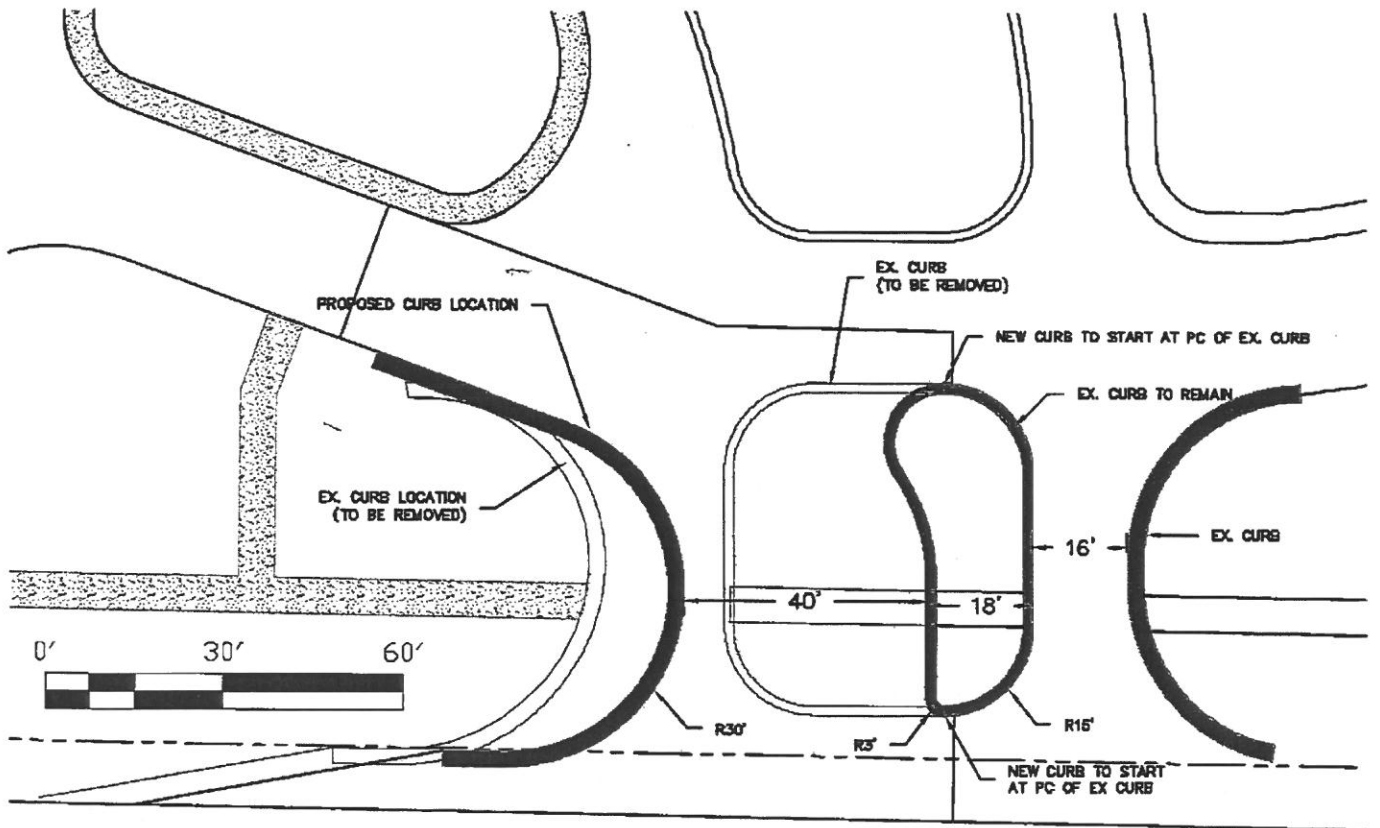
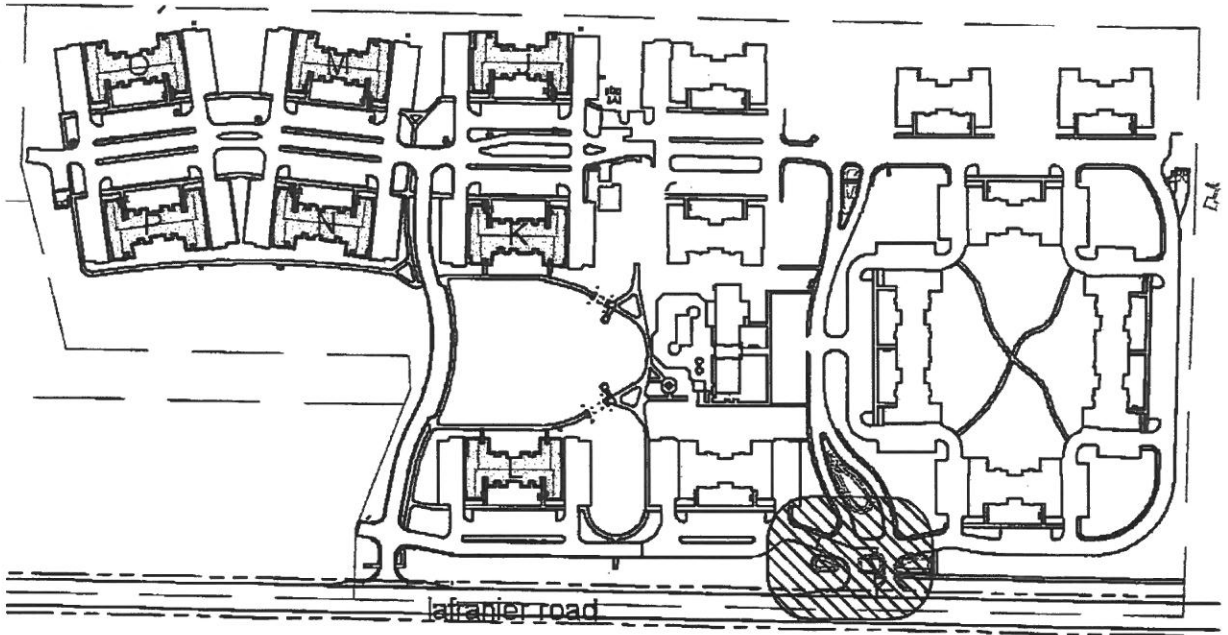
DOUG MEEKHOFF

doug@westwind.build
cell: 616.260.3642

Grand Haven
616.842.2030

Traverse City
231.778.4545





jozwiak
consulting

p.o. box 5342 | traverse city, mi 49996 | 231-216-1201

www.jozwiakconsulting.com

proposed main entrance modifications
ridge45, garfield twp

project no.: 2016-161

date issued: 2-20-2020
sheet no. 1 of 1



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: Info@gtfire.org

SITE PLAN REVIEW RECORD

REVIEW # 2

ID # P-1244-M6810

DATE 5/8//2020

PROJECT NAME: Village at Lafranier Woods

PROJECT ADDRESS: 2242 LaFranier Rd.

TOWNSHIP: Garfield

APPLICANT NAME: Jared Secor

APPLICANT COMPANY: Reenders, Inc.

APPLICANT ADDRESS: 950 Taylor Avenue, Park Place Center

APPLICANT CITY: Grand Haven STATE MI ZIP: 49417

APPLICANT PHONE: 616-842-2425

FAX #

REVIEW FEE: \$75.00

Reviewed By: Kathy Fordyce, Plan Reviewer

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: Info@gtfire.org

SITE PLAN REVIEW REVIEW # 2

ID # P-1224-M6810

DATE: 5/8/2020

1. 505.1 Address identification.

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

2. 503.6 Security gates.

The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.
-Provide Knox Padlocks for security gates. Padlocks can be ordered at www.KnoxBox.com.

3. 503.4 Obstruction of fire apparatus access roads.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.

-Fire apparatus turnaround to the East of buildings #4 & #6 must be maintained year around.

Project may proceed with township approval process.

**GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH
SOIL EROSION AND SEDIMENTATION CONTROL
SITE DETERMINATION FORM**

PART 91, SOIL EROSION & SEDIMENTATION CONTROL, ACT 451 OF 1994,
AS AMENDED & GTCHD SOIL EROSION SEDIMENTATION CONTROL ORDINANCE

Office Use Only	Amount: \$ 25.00
	Receipt #: 49820
	Received By: <i>JM</i>

JUN 29 2020

Environmental Health

Project Type: Residential Multi-Family Commercial

Project Address: 2051 Garfield Road and 2136 & 2242 LaFranier City, Zip: Traverse City 49686

Tax #: 05-023-042-00, -05, -041-00 Twp: Garfield Section: 23 Town: 27N Range: 11W

Subdivision: n/a Lot: n/a

Size of Earth Change: 22.4 acres Start Date: 7/13/20 Completion Date: 8/1/21

Name & Distance to Nearest Surface Water, Wetland or Drain: On-site: Unnamed Creek

Describe Project: The construction of 136 units of senior housing with associated parking, drives, and utilities

*** DETERMINATIONS MUST BE SUBMITTED WITH AN ACCURATE SITE PLAN OF PROPOSED WORK***

Owner's Name: Louis G and Marvel R LaFranier Trusts

Owner's Mailing Address: 15532 Bluff Road City, State, Zip: Traverse City, MI 49686

Owner's Phone: (231) 250-1896 Owner's email: dixier@charter.net

Applicant (if other than owner): Reenders Inc. attn: Dennis Reenders

Address: 950 Taylor Avenue City, State, Zip: Grand Haven, MI 49417

Phone: (616) 842-2425 Email: dreenders@reendersinc.com

**Signature: *[Signature]* Date: 2-13-20

DEPARTMENT USE ONLY: COMPLETED BY SANITARIAN

THE FOLLOWING CRITERIA DO NOT APPLY:

SOM PA 451, PART 91 REQUIREMENTS

GTCHD SESC REQUIREMENTS

- | | | |
|--|---|--|
| <input type="checkbox"/> Within 500' of Lake or Stream | <input type="checkbox"/> Within 500' of Regulated Wetland | <input checked="" type="checkbox"/> Slopes of 20% or greater |
| <input type="checkbox"/> Disturb 1 acre or more | <input checked="" type="checkbox"/> Within 500' of a County Drain | <input type="checkbox"/> Group D Hydrologic Soils |

Comments: On-site ephemeral stream unnamed, stream has surrounding designated wetlands, no slopes > 20%, no county drains, possible hydric soils in wetland

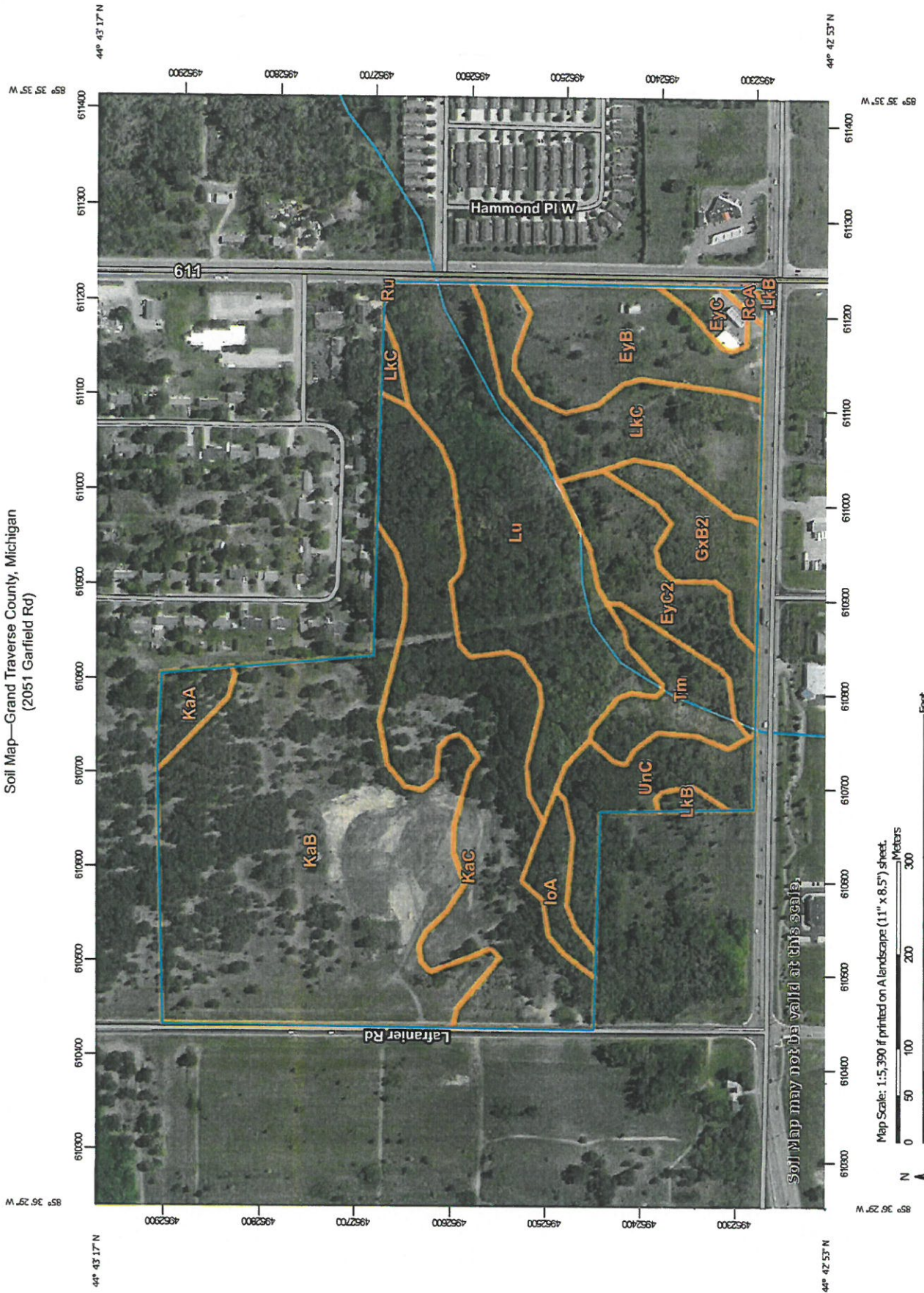
OFFICE REVIEW FIELD REVIEW

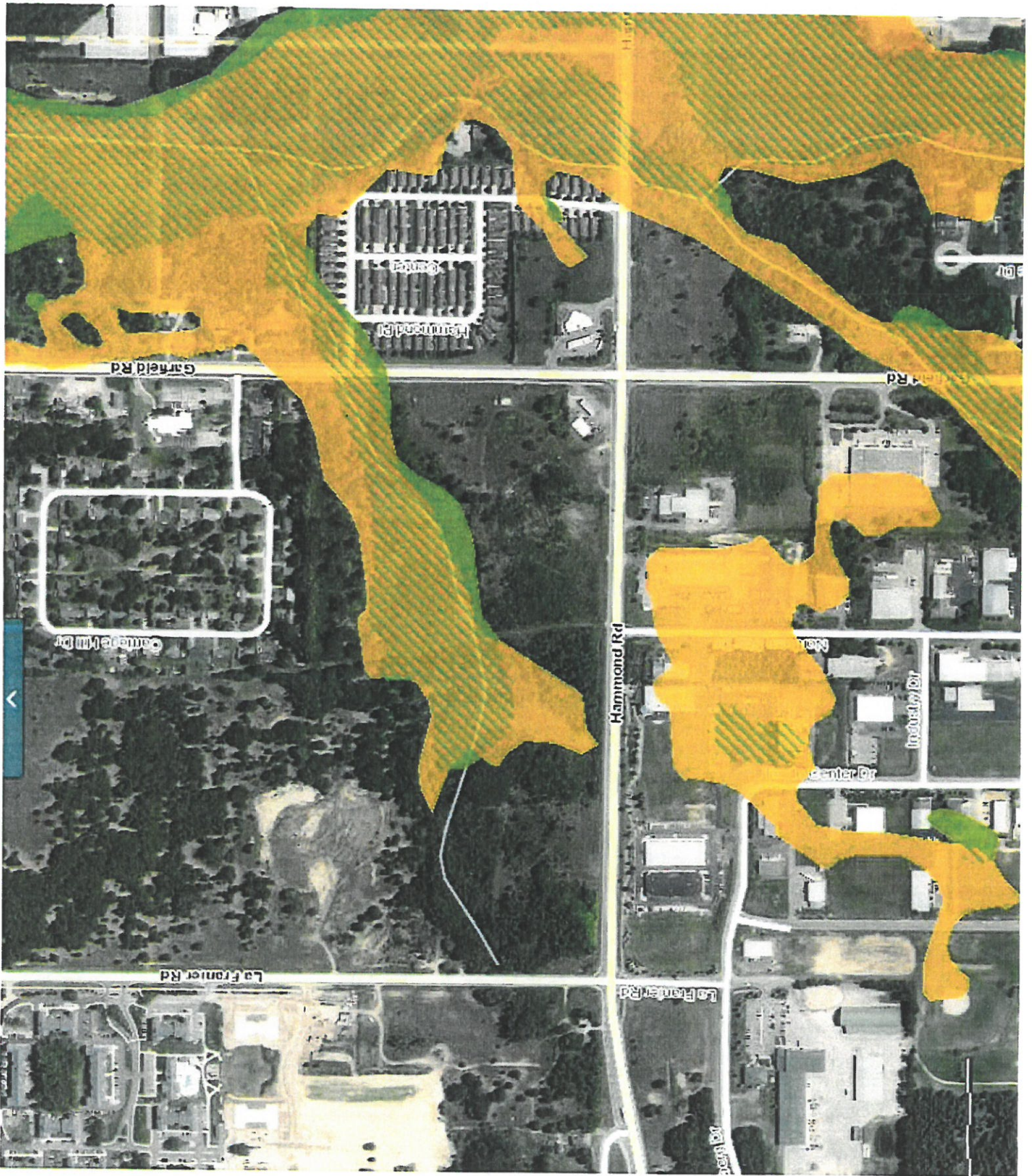
Based on information provided by the Land Owner, the requirement for a Soil Erosion/Sedimentation Control (SESC) Permit has been reviewed in accordance with Part 91, Act 451 of 1994 and the Grand Traverse County Soil Erosion and Sedimentation Control Ordinance, as amended. Grand Traverse County Health Department, County Enforcing Agency, has determined that a SESC Permit is:

NOT REQUIRED REQUIRED

Sanitarian Reviewer: *[Signature]* Date: 6/30/20

Soil Map—Grand Traverse County, Michigan
(2051 Garfield Rd)





838 W. Long Lake #250
Bloomfield Hills, MI 48302
Ph: 248.350.5948
Fax: 248.350.5949
Web: www.progressiveassociates.com

PROGRESSIVE NORTH, L.L.C.
42500 Mack Road, Suite 401
Farmington Hills, MI 48334
P.O. Box 545
Farmington Hills, MI 48334
Ph: 248.350.5948
Fax: 248.350.5949
Web: www.progressiveassociates.com

Issued For:	
REVIEW	03.03.19
CONCEPTUAL REVIEW	06.08.19
PRELIM. P.U.D. APPROVAL	02.05.20
FINAL P.U.D. APPROVAL	06.01.20
REV'D / FINAL P.U.D. APPROVAL	06.01.20

EXISTING ZONING:
R-3 MULTI-FAMILY RESIDENTIAL



SCALE: 1" = 80'-0"

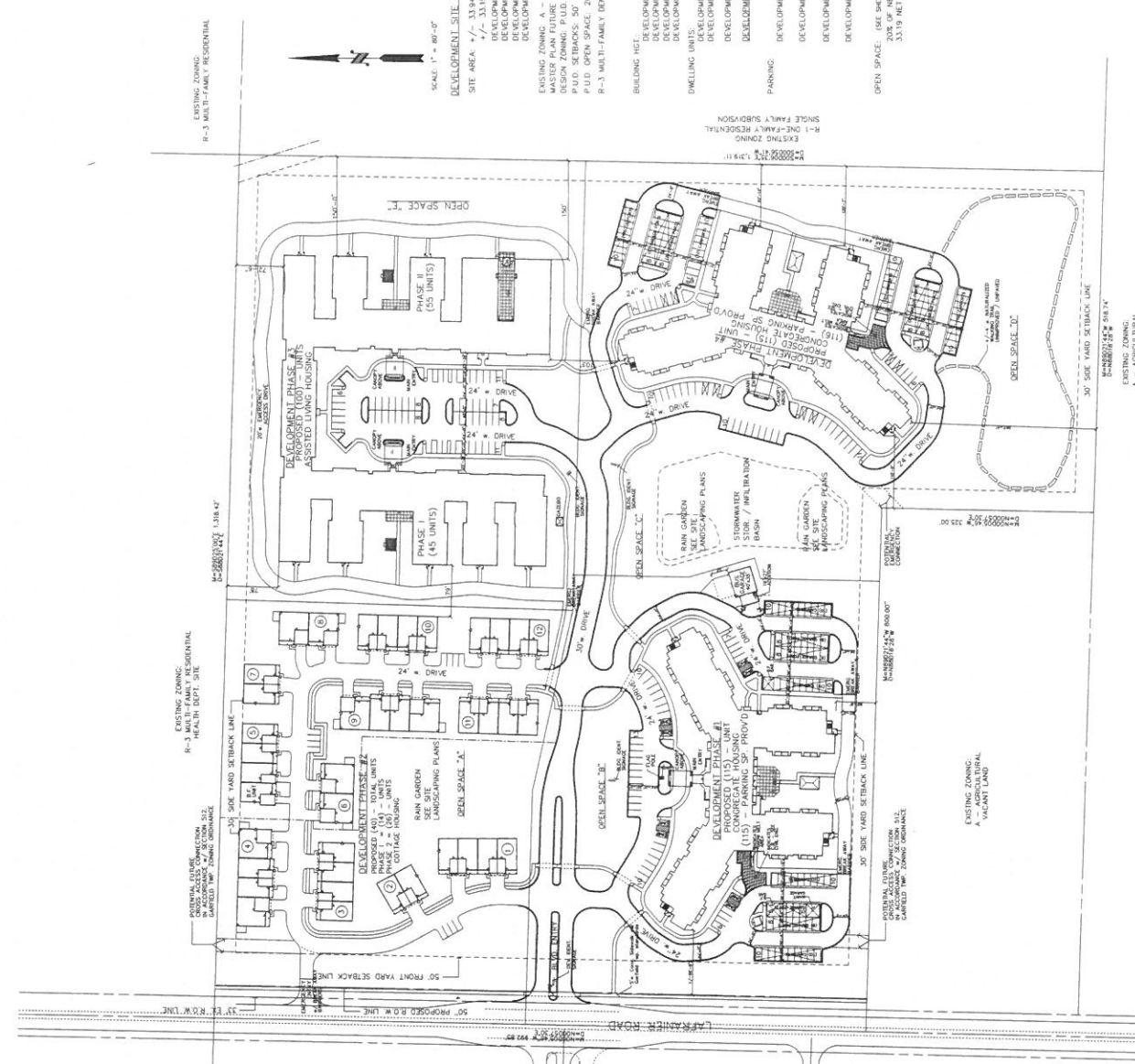
DEVELOPMENT SITE DATA:

SITE AREA +/- 33.84 TOTAL GROSS ACRES / 1,478,609.4744 TOTAL GROSS SQ.FT. SITE AREA
 +/- 33.19 TOTAL NET ACRES / 1,445,642.722 TOTAL NET SQ.FT. SITE AREA
 DEVELOPMENT PHASE #1 = 10.9 UNITS PER UNIT (10.9 UNIT CONSTRUCTION PHASE)
 DEVELOPMENT PHASE #2 = 8.25 GROSS ACRES (399,192.0 GROSS SQ.FT. SITE AREA)
 DEVELOPMENT PHASE #3 = 8.25 GROSS ACRES (399,192.0 GROSS SQ.FT. SITE AREA)
 DEVELOPMENT PHASE #4 = 10.63 GROSS ACRES (482,902.33 GROSS SQ.FT. SITE AREA)

EXISTING ZONING: A - AGRICULTURAL
 DENSITY: RESIDENTIAL
 DESIGN ZONING: P.U.D. / PLANNED UNIT DEVELOPMENT
 P.U.D. SETBACKS: 50' FRONT YD. / 30' ALL SIDE & REAR YARDS
 P.U.D. OPEN SPACE: 20% OF SITE AREA TO BE PARKS, TRAILS, PLAYGROUNDS, ETC. = 6.6 ACRES
 R-3 MULTI-FAMILY DENSITY: 4,000 SQ.FT. OF SITE AREA PER UNIT = 10.9 UNITS PER NET ACRE
 4,000 SQ.FT. OF SITE AREA PER UNIT = 361 UNITS ALLOWED

BUILDING UNIT:
 DEVELOPMENT PHASE #1 = (3) STORES / 37'-6"
 DEVELOPMENT PHASE #2 = (1) STORY / 16'-0"
 DEVELOPMENT PHASE #3 = (1) STORY / 16'-0"
 DEVELOPMENT PHASE #4 = (3) STORES / 37'-6"
 DWELLING UNITS:
 DEVELOPMENT PHASE #1 = (103) - UNITS TOTAL / SENIOR CONGRUATE RESIDENCE
 DEVELOPMENT PHASE #2 = (40) - UNITS TOTAL / SENIOR CONGRUATE RESIDENCE
 DEVELOPMENT PHASE #3 = (100) - UNITS TOTAL / SENIOR CONGRUATE RESIDENCE
 DEVELOPMENT PHASE #4 = (110) - UNITS TOTAL - SENIOR CONGRUATE RESIDENCE
 (TO BE BUILT #1 = 100 UNIT CONSTRUCTION PHASE)
 (TO BE BUILT #2 = 100 UNIT CONSTRUCTION PHASE)
 (TO BE BUILT #3 = 100 UNIT CONSTRUCTION PHASE)
 (TO BE BUILT #4 = 110 UNIT CONSTRUCTION PHASE)
 PARKING:
 DEVELOPMENT PHASE #1 = (510) - UNITS TOTAL PROPOSED / 711 UNITS PER NET ACRE
 DEVELOPMENT PHASE #2 = (115) - UNITS X (1) SPACE PER UNIT
 DEVELOPMENT PHASE #3 = (115) - UNITS X (1) SPACE PER UNIT
 DEVELOPMENT PHASE #4 = (100) - UNITS X (1) SPACE PER UNIT
 DEVELOPMENT PHASE #5 = (100) - UNITS X (1) SPACE PER UNIT
 DEVELOPMENT PHASE #6 = (100) - UNITS X (1) SPACE PER UNIT
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 DEVELOPMENT PHASE #100 = (100) - UNITS X (1) SPACE PER UNIT

OPEN SPACE: (SEE SHEET TYPIC FOR OPEN SPACE INFORMATION)
 33.19 NET ACRES X .20% = 6.6 ACRES



EXISTING ZONING:
R-3 MULTI-FAMILY RESIDENTIAL

EXISTING ZONING:
AGRICULTURAL
VACANT LAND

EXISTING ZONING:
AGRICULTURAL
VACANT LAND

EXISTING ZONING:
AGRICULTURAL
VACANT LAND

Project:
Reenders, Inc.

Project:
The Village at
LaFrainer Woods

Sheet Title:
GARFIELD TWP., MICHIGAN

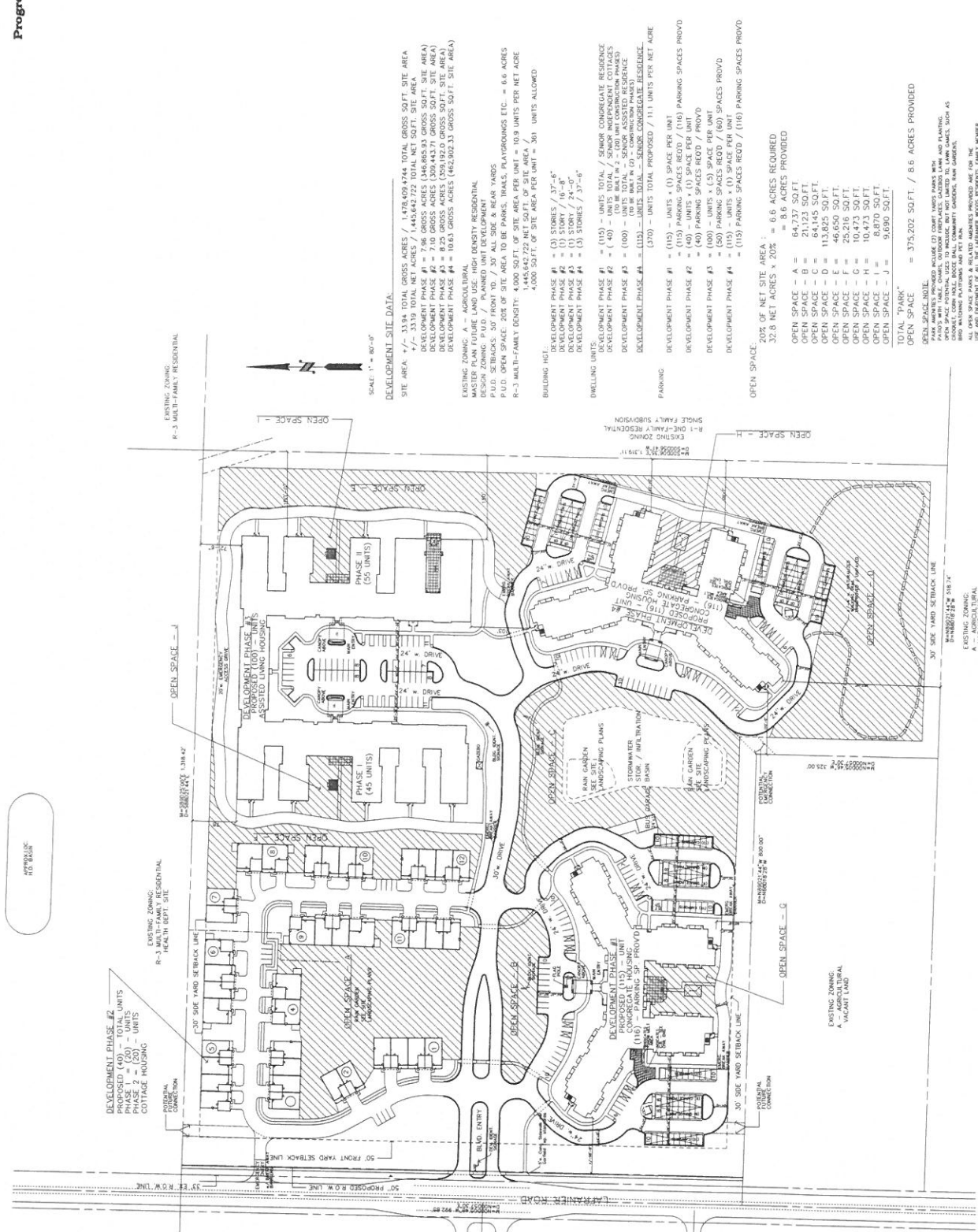
Architectural
Site
Plan

Project Number: 19-110
Drawn: CI
Checked: PAFIN
Date: 02.21.19
Sheet Number: **CD1**

838 W. Long Lake #250
Bloomfield Hills, MI 48302
Tel: 248.848.8800
Email: paul@progressiveassociates.com
Web: www.progressiveassociates.com

PROGRESSIVE NORTH, L.L.C.
425 East Michigan St., Suite 400
Ann Arbor, MI 48106
Tel: 734.769.4000
Fax: 734.769.4000
Web: www.progressive.com

Final EIR	01/16/20
REVIEW	01/16/20
CONCEPTUAL REVIEW	06/08/19
PRELIM P.U.D. REVIEW	10/01/19
PRELIM P.U.D. REVISED	12/02/19
PRELIM P.U.D. REVISED	12/04/19
PRELIM P.U.D. REVISED	12/30/19
PRELIM P.U.D. REVISED	01/08/20
PRELIM P.U.D. REVISED/ENTRY	01/16/20
PRELIM P.U.D. APPROVAL	02/05/20
FINAL P.U.D. APPROVAL	06/15/20



DEVELOPMENT SITE DATA:
 SCALE: 1" = 80'-0"
 SITE AREA +/- 33.94 TOTAL GROSS ACRES / 1,478,609.974 TOTAL GROSS SQ.FT. SITE AREA
 DEVELOPMENT PHASE #1 = 10.00 GROSS ACRES (420,000 SQ.FT. SITE AREA)
 DEVELOPMENT PHASE #2 = 7.10 GROSS ACRES (299,443.71 GROSS SQ.FT. SITE AREA)
 DEVELOPMENT PHASE #3 = 8.25 GROSS ACRES (329,192.0 GROSS SQ.FT. SITE AREA)
 DEVELOPMENT PHASE #4 = 10.63 GROSS ACRES (422,902.33 GROSS SQ.FT. SITE AREA)
 EXISTING ZONING: R-3 MULTI-FAMILY RESIDENTIAL
 DESIGN ZONING: P.U.D. / PLANNED UNIT DEVELOPMENT
 P.U.D. SETBACKS: 50' FRONT YD. / 30' ALL SIDE & REAR YARDS
 P.U.D. OPEN SPACE: 20% OF SITE AREA TO BE PARKS, TRAILS, PLAYGROUNDS ETC. = 6.6 ACRES
 R-3 MULTI-FAMILY DENSITY: 4,000 SQ.FT. OF SITE AREA PER UNIT = 10.9 UNITS PER NET ACRE
 4,000 SQ.FT. OF SITE AREA PER UNIT = 361 UNITS ALLOWED

BUILDING FLOOR AREA:
 DEVELOPMENT PHASE #1 = (3) STORIES / 107,400 SQ. FT.
 DEVELOPMENT PHASE #2 = (3) STORIES / 244,400 SQ. FT.
 DEVELOPMENT PHASE #3 = (3) STORIES / 244,400 SQ. FT.
 DEVELOPMENT PHASE #4 = (3) STORIES / 377,600 SQ. FT.
DWELLING UNITS:
 DEVELOPMENT PHASE #1 = (115) - UNITS TOTAL / SENIOR CONGRUATE RESIDENCE
 DEVELOPMENT PHASE #2 = (40) - UNITS TOTAL / SENIOR INDEPENDENT COTTAGES
 DEVELOPMENT PHASE #3 = (100) - UNITS TOTAL / SENIOR ASSISTED RESIDENCE
 DEVELOPMENT PHASE #4 = (113) - UNITS TOTAL / SENIOR ASSISTED RESIDENCE
PARKING:
 DEVELOPMENT PHASE #1 = (115) - UNITS x (1) SPACE PER UNIT = 115 PARKING SPACES REQ'D / (116) PARKING SPACES PROVIDED
 DEVELOPMENT PHASE #2 = (40) - UNITS x (1) SPACE PER UNIT = 40 PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #3 = (100) - UNITS x (1) SPACE PER UNIT = 100 PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #4 = (113) - UNITS x (1) SPACE PER UNIT = 113 PARKING SPACES REQ'D / (113) PARKING SPACES PROVIDED

OPEN SPACE:
 20% OF NET SITE AREA = 6.6 ACRES REQUIRED
 32.8 NET ACRES x 20% = 6.6 ACRES PROVIDED
 OPEN SPACE - A = 64,737 SQ.FT.
 OPEN SPACE - B = 61,123 SQ.FT.
 OPEN SPACE - C = 113,825 SQ.FT.
 OPEN SPACE - D = 46,650 SQ.FT.
 OPEN SPACE - E = 25,216 SQ.FT.
 OPEN SPACE - F = 10,473 SQ.FT.
 OPEN SPACE - G = 8,870 SQ.FT.
 OPEN SPACE - H = 9,690 SQ.FT.
 OPEN SPACE - I = 8,870 SQ.FT.
 OPEN SPACE - J = 9,690 SQ.FT.

TOTAL "PARK"
 = 375,202 SQ.FT. / 8.6 ACRES PROVIDED
 OPEN SPACE TOTAL = 375,202 SQ.FT. / 8.6 ACRES PROVIDED
 TOTAL "PARK" = 375,202 SQ.FT. / 8.6 ACRES PROVIDED
 OPEN SPACE TOTAL = 375,202 SQ.FT. / 8.6 ACRES PROVIDED

Developer:
Reenders, Inc.

Project:
The Village at
Lafayette Woods

Sheet Title:
GARFIELD TWP., MICHIGAN

Open Space
Site
Plan

Project Number: 19-110
Drawn: J. K. RYAN
Date: 02.21.19
Sheet Number: 00001



818 W. Long Lake #250
Bloomfield Hills, MI 48302
Tel: 248.850.1000
Fax: 248.850.1001
Email: info@progressiveassociates.com

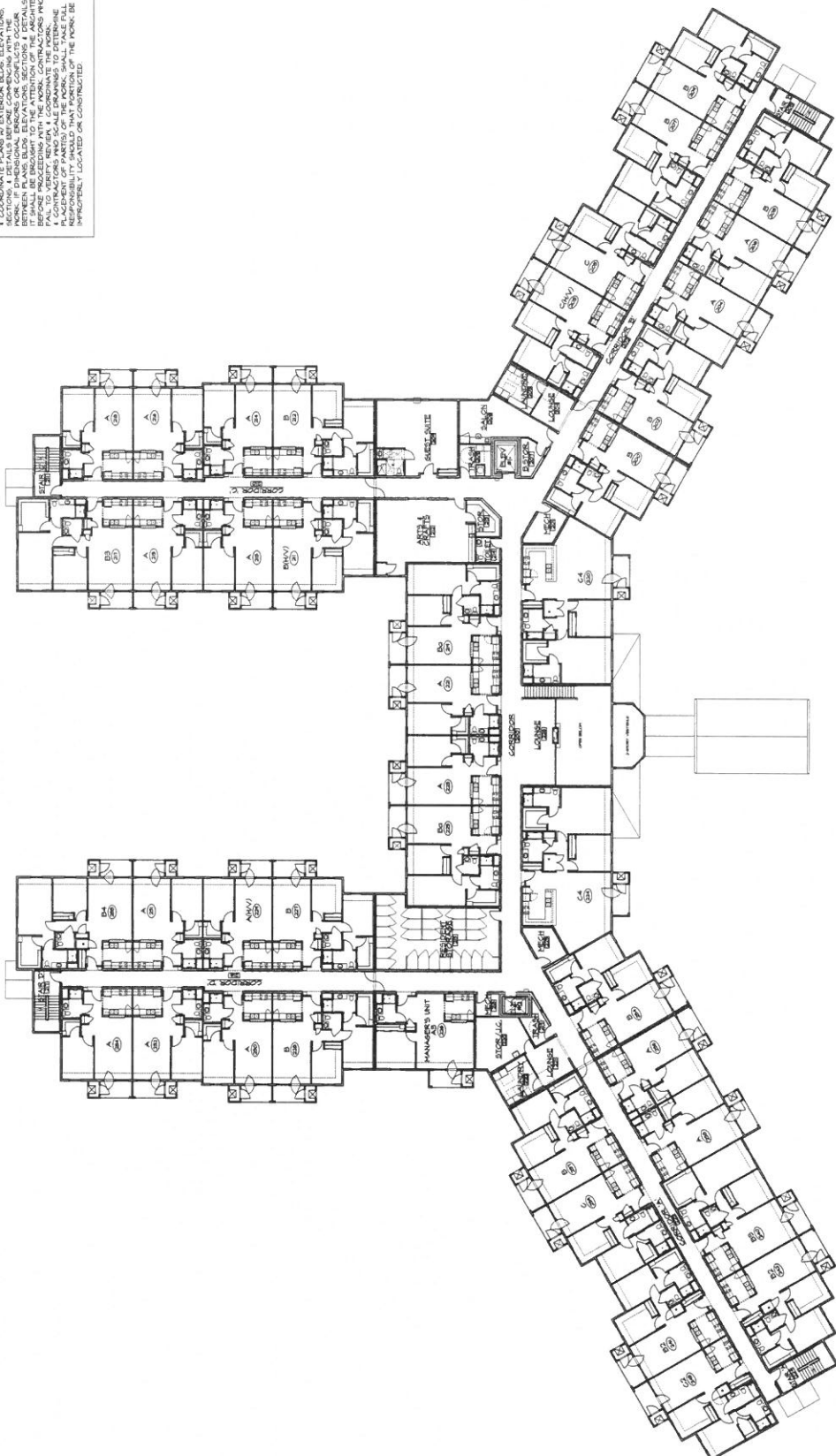
NOTE TO ALL CONTRACTORS:
ALL CONTRACTORS SHALL VERIFY & COORDINATE
A. COORDINATE PLANS OF EXISTING BLDGS, ELEVATIONS,
MECHANICAL, ELECTRICAL, PLUMBING, & HVAC
WORK, IF PROFESSIONAL ERRORS OR CONFLICTS OCCUR,
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO
A. CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE
DIMENSIONS SHALL BE RESPONSIBLE FOR ANY
INCONSISTENCIES. CONTRACTORS SHALL BE RESPONSIBLE FOR
ANY DISCREPANCIES LOCATED OR CONSTRUCTED.

Issued For:	
REVIEW:	7.24.19
REVIEW:	8.28.19
REVIEW:	9.30.19
REVIEW:	10.2.19

Developer:
Reemeters Inc.
Project:
Phase 1 Congregate Care
The Village at
LaFrainer Woods

Garfield Township, Michigan
Sheet Title:
**COMPOSITE
SECOND FLOOR PLAN**

Project Number: 19-110-1
Drawn: RGO
Checked: DF
Date: 7.11.19
Sheet Number: **A2.1**



UNIT TABULATION (SECOND FLOOR)

UNIT PLAN	UNIT AREA	UNIT DESCRIPTION	TOTAL UNITS
A	(0814.1)	1 BEDRM / 1 BATH	16
B	(0944.1)	2 BEDRM / 1 BATH	11
B1	(0944.1)	2 BEDRM / 1 BATH (UPGRADE)	2
B2	(0944.1)	2 BEDRM / 1 BATH (UPGRADE)	2
B3	(0944.1)	2 BEDRM / 1 BATH (UPGRADE)	2
B4	(0944.1)	2 BEDRM / 1.5 BATH (UPGRADE)	1
C	(0974.1)	2 BEDRM / 2 BATH	1
C1	(0974.1)	2 BEDRM / 2 BATH (UPGRADE)	1
C2	(0974.1)	2 BEDRM / 2 BATH (UPGRADE)	1
C3	(0974.1)	2 BEDRM / 2 BATH (UPGRADE)	1
C4	(0974.1)	2 BEDRM / 2 BATH (UPGRADE)	1
TOTAL UNITS			41

Issued & Visual Approval: (P&S) 08/14/2019 02:11:42 PM

818 W. Lone Lake #110
Bloomfield Hills, MI 48302
Tel: 248.854.4470
Email: info@progressiveassociates.com

NOTE TO ALL CONTRACTORS:
ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWINGS AS WELL AS REVIEW SECTIONS & DETAILS BEFORE COMMENCING WITH THE WORK. CONTRACTORS SHALL VERIFY THE CORRELATION BETWEEN PLANS, ELEVATIONS, SECTIONS & DETAILS BEFORE PROCEEDING WITH THE WORK. CONTRACTORS AND ARCHITECTS SHALL VERIFY THE CORRELATION OF ALL DIMENSIONS AND LOCATIONS OF ALL PARTS OF THE WORK SHALL TAKE FULL RESPONSIBILITY FOR THE ACCURACY OF THE WORK AS PRESENTED ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES LOCATED OR CONSTRUCTED.

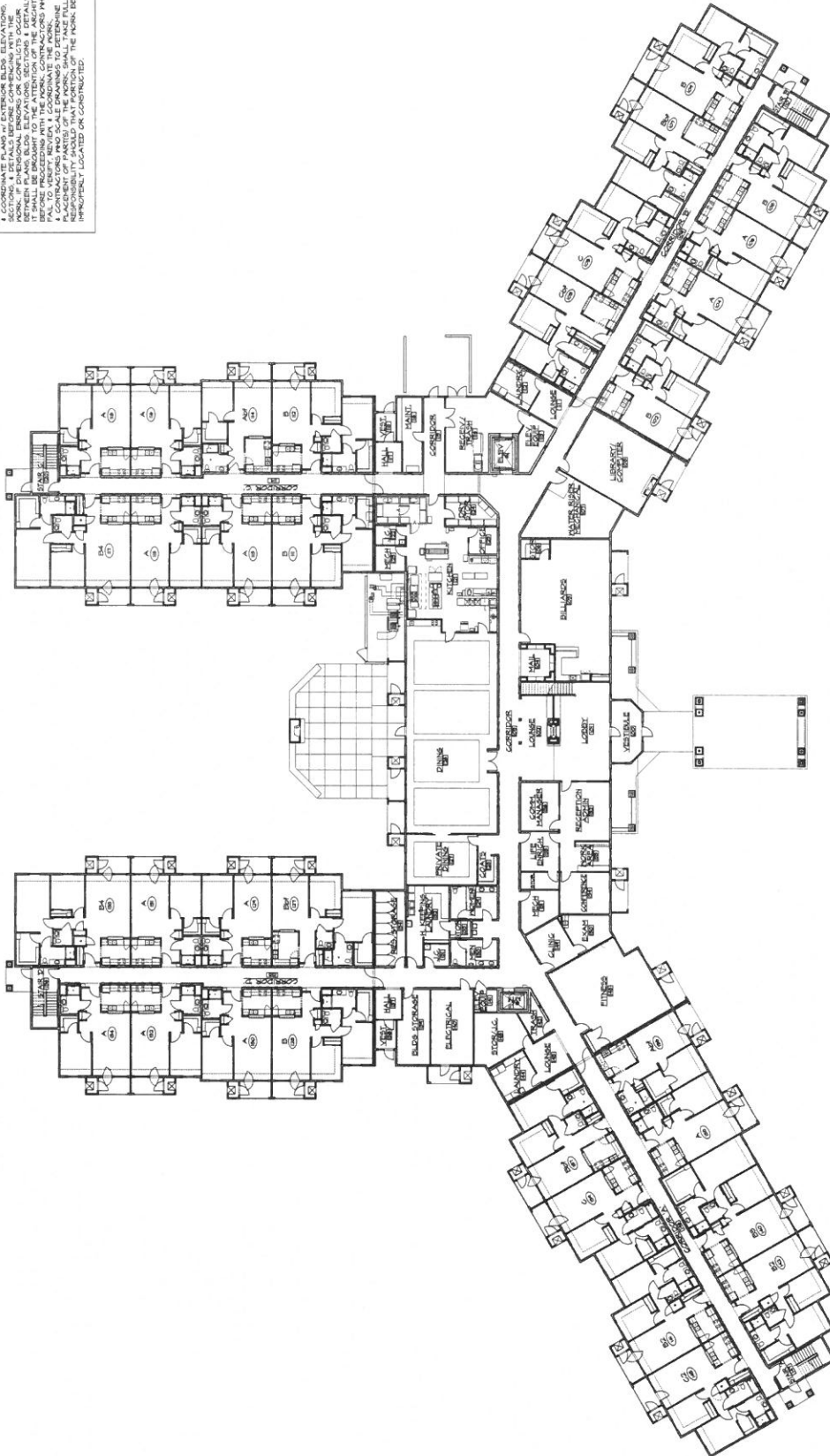
Issued For:
REVISION
7.24.19
REVISION
8.30.19
REVISION
10.21.19

Developer:
Reenders Inc.
Project:
Phase I Congregate Care
The Village at
LaFrailer Woods

Sheet Title:
Garfield Township, Michigan

COMPOSITE
FIRST FLOOR PLAN

Project Number: 19-110-1
Drawn: RUC
Checked: DT
Date: 7.11.19
Sheet Number: A1.1



UNIT PLAN	UNIT AREA	UNIT DESCRIPTION	TOTAL UNITS
A	(085 A-L)	1 BEDRM / 1 BATH	12
AMF	(085 A-L)	1 BEDRM / 1 BATH (Bariatric Free)	7
B	(093 A-L)	2 BEDRM / 1.5 BATH	6
B2	(093 A-L)	2 BEDRM / 1.5 BATH (Bariatric Free)	3
B3	(093 A-L)	2 BEDRM / 1.5 BATH (Oc. Landsc.)	2
B4	(1006 A-L)	2 BEDRM / 1.5 BATH (Oc. Landsc.)	2
C	(093 A-L)	2 BEDRM / 2 BATH	2
C2	(093 A-L)	2 BEDRM / 2 BATH (Bariatric Free)	1
C3	(093 A-L)	2 BEDRM / 2 BATH (Oc. Landsc.)	1
TOTAL UNITS:			12

COMPOSITE FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



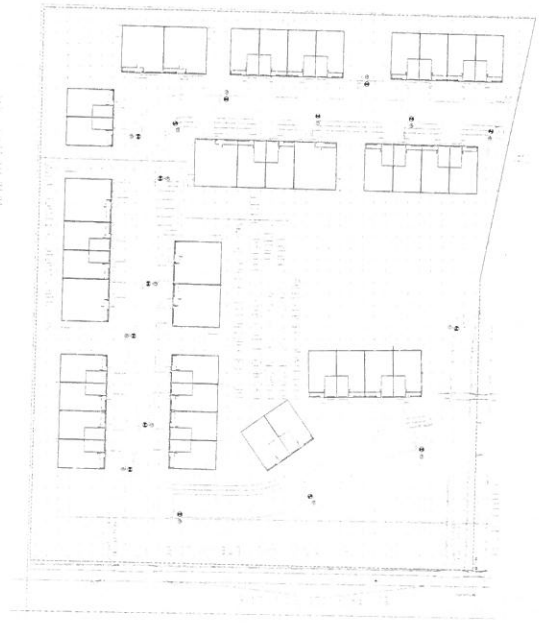
NORTH

Reender Free Units (UN-LEAS) reg 1: 410, 407, 412, 417, 437, 438

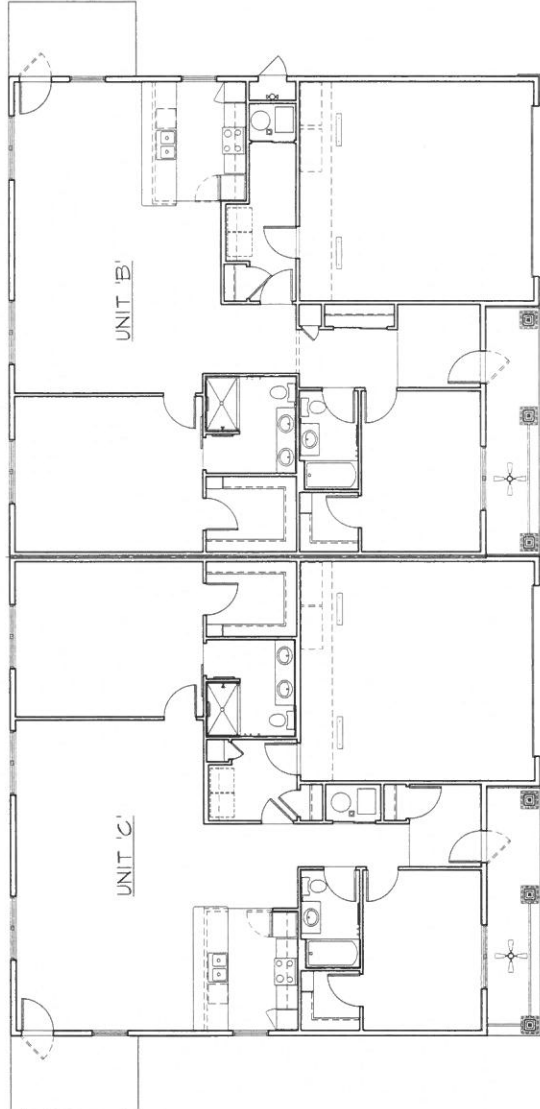


Symbol	Quantity	City	Manufacturer	Description	Notes	Quantity	Quantity	Quantity
AO4 EM @ 12'	0	OWB1	GENUINE PURPOSE LED WALLPACK	LED		1	1493	1
AO @ 8'	12		OSRAM LED 20' 30W 120V	OSRAM LED 20' 30W 120V		1	1504	1
AO @ 8'	1		OSRAM LED 20' 30W 120V	OSRAM LED 20' 30W 120V		1	1504	1
ZOO	0		1100 8000 30W 3000K	1100 8000 30W 3000K		1	1504	1
AO3	0		1100 8000 30W 3000K	1100 8000 30W 3000K		1	1504	1
AO6 EM @ 12'	0		1100 8000 30W 3000K	1100 8000 30W 3000K		1	1504	1
AO @ @20'	0		OSRAM LED 20' 30W 120V	OSRAM LED 20' 30W 120V		1	1504	1
H55	0		OSRAM LED 20' 30W 120V	OSRAM LED 20' 30W 120V		1	1504	1
AO7 @ 8'	0		OSRAM LED 20' 30W 120V	OSRAM LED 20' 30W 120V		1	1504	1

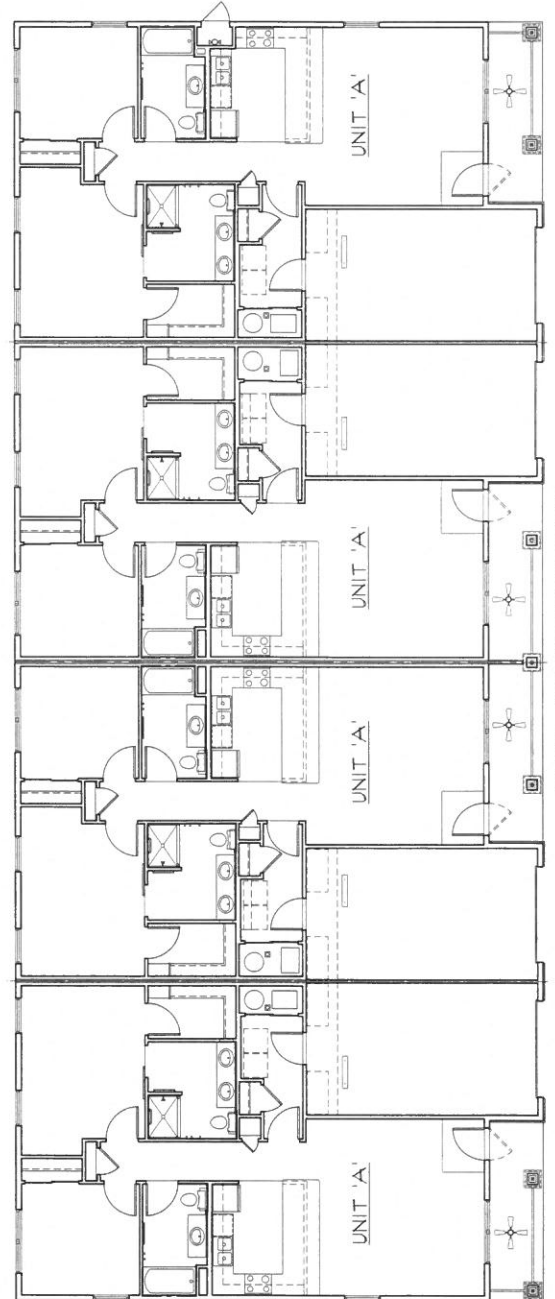
Quantities shown are based on the information provided in the drawings and are subject to change without notice.



Issued For:
 REVIEW



TYPICAL COMPOSITE FLOOR PLAN
 SCALE: 3/16" = 1'-0"



TYPICAL COMPOSITE FLOOR PLAN
 SCALE: 3/16" = 1'-0"

Developer:
 Recenders Inc.

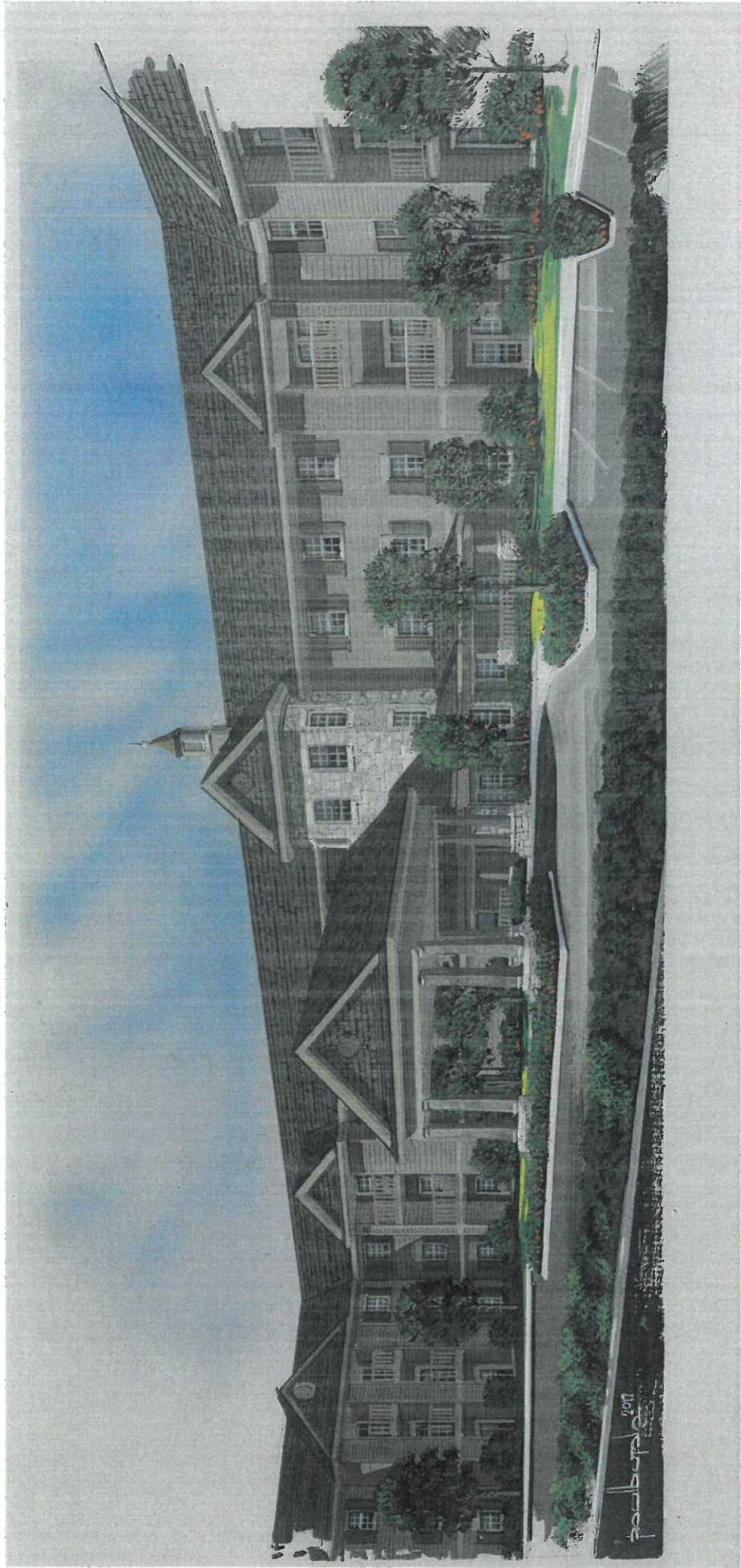
Project:
 Cottage Units

The Village at
 LaFrainer Woods

Garfield Township, Michigan

Sheet Title:
 TYPICAL
 COTTAGE BUILDING
 FLOOR PLAN

Project Number:
 Drawn:
 Checked:
 Sheet Number:
 SKI



Progressive Associates, Inc. Architects
838 W. Long Lake Road
Suite 250
Bloomfield Hills, Michigan 48302
248-540-5940

The Village at LaFranier Woods - Congregate
Garfield Township, Michigan
developer: REENDERS, Inc.

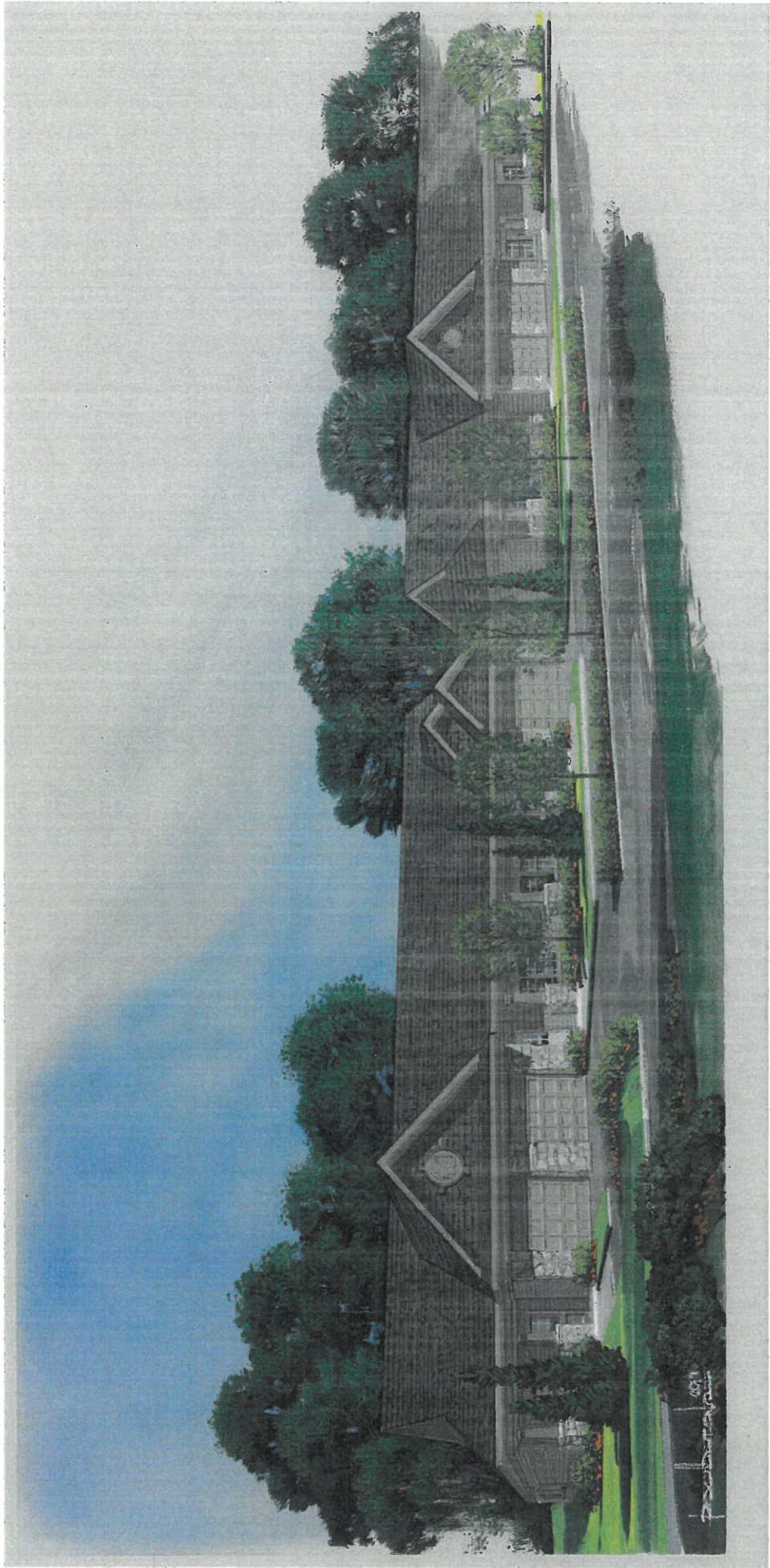


Progressive Associates, Inc. Architects
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The Village at LaFranier Woods - Assisted Living

Garfield Township, Michigan

developer: REENDERS, Inc.



Progressive Associates, Inc. Architects
838 W. Long Lake Road
Suite 250
Bloomfield Hills, Michigan 48302
248-540-5940

The Village at LaFranier Woods - Cottages

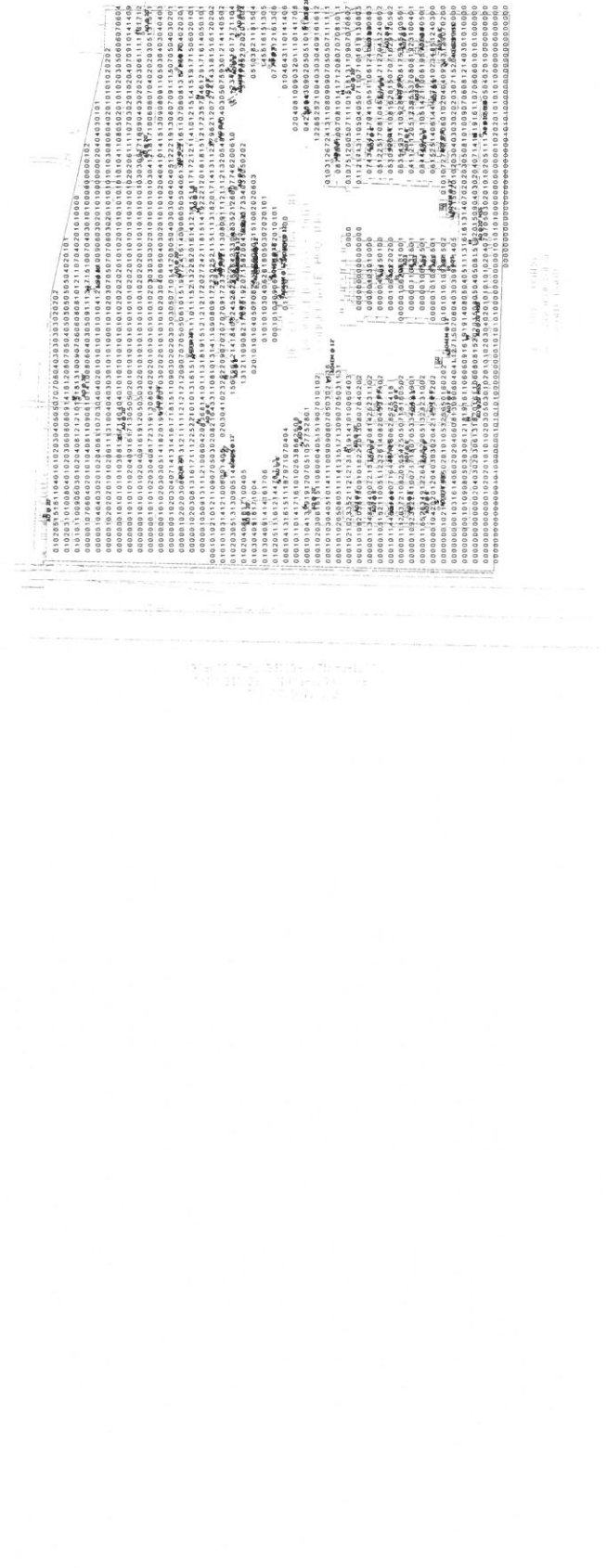
Garfield Township, Michigan

developer: REENDERS, Inc.



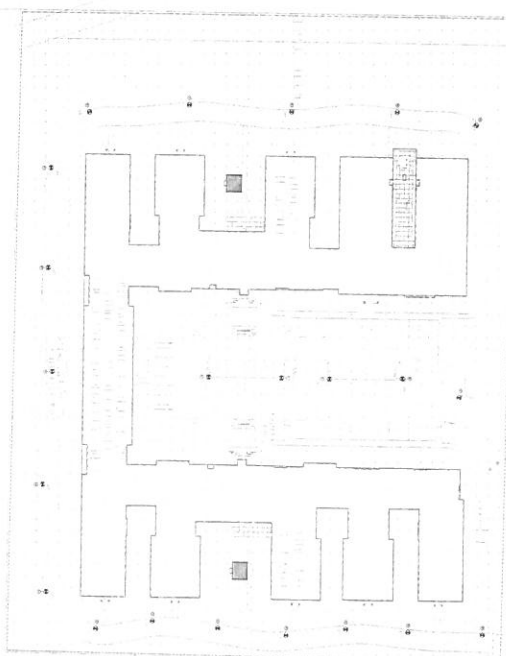
Symbol	Symbol Description	City	City Code	City Code Description	City Code Description	City Code Description	City Code Description	City Code Description	City Code Description	City Code Description	City Code Description	City Code Description
AO @	13	AOBLED 13 3M X 1.5M	13	AOBLED 13 3M X 1.5M	13	AOBLED 13 3M X 1.5M	13	AOBLED 13 3M X 1.5M	13	AOBLED 13 3M X 1.5M	13	AOBLED 13 3M X 1.5M
AO @	21	AOBLED 21 3M X 1.5M	21	AOBLED 21 3M X 1.5M	21	AOBLED 21 3M X 1.5M	21	AOBLED 21 3M X 1.5M	21	AOBLED 21 3M X 1.5M	21	AOBLED 21 3M X 1.5M
AO @	20	AOBLED 20 3M X 1.5M	20	AOBLED 20 3M X 1.5M	20	AOBLED 20 3M X 1.5M	20	AOBLED 20 3M X 1.5M	20	AOBLED 20 3M X 1.5M	20	AOBLED 20 3M X 1.5M
AO3	9	AOBLED 9 3M X 1.5M	9	AOBLED 9 3M X 1.5M	9	AOBLED 9 3M X 1.5M	9	AOBLED 9 3M X 1.5M	9	AOBLED 9 3M X 1.5M	9	AOBLED 9 3M X 1.5M
AO6	7	AOBLED 7 3M X 1.5M	7	AOBLED 7 3M X 1.5M	7	AOBLED 7 3M X 1.5M	7	AOBLED 7 3M X 1.5M	7	AOBLED 7 3M X 1.5M	7	AOBLED 7 3M X 1.5M
EN @	6	ENBLED 6 3M X 1.5M	6	ENBLED 6 3M X 1.5M	6	ENBLED 6 3M X 1.5M	6	ENBLED 6 3M X 1.5M	6	ENBLED 6 3M X 1.5M	6	ENBLED 6 3M X 1.5M
AG @	20	AGBLED 20 3M X 1.5M	20	AGBLED 20 3M X 1.5M	20	AGBLED 20 3M X 1.5M	20	AGBLED 20 3M X 1.5M	20	AGBLED 20 3M X 1.5M	20	AGBLED 20 3M X 1.5M
HSS	28	HSS 28 3M X 1.5M	28	HSS 28 3M X 1.5M	28	HSS 28 3M X 1.5M	28	HSS 28 3M X 1.5M	28	HSS 28 3M X 1.5M	28	HSS 28 3M X 1.5M
AO7 @	1	AO7 1 3M X 1.5M	1	AO7 1 3M X 1.5M	1	AO7 1 3M X 1.5M	1	AO7 1 3M X 1.5M	1	AO7 1 3M X 1.5M	1	AO7 1 3M X 1.5M

PHOTOMETRIC SYMBOLS
Symbol Description



Symbol	Code	Qty	Orientation	Condition	Height	Beam Spread	Beam Angle	Footcandle @ 30'	Footcandle @ 15'	Footcandle @ 10'	Footcandle @ 5'
1	A04 EM @ 12'	0	0	GENERAL PURPOSE AND WALLWASH	12.0'	180°	180°	1.5	18.75	1.5	18.75
	A05 EM @ 17'	17	0	GENERAL PURPOSE AND WALLWASH	17.0'	180°	180°	1.5	15.00	1.5	4.5
	A06 EM @ 17'	5	0	GENERAL PURPOSE AND WALLWASH	17.0'	180°	180°	1.5	15.00	1.5	4.5
	A07 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A08 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A09 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A10 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A11 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A12 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A13 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A14 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A15 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A16 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A17 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A18 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A19 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A20 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A21 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A22 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A23 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A24 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A25 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A26 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A27 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A28 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A29 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A30 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A31 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A32 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A33 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A34 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A35 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A36 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A37 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A38 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A39 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A40 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A41 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A42 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A43 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A44 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A45 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A46 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A47 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A48 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A49 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5
	A50 EM @ 20'	0	0	GENERAL PURPOSE AND WALLWASH	20.0'	180°	180°	1.5	11.25	1.5	22.5

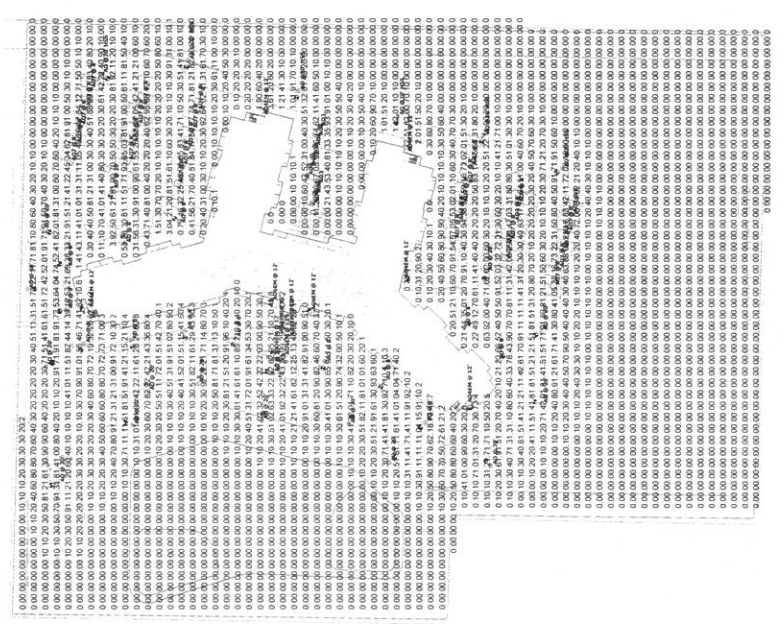
SCALE:
AS SHOWN ON THE PLAN





Code	Material	Notes
AO4EM @ 12'	4' LUMENIA LUMINA	
AO8 @ 8'	8' LUMENIA LUMINA	
AO20 @ 20'	20' LUMENIA LUMINA	
AO3	3' LUMENIA LUMINA	
AO8EM @ 12'	8' LUMENIA LUMINA	
AO20HSS @ 20'	20' LUMENIA LUMINA	
AO7 @ 8'	8' LUMENIA LUMINA	

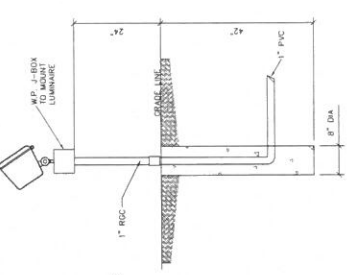
Area	Code	Material	Comments	Quantity	Unit	Notes	Price	Total
1	AO4EM @ 12'	4' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO8 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO20 @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO3	3' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO8EM @ 12'	8' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO20HSS @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00
1	AO7 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00			1.00	16000000.00



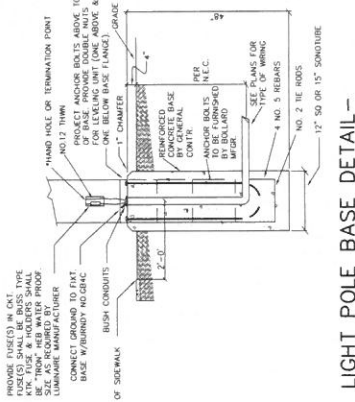
Area	Code	Material	Quantity	Total
1	AO4EM @ 12'	4' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20 @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO3	3' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8EM @ 12'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20HSS @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO7 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO4EM @ 12'	4' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20 @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO3	3' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8EM @ 12'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20HSS @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO7 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO4EM @ 12'	4' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20 @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO3	3' LUMENIA LUMINA	16000000.00	16000000.00
1	AO8EM @ 12'	8' LUMENIA LUMINA	16000000.00	16000000.00
1	AO20HSS @ 20'	20' LUMENIA LUMINA	16000000.00	16000000.00
1	AO7 @ 8'	8' LUMENIA LUMINA	16000000.00	16000000.00



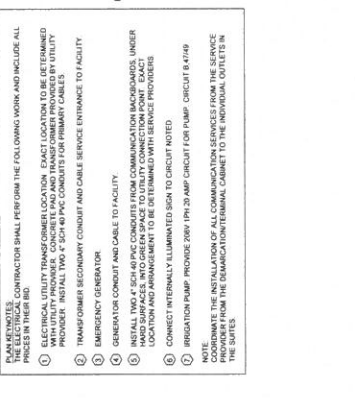
SITE LIGHTING LUMINAIRE SCHEDULE			
1	1" C	1" C	1" C
2	2" C	2" C	2" C
3	3" C	3" C	3" C
4	4" C	4" C	4" C
5	5" C	5" C	5" C
6	6" C	6" C	6" C
7	7" C	7" C	7" C
8	8" C	8" C	8" C
9	9" C	9" C	9" C
10	10" C	10" C	10" C
11	11" C	11" C	11" C
12	12" C	12" C	12" C
13	13" C	13" C	13" C
14	14" C	14" C	14" C
15	15" C	15" C	15" C
16	16" C	16" C	16" C
17	17" C	17" C	17" C
18	18" C	18" C	18" C
19	19" C	19" C	19" C
20	20" C	20" C	20" C
21	21" C	21" C	21" C
22	22" C	22" C	22" C
23	23" C	23" C	23" C
24	24" C	24" C	24" C
25	25" C	25" C	25" C
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70	70" C	70" C </tr	



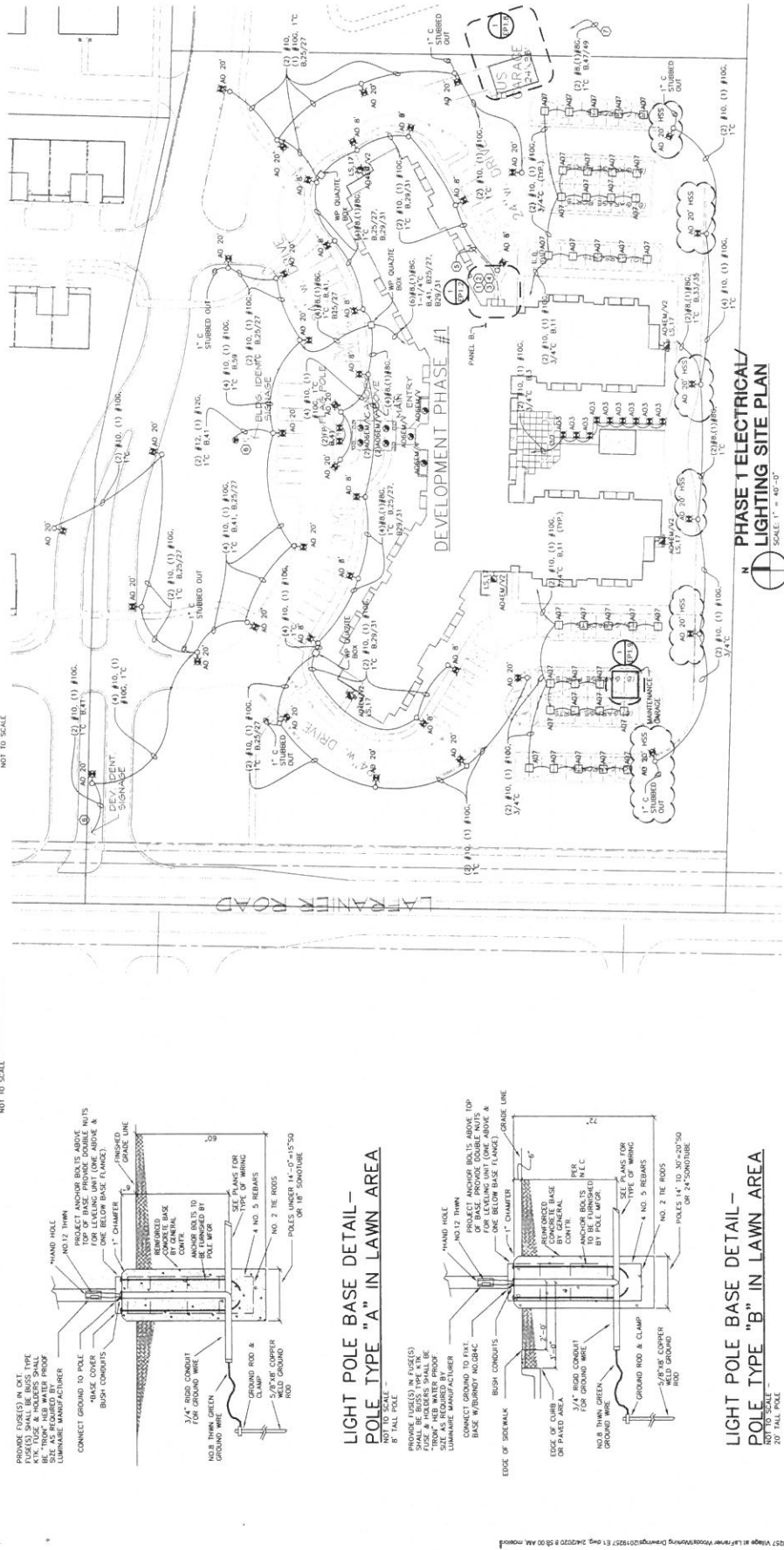
LIGHT POLE BASE DETAIL - BOLLARD
BASE TYPE "C" - BOLLARD
NOT TO SCALE



LIGHT POLE BASE DETAIL - IN LAWN AREA
POLE TYPE "A" IN LAWN AREA
NOT TO SCALE



LIGHT POLE BASE DETAIL - IN LAWN AREA
POLE TYPE "B" IN LAWN AREA
NOT TO SCALE



PHASE 1 ELECTRICAL LIGHTING SITE PLAN
SCALE: 1" = 40'-0"

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www.nerveldo.com
800.272.1888

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ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Reenders LaFranier
Park Plaza Ctr.
950 Taylor Ave.
Grand Rapids, MI 49503

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/11/10	ISSUED FOR PERMITS
2	08/11/10	REVISED TREE REMOVAL LIST
3	08/11/10	REVISED TREE REMOVAL LIST
4	08/11/10	REVISED TREE REMOVAL LIST
5	08/11/10	REVISED TREE REMOVAL LIST
6	08/11/10	REVISED TREE REMOVAL LIST
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8	08/11/10	REVISED TREE REMOVAL LIST
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14	08/11/10	REVISED TREE REMOVAL LIST
15	08/11/10	REVISED TREE REMOVAL LIST
16	08/11/10	REVISED TREE REMOVAL LIST
17	08/11/10	REVISED TREE REMOVAL LIST

Tree Removal Plan
2442 Larannier Road, Township, Grand Traverse County, Michigan
PART OF THE SOUTHEAST 1/4 OF SECTION 23, T27N, R11W
GARFIELD TOWNSHIP, GRAND TRAVERS COUNTY, MICHIGAN

STAMP:

PROJECT NO: 19400124
SHEET NO: **C-202**
SHEET:



LEGEND

Existing Tree
Proposed Tree

811
Know what's below.
CALL before you dig.

811 is a national service that provides a central point of contact for utility companies. It allows you to report a problem with a utility or to request a service. The service is available 24 hours a day, 7 days a week. For more information, visit www.811.com.

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FOR INFORMATION ON HOW TO REQUEST A UTILITY LOCATING SERVICE, VISIT US ONLINE AT WWW.811.MICHIGAN.GOV. CALL 1-800-487-8888. FOR MORE INFORMATION, VISIT US AT WWW.811.MICHIGAN.GOV. CALL 1-800-487-8888. FOR MORE INFORMATION, VISIT US AT WWW.811.MICHIGAN.GOV. CALL 1-800-487-8888.

NEDEVELD
 1200 WEST 11TH AVE
 GRAND RAPIDS
 ANN ARBOR
 CHICAGO
 COLUMBUS
 HOLLAND
 INDIANAPOLIS
 ST. LOUIS

PREPARED FOR:
 Reenders Inc.
 Park Plaza Ctr.
 2242 Lafranier Road
 Grand Rapids, MI 49508

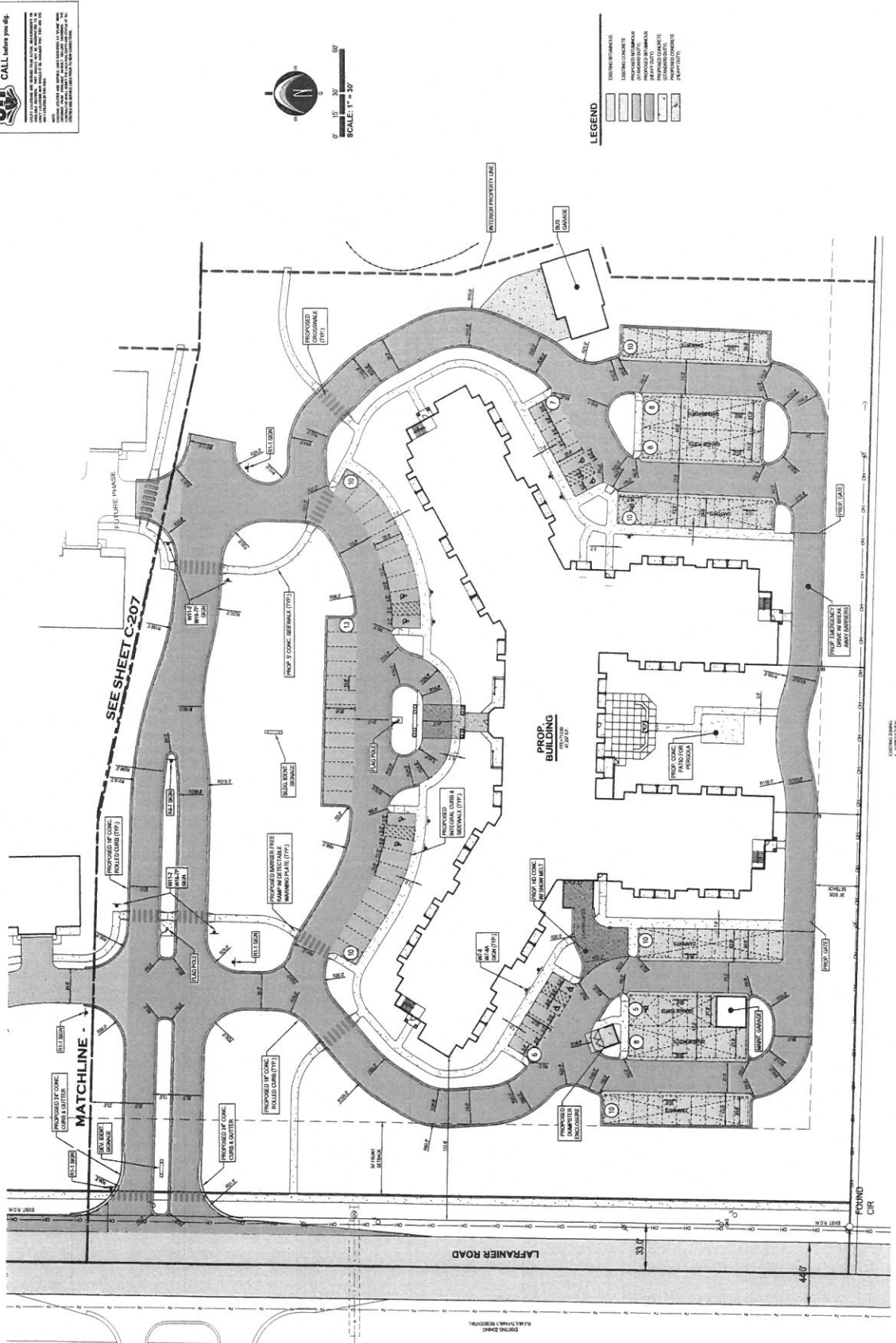
REVISIONS:

No.	Date	Revised By	Checked By	Drawn By	Description
1	08/14/12	J. DeWitt	J. DeWitt	J. DeWitt	Initial Design
2	08/14/12	J. DeWitt	J. DeWitt	J. DeWitt	Revised Design
3	08/14/12	J. DeWitt	J. DeWitt	J. DeWitt	Final Design

Detail Site Layout Plan
 Reenders-Lafranier Road

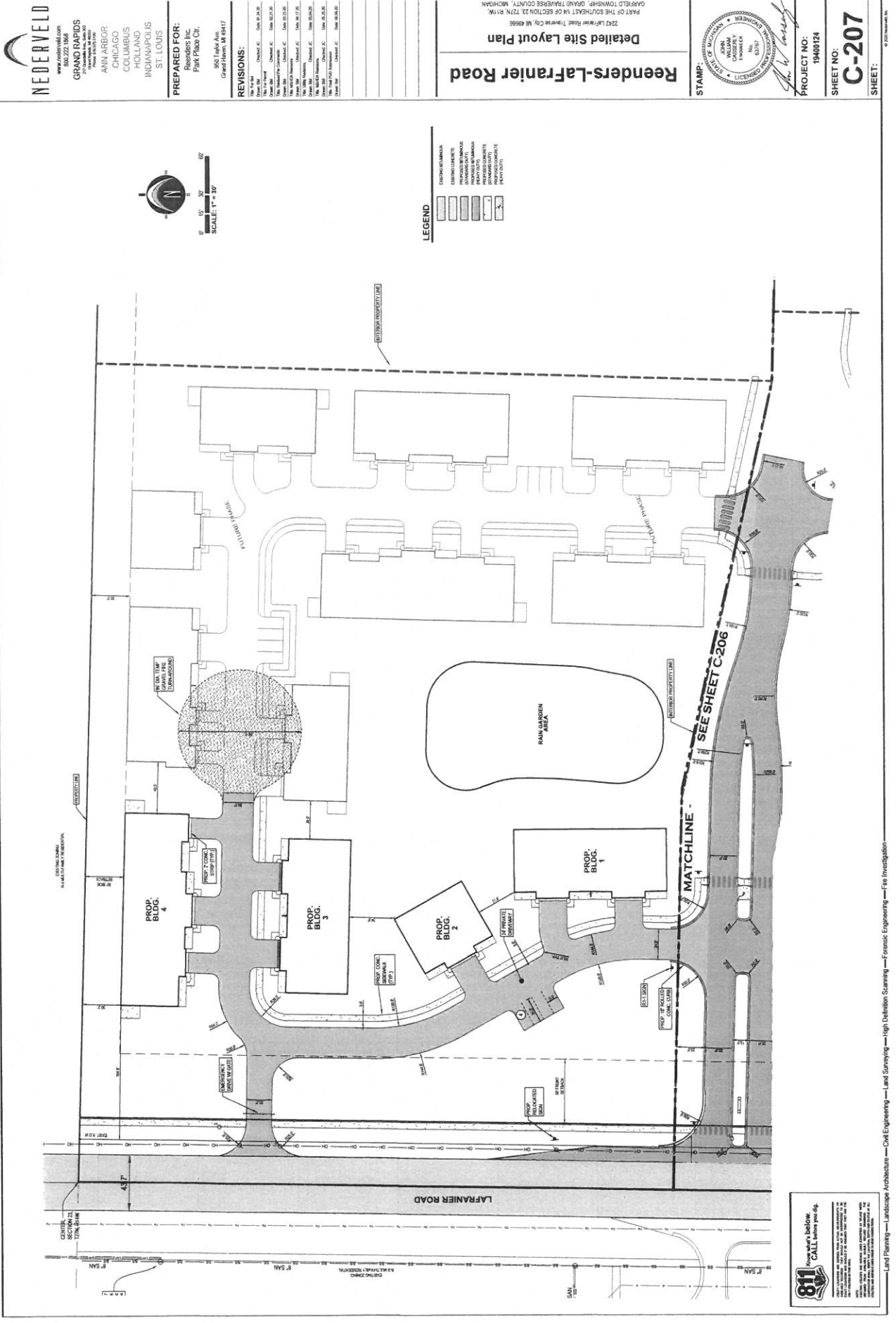
STAMP:
 STATE OF MICHIGAN
 PROFESSIONAL ENGINEER
 JAMES W. DEWITT
 No. 63717

PROJECT NO.: 1940R124
SHEET NO.: C-206
SHEET:



- LEGEND**
- EXISTING STRUCTURES
 - EXISTING CONCRETE
 - PROPOSED REPAIRS
 - PROPOSED FINISH
 - PROPOSED INTERIORS
 - PROPOSED EXTERIORS
 - PROPOSED CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED CONCRETE

Experiences... the Difference



Detailed Site Layout Plan
Reenders-Lafranier Road

STAMP:
STATE OF MICHIGAN
WILLIAM E. REENDERS
LICENSE # 49558
PROJECT NO: 19400124
SHEET NO: C-207
SHEET:

REVISED BY	DATE	DESCRIPTION	CHECKED BY

PREPARED FOR:
Reenders Inc.
Park Place Chr.
990 Taylor Ave.
Grand Haven, MI 49417

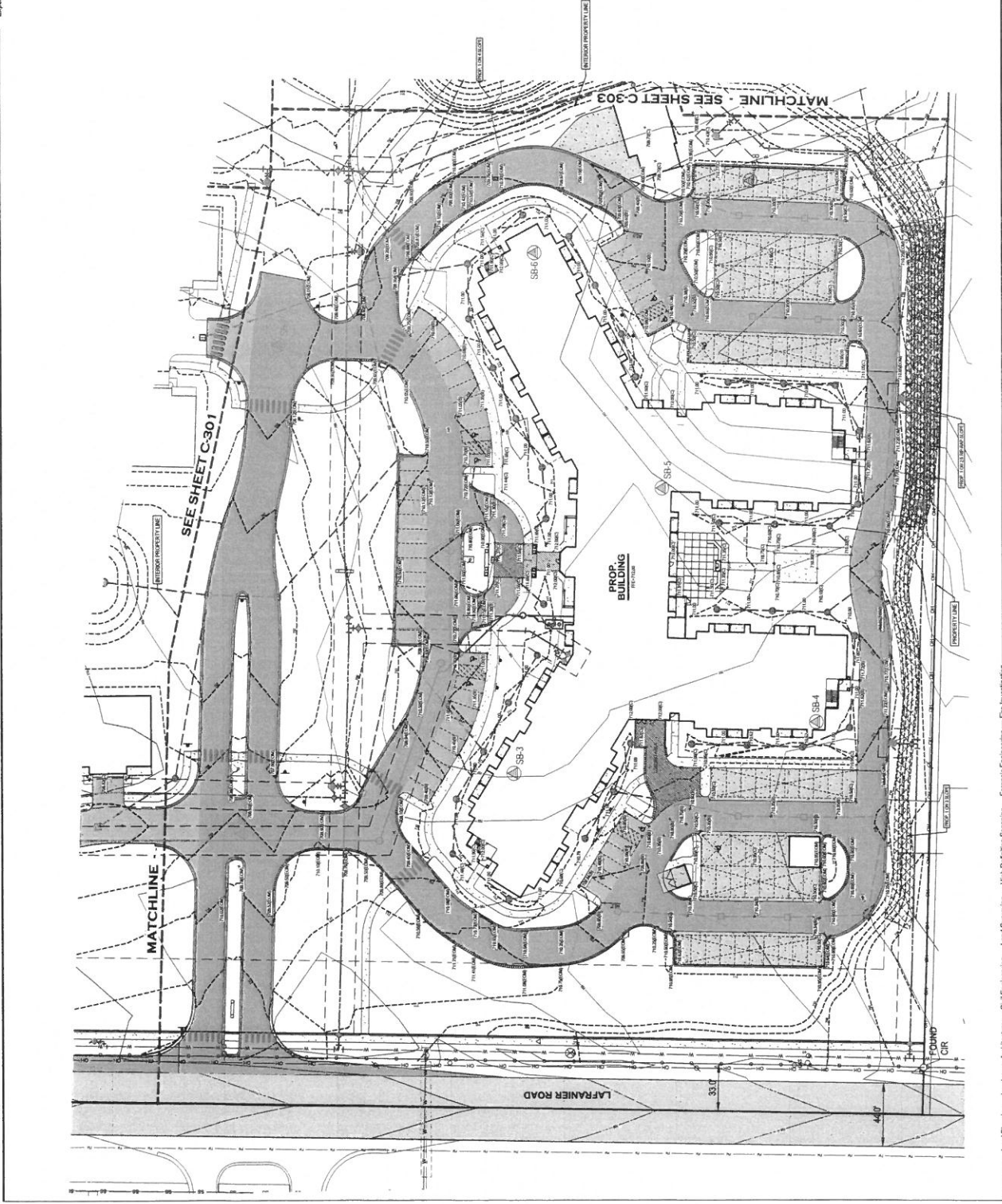
NEDERVELD
1000 Westwood Mall
Grand Rapids, MI 49508
ANN ARBOR
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COLUMBIA
INDIANAPOLIS
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LOCATION MAP



www.nederveld.com
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COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Reenders Inc.
Park Plaza Ctr.
590 Park Plaza
Grand Rapids, MI 49503

REVISIONS table with columns for No., Date, and Description.

CONTRACTOR TO CHECK ALL DIMENSIONS OF ORIGINAL FROM
FIELD SURVEY AND VERIFY ALL DIMENSIONS AND ELEVATIONS
ARE CORRECT AND ACCURATE TO THE FIELD SURVEY
INSTRUMENTS AND RECORDS.

Grading Plan

Reenders-Lafranier Road

STAMP: [Professional Engineer Seal]
PROJECT NO.: 19400124
SHEET NO.: C-301
SHEET:

811 logo and text: "Call before you dig. 811 is the national number for locating underground utilities. Call 811 to get the location of underground utilities before you dig. It's the safe way to dig. It's the smart way to dig. It's the only way to dig."



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 ENGINEERS, INC.
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 GRAND RAPIDS, MI 49503
 ANN ARBOR, MI 48106
 CHICAGO, IL 60606
 HOLLAND, MI 49423
 INDIANAPOLIS, IN 46204
 ST. LOUIS, MO 63103

PREPARED FOR:
 Reenders Inc.
 Park Plaza Cir.
 997 Taylor Ave.
 Grand Haven, MI 49417

REVISIONS:

No.	Checked By	Date	Description
1	W. H. H. / J. S. B.	06/14/07	Issue for Review
2	W. H. H. / J. S. B.	06/14/07	Issue for Review
3	W. H. H. / J. S. B.	06/14/07	Issue for Review
4	W. H. H. / J. S. B.	06/14/07	Issue for Review
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99	W. H. H. / J. S. B.	06/14/07	Issue for Review
100	W. H. H. / J. S. B.	06/14/07	Issue for Review

GRADING NOTE
 ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 ALL EXISTING UTILITIES SHALL BE DELETED UNLESS OTHERWISE NOTED.
 ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 ALL EXISTING UTILITIES SHALL BE DELETED UNLESS OTHERWISE NOTED.

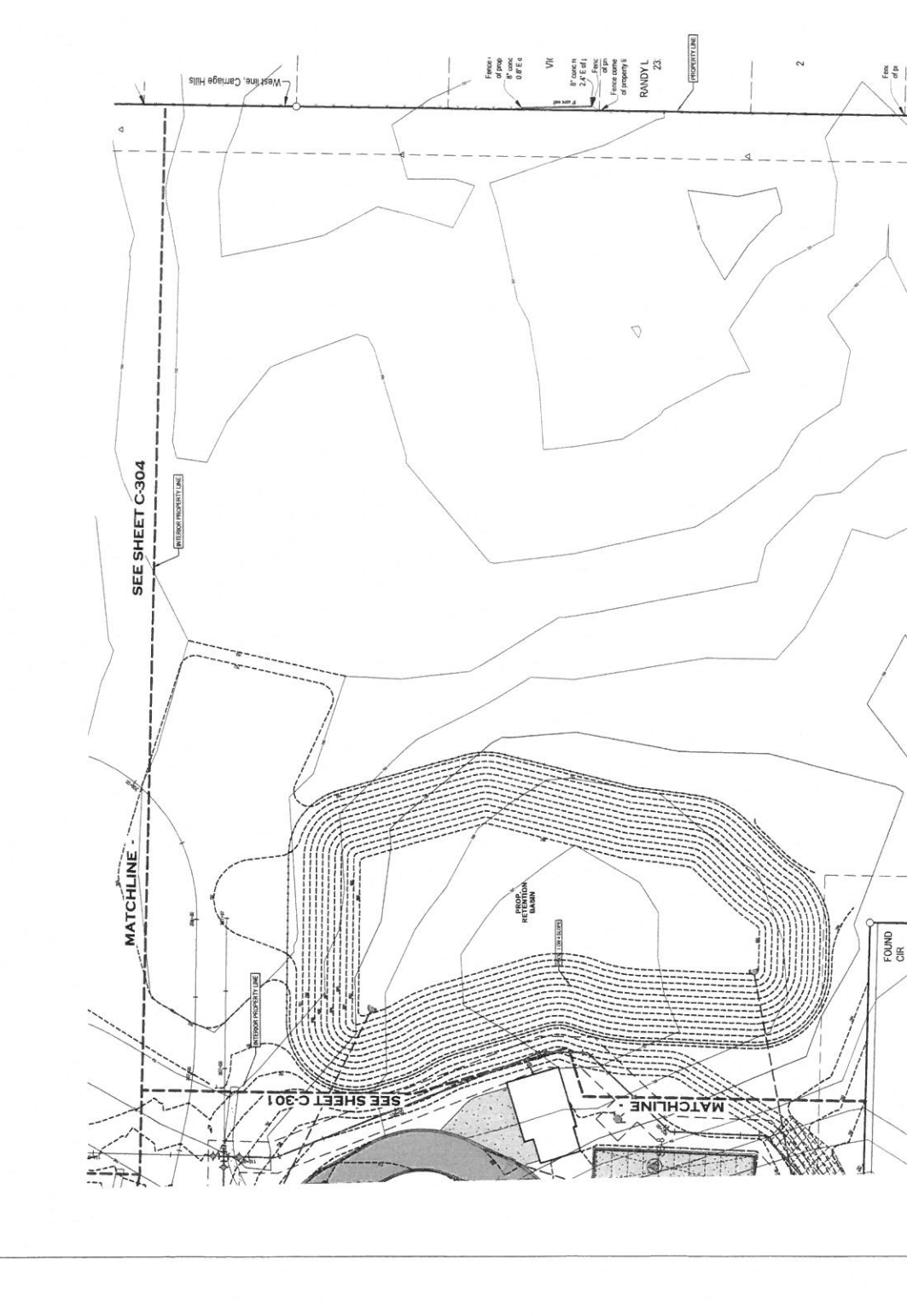
LEGEND
 EX. GRADE CONTOUR
 PROP. GRADE CONTOUR
 EX. CONCRETE
 EX. ASPHALT
 EX. DRIVEWAY
 EX. SIDEWALK
 EX. FENCE
 EX. UTILITY
 EX. EGRESS

SCALE: 1" = 30'
 0' 10' 20' 30'
 0' 10' 20' 30'

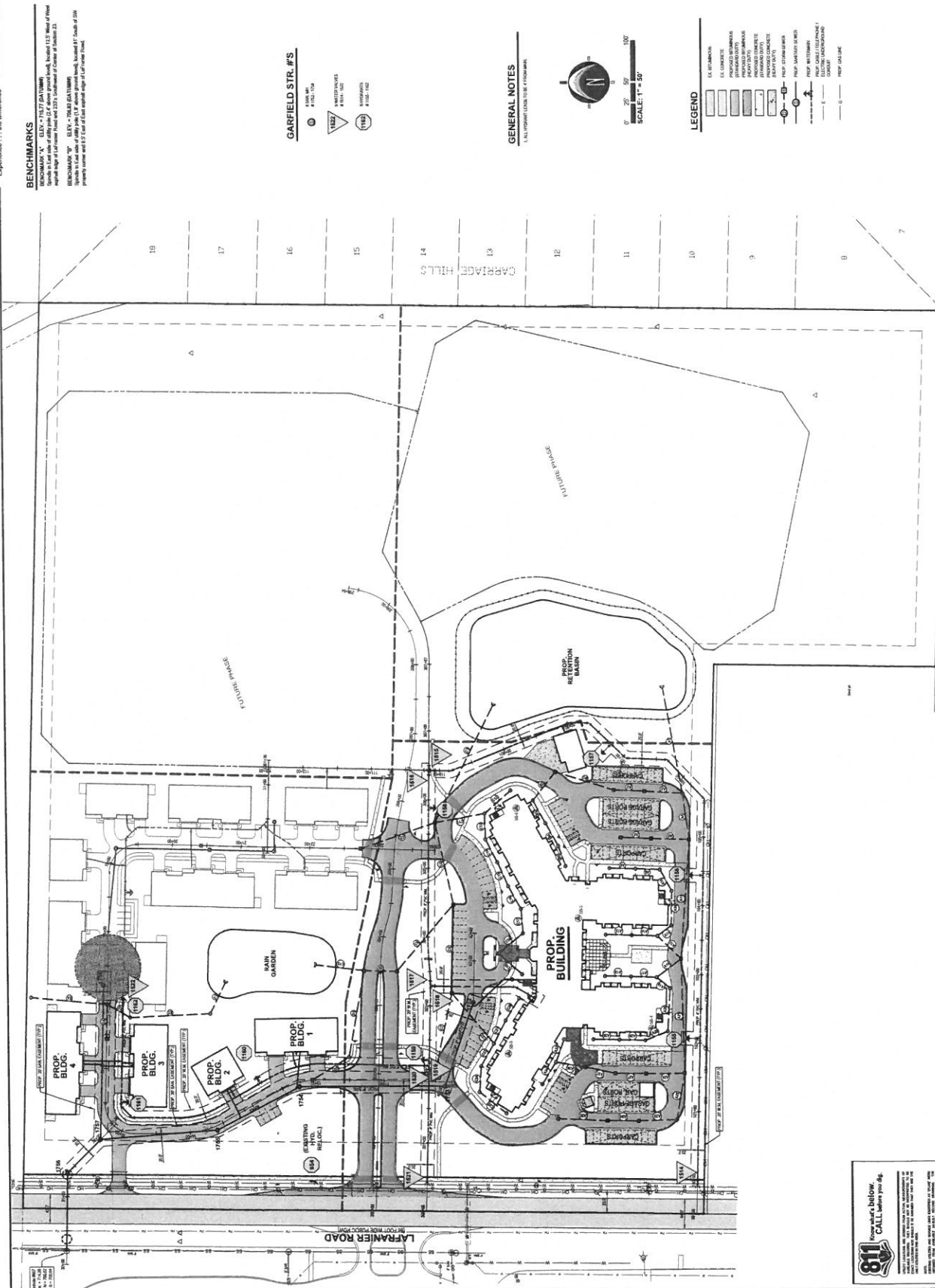
STAMP:
 WILLIAM W. HARRIS
 REGISTERED PROFESSIONAL ENGINEER
 No. 10002
 State of Michigan

PROJECT NO: 15400124
SHEET NO: C-303
SHEET:

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 CALL before you dig



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BENCHMARKS

RENDERERS INC. (LEED - 2009) (BAUMANN)
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RENDERERS INC. (LEED - 2009) (BAUMANN)
RENDERERS INC. (LEED - 2009) (BAUMANN)
RENDERERS INC. (LEED - 2009) (BAUMANN)

PREPARED FOR:
Renderers Inc.
Park 1900, OH.
560 Taylor Ave.
Grand Haven, MI 49417

REVISIONS:

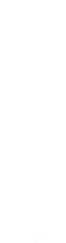
NO.	DATE	DESCRIPTION
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5	04/12/10	REVISED PER COMMENTS
6	04/29/10	REVISED PER COMMENTS
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17	09/28/10	REVISED PER COMMENTS
18	10/12/10	REVISED PER COMMENTS

GARFIELD STR. #'S

NO.	DATE	DESCRIPTION
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16	09/14/10	REVISED PER COMMENTS
17	09/28/10	REVISED PER COMMENTS
18	10/12/10	REVISED PER COMMENTS

GENERAL NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.



LEGEND

SYMBOL	DESCRIPTION
Circle with cross	1. SURVEY POINT
Circle with 'X'	2. CONCRETE
Circle with 'O'	3. CEMENT
Circle with 'A'	4. ASPHALT
Circle with 'B'	5. GRAVEL
Circle with 'C'	6. SAND
Circle with 'D'	7. GRAVEL/SAND MIXTURE
Circle with 'E'	8. GRAVEL/SAND MIXTURE
Circle with 'F'	9. GRAVEL/SAND MIXTURE
Circle with 'G'	10. GRAVEL/SAND MIXTURE
Circle with 'H'	11. GRAVEL/SAND MIXTURE
Circle with 'I'	12. GRAVEL/SAND MIXTURE
Circle with 'J'	13. GRAVEL/SAND MIXTURE
Circle with 'K'	14. GRAVEL/SAND MIXTURE
Circle with 'L'	15. GRAVEL/SAND MIXTURE
Circle with 'M'	16. GRAVEL/SAND MIXTURE
Circle with 'N'	17. GRAVEL/SAND MIXTURE
Circle with 'O'	18. GRAVEL/SAND MIXTURE
Circle with 'P'	19. GRAVEL/SAND MIXTURE
Circle with 'Q'	20. GRAVEL/SAND MIXTURE
Circle with 'R'	21. GRAVEL/SAND MIXTURE
Circle with 'S'	22. GRAVEL/SAND MIXTURE
Circle with 'T'	23. GRAVEL/SAND MIXTURE
Circle with 'U'	24. GRAVEL/SAND MIXTURE
Circle with 'V'	25. GRAVEL/SAND MIXTURE
Circle with 'W'	26. GRAVEL/SAND MIXTURE
Circle with 'X'	27. GRAVEL/SAND MIXTURE
Circle with 'Y'	28. GRAVEL/SAND MIXTURE
Circle with 'Z'	29. GRAVEL/SAND MIXTURE
Circle with 'AA'	30. GRAVEL/SAND MIXTURE
Circle with 'AB'	31. GRAVEL/SAND MIXTURE
Circle with 'AC'	32. GRAVEL/SAND MIXTURE
Circle with 'AD'	33. GRAVEL/SAND MIXTURE
Circle with 'AE'	34. GRAVEL/SAND MIXTURE
Circle with 'AF'	35. GRAVEL/SAND MIXTURE
Circle with 'AG'	36. GRAVEL/SAND MIXTURE
Circle with 'AH'	37. GRAVEL/SAND MIXTURE
Circle with 'AI'	38. GRAVEL/SAND MIXTURE
Circle with 'AJ'	39. GRAVEL/SAND MIXTURE
Circle with 'AK'	40. GRAVEL/SAND MIXTURE
Circle with 'AL'	41. GRAVEL/SAND MIXTURE
Circle with 'AM'	42. GRAVEL/SAND MIXTURE
Circle with 'AN'	43. GRAVEL/SAND MIXTURE
Circle with 'AO'	44. GRAVEL/SAND MIXTURE
Circle with 'AP'	45. GRAVEL/SAND MIXTURE
Circle with 'AQ'	46. GRAVEL/SAND MIXTURE
Circle with 'AR'	47. GRAVEL/SAND MIXTURE
Circle with 'AS'	48. GRAVEL/SAND MIXTURE
Circle with 'AT'	49. GRAVEL/SAND MIXTURE
Circle with 'AU'	50. GRAVEL/SAND MIXTURE
Circle with 'AV'	51. GRAVEL/SAND MIXTURE
Circle with 'AW'	52. GRAVEL/SAND MIXTURE
Circle with 'AX'	53. GRAVEL/SAND MIXTURE
Circle with 'AY'	54. GRAVEL/SAND MIXTURE
Circle with 'AZ'	55. GRAVEL/SAND MIXTURE
Circle with 'BA'	56. GRAVEL/SAND MIXTURE
Circle with 'BB'	57. GRAVEL/SAND MIXTURE
Circle with 'BC'	58. GRAVEL/SAND MIXTURE
Circle with 'BD'	59. GRAVEL/SAND MIXTURE
Circle with 'BE'	60. GRAVEL/SAND MIXTURE
Circle with 'BF'	61. GRAVEL/SAND MIXTURE
Circle with 'BG'	62. GRAVEL/SAND MIXTURE
Circle with 'BH'	63. GRAVEL/SAND MIXTURE
Circle with 'BI'	64. GRAVEL/SAND MIXTURE
Circle with 'BJ'	65. GRAVEL/SAND MIXTURE
Circle with 'BK'	66. GRAVEL/SAND MIXTURE
Circle with 'BL'	67. GRAVEL/SAND MIXTURE
Circle with 'BM'	68. GRAVEL/SAND MIXTURE
Circle with 'BN'	69. GRAVEL/SAND MIXTURE
Circle with 'BO'	70. GRAVEL/SAND MIXTURE
Circle with 'BP'	71. GRAVEL/SAND MIXTURE
Circle with 'BQ'	72. GRAVEL/SAND MIXTURE
Circle with 'BR'	73. GRAVEL/SAND MIXTURE
Circle with 'BS'	74. GRAVEL/SAND MIXTURE
Circle with 'BT'	75. GRAVEL/SAND MIXTURE
Circle with 'BU'	76. GRAVEL/SAND MIXTURE
Circle with 'BV'	77. GRAVEL/SAND MIXTURE
Circle with 'BW'	78. GRAVEL/SAND MIXTURE
Circle with 'BX'	79. GRAVEL/SAND MIXTURE
Circle with 'BY'	80. GRAVEL/SAND MIXTURE
Circle with 'BZ'	81. GRAVEL/SAND MIXTURE
Circle with 'CA'	82. GRAVEL/SAND MIXTURE
Circle with 'CB'	83. GRAVEL/SAND MIXTURE
Circle with 'CC'	84. GRAVEL/SAND MIXTURE
Circle with 'CD'	85. GRAVEL/SAND MIXTURE
Circle with 'CE'	86. GRAVEL/SAND MIXTURE
Circle with 'CF'	87. GRAVEL/SAND MIXTURE
Circle with 'CG'	88. GRAVEL/SAND MIXTURE
Circle with 'CH'	89. GRAVEL/SAND MIXTURE
Circle with 'CI'	90. GRAVEL/SAND MIXTURE
Circle with 'CJ'	91. GRAVEL/SAND MIXTURE
Circle with 'CK'	92. GRAVEL/SAND MIXTURE
Circle with 'CL'	93. GRAVEL/SAND MIXTURE
Circle with 'CM'	94. GRAVEL/SAND MIXTURE
Circle with 'CN'	95. GRAVEL/SAND MIXTURE
Circle with 'CO'	96. GRAVEL/SAND MIXTURE
Circle with 'CP'	97. GRAVEL/SAND MIXTURE
Circle with 'CQ'	98. GRAVEL/SAND MIXTURE
Circle with 'CR'	99. GRAVEL/SAND MIXTURE
Circle with 'CS'	100. GRAVEL/SAND MIXTURE

STAMP:

RENDERERS INC.
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 63197

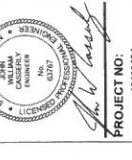
PROJECT NO:
19400124

SHEET NO:
C-400

SHEET:

**RENDERERS-LAFANIER ROAD
UTILITY KEY PLAN**

2242 Lafanier Road, Grand Haven, MI 49428
PART OF THE SOUTH EAST 1/4 OF SECTION 22, T27N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVELER COUNTY, MICHIGAN



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WATERMAIN & SANITARY NOTES

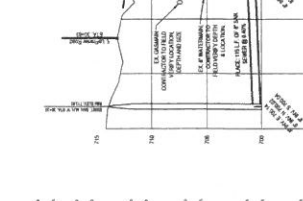
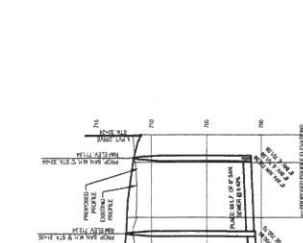
1. ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF STANDARD CONSTRUCTION SPECIFICATIONS & STANDARDS FOR WATERMAIN AND SANITARY SEWER CONSTRUCTION AND SHALL BE SUBJECT TO THE SUPERVISION OF THE SANITARY BOARD OF THE CITY OF GRAND RAPIDS.
2. ALL CONSTRUCTION MATERIALS TO BE INSTALLED SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE SANITARY BOARD OF THE CITY OF GRAND RAPIDS.
3. ALL SANITARY MATERIALS TO BE INSTALLED SHALL BE INSTALLED TO THE TOP AND SIDES.
4. ALL UTILITY MATERIALS TO BE INSTALLED WITH A MINIMUM COVER OF 3 FEET.
5. ALL UTILITY MATERIALS TO BE INSTALLED SHALL BE INSTALLED TO THE TOP AND SIDES.

BENCHMARKS

BENCHMARK "A" ELEV. = 743.72 (G.A. 1985)
 BENCHMARK "B" ELEV. = 743.72 (G.A. 1985)
 BENCHMARK "C" ELEV. = 743.72 (G.A. 1985)

LEGEND

- 1" = 1'0"
- 2" = 1'0"
- 3" = 1'0"
- 4" = 1'0"
- 5" = 1'0"
- 6" = 1'0"
- 7" = 1'0"
- 8" = 1'0"
- 9" = 1'0"
- 10" = 1'0"
- 11" = 1'0"
- 12" = 1'0"
- 13" = 1'0"
- 14" = 1'0"
- 15" = 1'0"
- 16" = 1'0"
- 17" = 1'0"
- 18" = 1'0"
- 19" = 1'0"
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- 23" = 1'0"
- 24" = 1'0"
- 25" = 1'0"
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- 39" = 1'0"
- 40" = 1'0"
- 41" = 1'0"
- 42" = 1'0"
- 43" = 1'0"
- 44" = 1'0"
- 45" = 1'0"
- 46" = 1'0"
- 47" = 1'0"
- 48" = 1'0"
- 49" = 1'0"
- 50" = 1'0"



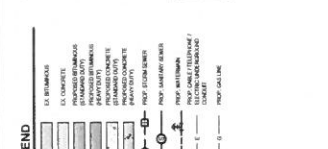
Soil Borings

The following soil borings were conducted by URS & Associates, Inc. on 08/21/18 at the project site. The borings were conducted to determine the soil conditions and to provide data for the design of the watermain and sanitary sewer system. The borings were conducted in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction.

18B-1.0 18" dia. open hole, 10' deep, 10' below ground surface. Soil conditions: 0' to 2' - 100% clay; 2' to 4' - 100% clay; 4' to 6' - 100% clay; 6' to 8' - 100% clay; 8' to 10' - 100% clay.

18B-1.1 18" dia. open hole, 10' deep, 10' below ground surface. Soil conditions: 0' to 2' - 100% clay; 2' to 4' - 100% clay; 4' to 6' - 100% clay; 6' to 8' - 100% clay; 8' to 10' - 100% clay.

18B-1.2 18" dia. open hole, 10' deep, 10' below ground surface. Soil conditions: 0' to 2' - 100% clay; 2' to 4' - 100% clay; 4' to 6' - 100% clay; 6' to 8' - 100% clay; 8' to 10' - 100% clay.



WATERMAIN "W1"

18" dia. watermain, 4' cover, 1.2% slope. Material: 150 lb. class pipe with 150 lb. class bedding. Bedding: 150 lb. class bedding. Backfill: 150 lb. class bedding.

SANITARY "S2"

18" dia. sanitary sewer, 4' cover, 1.2% slope. Material: 150 lb. class pipe with 150 lb. class bedding. Bedding: 150 lb. class bedding. Backfill: 150 lb. class bedding.

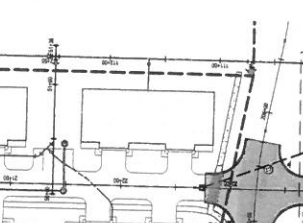
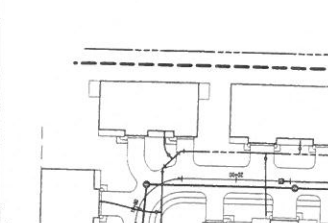
Proposed Buildings

PROP. BLDG. 1: 18' x 24' x 10' (1st floor), 24' x 24' x 10' (2nd floor). Foundation: 18" dia. concrete piers. Footing: 18" dia. concrete footing.

PROP. BLDG. 2: 18' x 24' x 10' (1st floor), 24' x 24' x 10' (2nd floor). Foundation: 18" dia. concrete piers. Footing: 18" dia. concrete footing.

PROP. BLDG. 3: 18' x 24' x 10' (1st floor), 24' x 24' x 10' (2nd floor). Foundation: 18" dia. concrete piers. Footing: 18" dia. concrete footing.

PROP. BLDG. 4: 18' x 24' x 10' (1st floor), 24' x 24' x 10' (2nd floor). Foundation: 18" dia. concrete piers. Footing: 18" dia. concrete footing.



Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

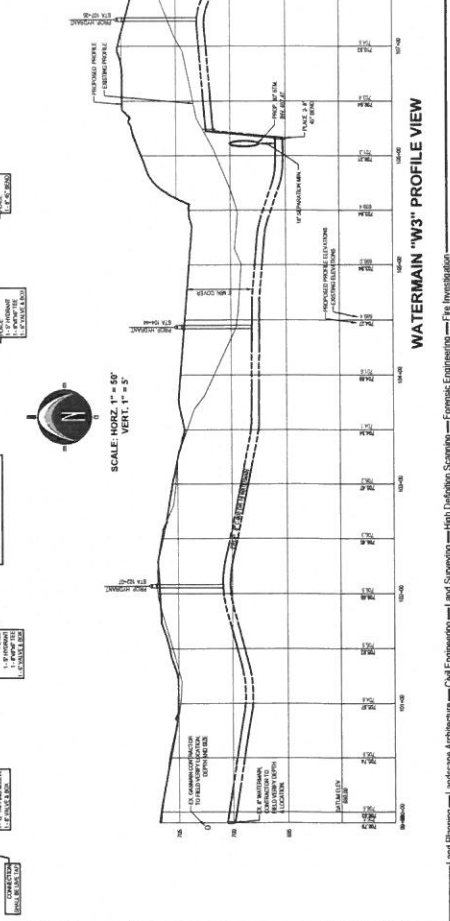
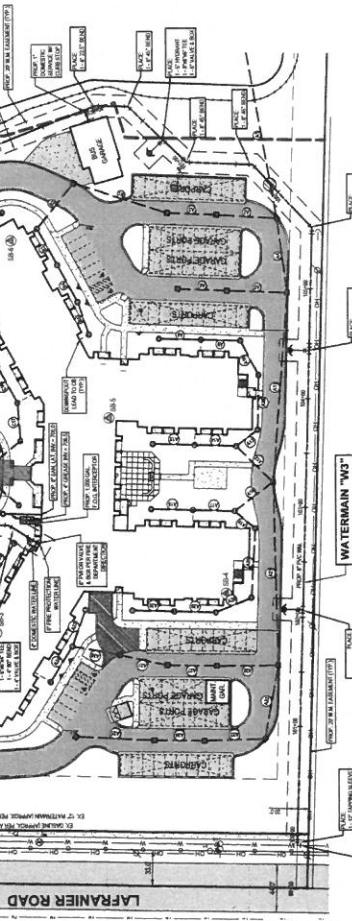
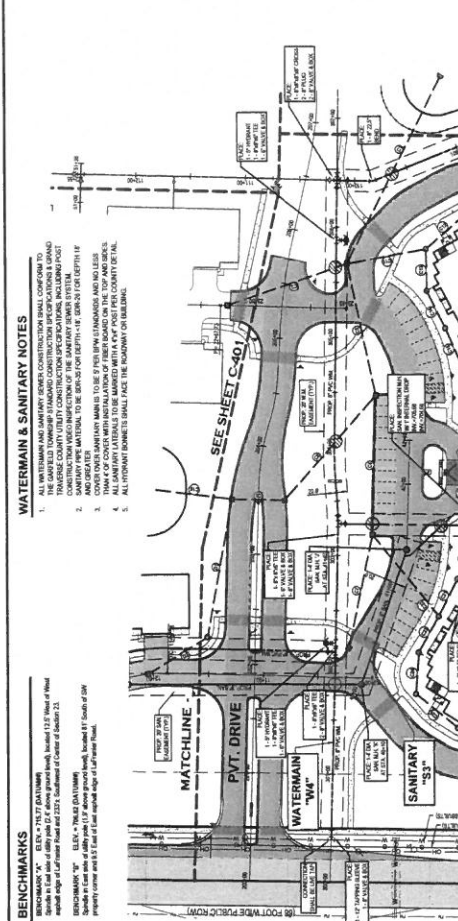
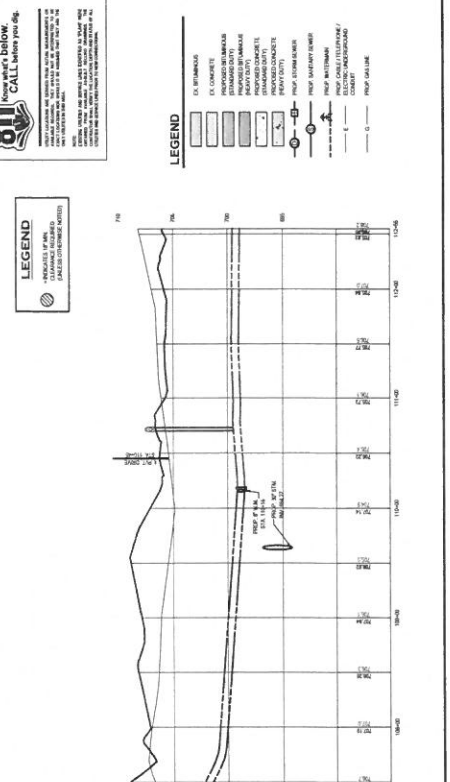
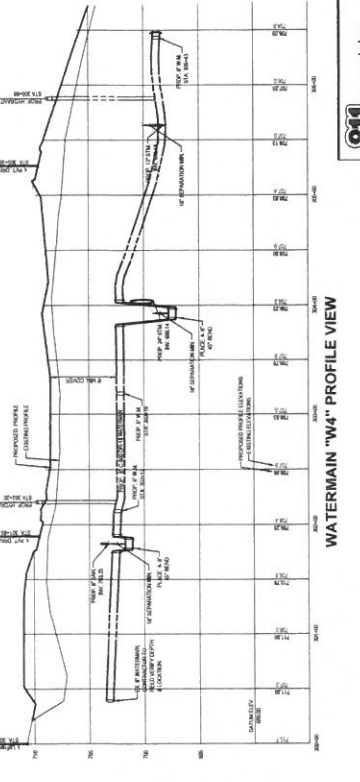
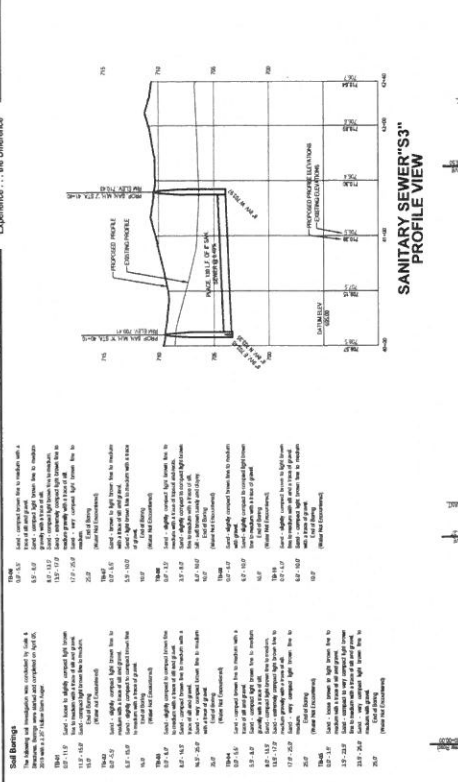
Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Watermain "W1" / Sanitary "S2" PROFILE VIEW

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

Experience... the Difference



WATERMAIN & SANITARY NOTES

- ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE APPLICABLE MICHIGAN STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR WATERMAIN AND SANITARY SEWER CONSTRUCTION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MICHIGAN STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR WATERMAIN AND SANITARY SEWER CONSTRUCTION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MICHIGAN STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR WATERMAIN AND SANITARY SEWER CONSTRUCTION.
- ALL SANITARY MANHOLE LATERALS TO BE MARKED WITH A PVP FOR COUNTY DETAIL.
- ALL EXISTING MANHOLE LATERALS TO BE MARKED WITH A PVP FOR COUNTY DETAIL.

BENCHMARKS

BENCHMARK 'X' ELEV. = 711.77 (EASTING)
BENCHMARK 'Y' ELEV. = 711.77 (EASTING)
BENCHMARK 'Z' ELEV. = 711.77 (EASTING)
BENCHMARK 'A' ELEV. = 711.77 (EASTING)
BENCHMARK 'B' ELEV. = 711.77 (EASTING)
BENCHMARK 'C' ELEV. = 711.77 (EASTING)
BENCHMARK 'D' ELEV. = 711.77 (EASTING)
BENCHMARK 'E' ELEV. = 711.77 (EASTING)
BENCHMARK 'F' ELEV. = 711.77 (EASTING)
BENCHMARK 'G' ELEV. = 711.77 (EASTING)
BENCHMARK 'H' ELEV. = 711.77 (EASTING)
BENCHMARK 'I' ELEV. = 711.77 (EASTING)
BENCHMARK 'J' ELEV. = 711.77 (EASTING)
BENCHMARK 'K' ELEV. = 711.77 (EASTING)
BENCHMARK 'L' ELEV. = 711.77 (EASTING)
BENCHMARK 'M' ELEV. = 711.77 (EASTING)
BENCHMARK 'N' ELEV. = 711.77 (EASTING)
BENCHMARK 'O' ELEV. = 711.77 (EASTING)
BENCHMARK 'P' ELEV. = 711.77 (EASTING)
BENCHMARK 'Q' ELEV. = 711.77 (EASTING)
BENCHMARK 'R' ELEV. = 711.77 (EASTING)
BENCHMARK 'S' ELEV. = 711.77 (EASTING)
BENCHMARK 'T' ELEV. = 711.77 (EASTING)
BENCHMARK 'U' ELEV. = 711.77 (EASTING)
BENCHMARK 'V' ELEV. = 711.77 (EASTING)
BENCHMARK 'W' ELEV. = 711.77 (EASTING)
BENCHMARK 'X' ELEV. = 711.77 (EASTING)
BENCHMARK 'Y' ELEV. = 711.77 (EASTING)
BENCHMARK 'Z' ELEV. = 711.77 (EASTING)

LEGEND

- PROPOSED PROFILE
- EXISTING PROFILE
- PROPOSED PIPE ELEVATION
- EXISTING PIPE ELEVATION
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPOSED DRIVE
- EXISTING DRIVE
- PROPOSED ROAD
- EXISTING ROAD
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED CURB
- EXISTING CURB
- PROPOSED GUTTER
- EXISTING GUTTER
- PROPOSED DRAINAGE
- EXISTING DRAINAGE
- PROPOSED UTILITY
- EXISTING UTILITY
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT
- EXISTING LIGHT
- PROPOSED TREE
- EXISTING TREE
- PROPOSED PLANT
- EXISTING PLANT
- PROPOSED LANDSCAPE
- EXISTING LANDSCAPE
- PROPOSED HEDGING
- EXISTING HEDGING
- PROPOSED MOUND
- EXISTING MOUND
- PROPOSED DEPRESSION
- EXISTING DEPRESSION
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED DISTANCE
- EXISTING DISTANCE
- PROPOSED AREA
- EXISTING AREA
- PROPOSED PERCENT
- EXISTING PERCENT
- PROPOSED POINT
- EXISTING POINT
- PROPOSED LINE
- EXISTING LINE
- PROPOSED CURVE
- EXISTING CURVE
- PROPOSED TANGENT
- EXISTING TANGENT
- PROPOSED CHORD
- EXISTING CHORD
- PROPOSED ARC
- EXISTING ARC
- PROPOSED CIRCLE
- EXISTING CIRCLE
- PROPOSED SQUARE
- EXISTING SQUARE
- PROPOSED RECTANGLE
- EXISTING RECTANGLE
- PROPOSED TRIANGLE
- EXISTING TRIANGLE
- PROPOSED QUADRANGLE
- EXISTING QUADRANGLE
- PROPOSED POLYGON
- EXISTING POLYGON
- PROPOSED CIRCLE
- EXISTING CIRCLE
- PROPOSED SQUARE
- EXISTING SQUARE
- PROPOSED RECTANGLE
- EXISTING RECTANGLE
- PROPOSED TRIANGLE
- EXISTING TRIANGLE
- PROPOSED QUADRANGLE
- EXISTING QUADRANGLE
- PROPOSED POLYGON
- EXISTING POLYGON

LEGEND

- PROPOSED PROFILE
- EXISTING PROFILE
- PROPOSED PIPE ELEVATION
- EXISTING PIPE ELEVATION
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPOSED DRIVE
- EXISTING DRIVE
- PROPOSED ROAD
- EXISTING ROAD
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED CURB
- EXISTING CURB
- PROPOSED GUTTER
- EXISTING GUTTER
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- PROPOSED RECTANGLE
- EXISTING RECTANGLE
- PROPOSED TRIANGLE
- EXISTING TRIANGLE
- PROPOSED QUADRANGLE
- EXISTING QUADRANGLE
- PROPOSED POLYGON
- EXISTING POLYGON

PREPARED FOR:
 Reenders Inc.
 Park Plaza Cir.
 Grand Haven, MI 49417

REVISIONS:

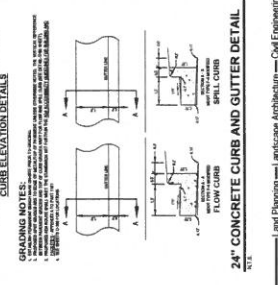
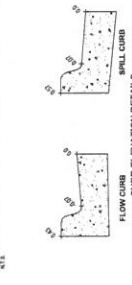
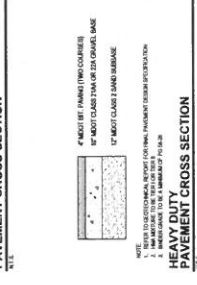
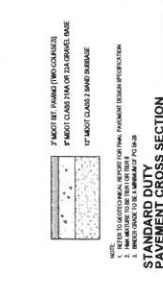
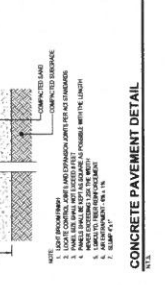
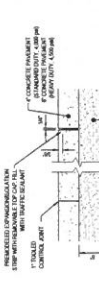
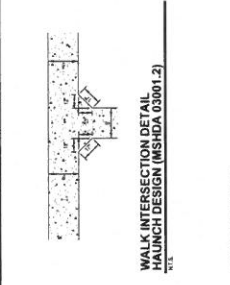
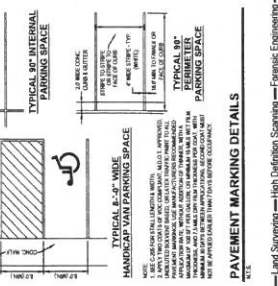
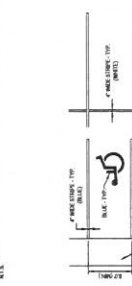
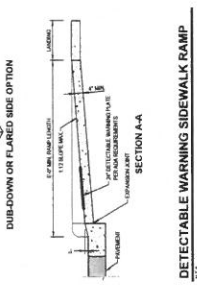
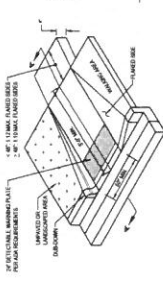
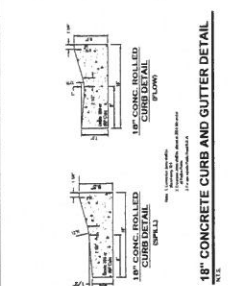
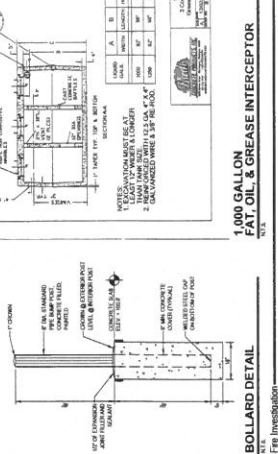
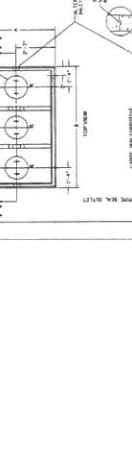
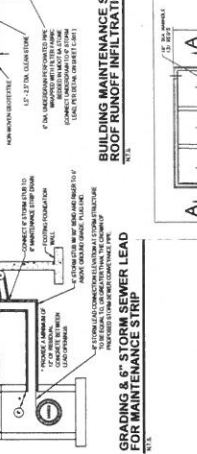
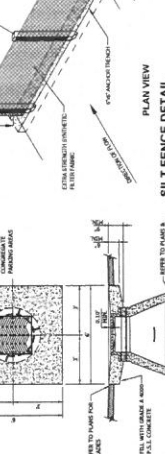
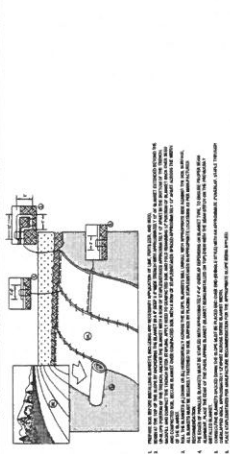
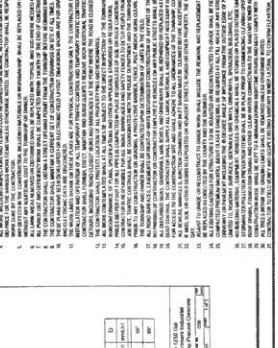
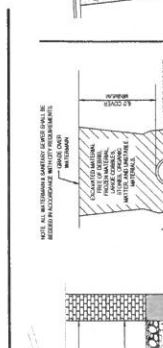
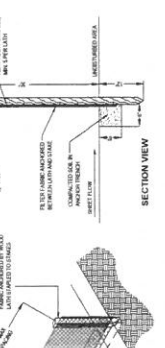
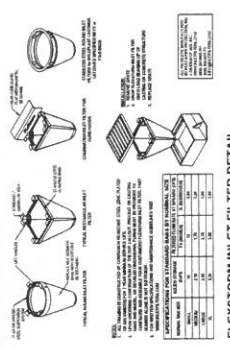
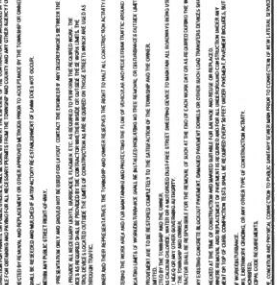
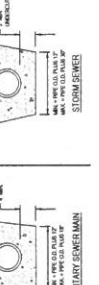
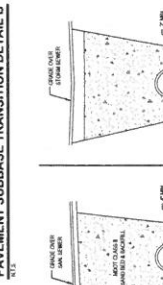
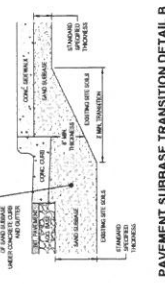
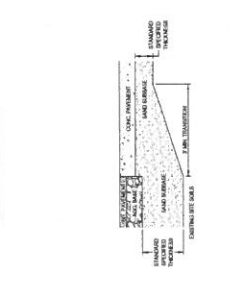
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2	08/11/10	ISSUED FOR PERMIT
3	08/11/10	ISSUED FOR PERMIT
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5	08/11/10	ISSUED FOR PERMIT
6	08/11/10	ISSUED FOR PERMIT
7	08/11/10	ISSUED FOR PERMIT
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9	08/11/10	ISSUED FOR PERMIT
10	08/11/10	ISSUED FOR PERMIT

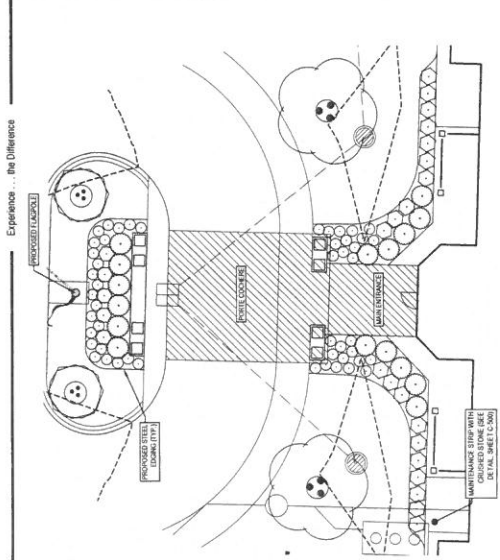
Details & Specifications
 2242 Lafranier Road
 GRAND TOWNSHIP, GRAND TOWNSHIP COUNTY, MICHIGAN

STAMP:
 WILLIAM W. WILSON
 LICENSED PROFESSIONAL ENGINEER
 No. 24715
 State of Michigan

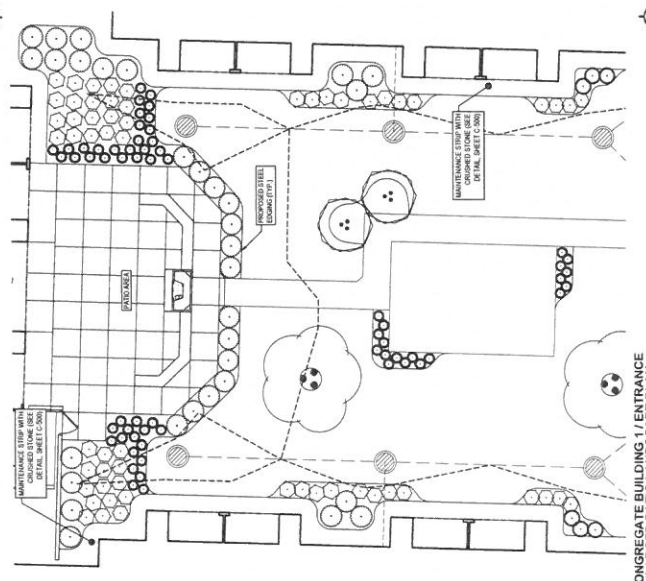
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SHEET NO: C-500
SHEET:

Experience... the Difference

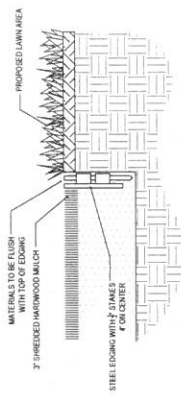




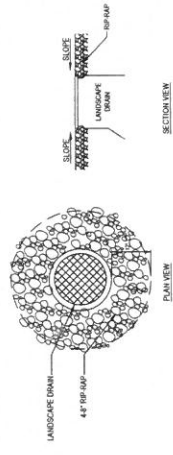
CONGREGATE BUILDING 1/ENTRANCE ENLARGED CONGREGATE BUILDING MAIN ENTRANCE - LANDSCAPE PLAN



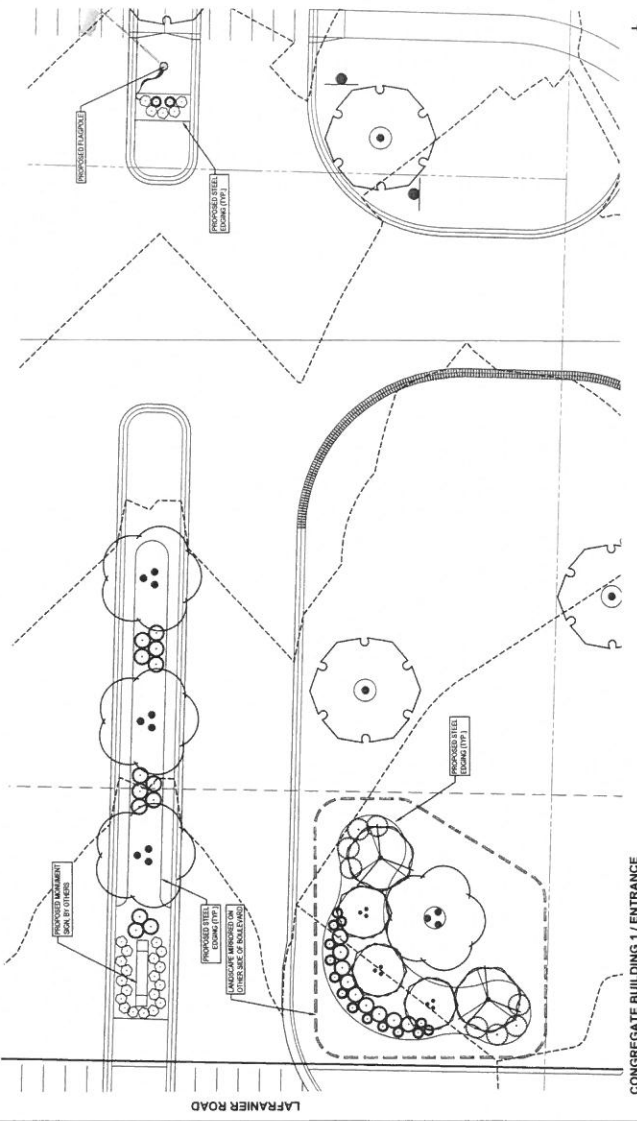
CONGREGATE BUILDING 1/ENTRANCE ENLARGED PA TO LANDSCAPE PLAN



STEEL EDGING DETAIL



LANDSCAPE DRAIN DETAIL



CONGREGATE BUILDING 1/ENTRANCE FRANIER ROAD MAIN ENTRANCE LANDSCAPE PLAN

Experience... the Difference



GRAND RAPIDS
ANN ARBOR
CHICAGO
COLUMBUS
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Reynolds Inc.
Park Place Ctr.
505 Park Ave.
Grand Haven, MI 49427

REVISIONS:
1. See B-10
2. See B-10
3. See B-10
4. See B-10
5. See B-10
6. See B-10
7. See B-10
8. See B-10
9. See B-10
10. See B-10

Detailed Site Landscape Plan
Reenders-Lafranier Road
2242 Lafranier Road, Traverse City, MI 49786
PART OF THE SOUTHWEST 1/4 OF SECTION 23, T47N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

PROJECT NO: 19400124
SHEET NO: L-203
DATE: 12/20/2018

EXPERIENCE ... the Difference

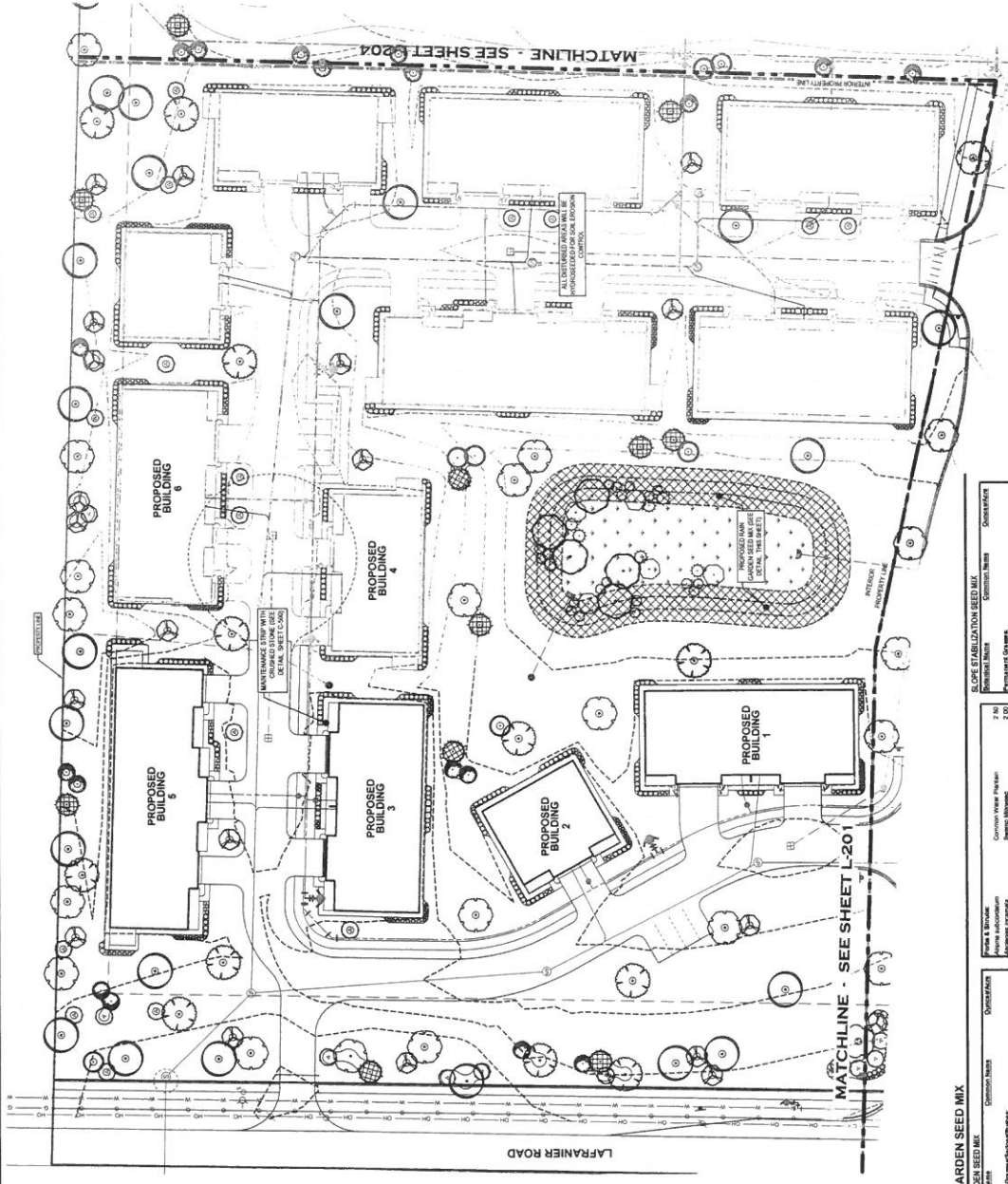


PLANT SCHEDULE - COTTAGE BUILDINGS 1-6

SYMBOL	COMMON NAME	SPECIES	HEIGHT	SIZE	QUANTITY
(Symbol)	Redstart	Redstart	18" dbh	18" dbh	1
(Symbol)	Redstart	Redstart	18" dbh	18" dbh	1
(Symbol)	Redstart	Redstart	18" dbh	18" dbh	1

PLANT SCHEDULE - COTTAGE BUILDINGS (FUTURE PHASE)

SYMBOL	COMMON NAME	SPECIES	HEIGHT	SIZE	QUANTITY
(Symbol)	Redstart	Redstart	18" dbh	18" dbh	1
(Symbol)	Redstart	Redstart	18" dbh	18" dbh	1



Item	Quantity	Comments
RAIN GARDEN SEED MIX	1000.00	
CORNER MARKERS	200.00	
STAKE MARKERS	400.00	
SPRING STAKES	100.00	
...
TOTAL

Item	Quantity	Comments
RAIN GARDEN SEED MIX	1000.00	
...
TOTAL

Land Planning - Landscape Architecture - Civil Engineering - Land Surveying - High Definition Scanning - Forensic Engineering - Fire Investigation

REVISIONS:

01	Issue	01/12/2014
02	Revised	02/12/2014
03	Revised	03/12/2014
04	Revised	04/12/2014
05	Revised	05/12/2014
06	Revised	06/12/2014
07	Revised	07/12/2014
08	Revised	08/12/2014
09	Revised	09/12/2014
10	Revised	10/12/2014
11	Revised	11/12/2014
12	Revised	12/12/2014

Detailed Site Landscape Plan
2042 Lafranier Road, Traverse City, MI 49786
PART OF THE SOUTH-EAST 1/4 OF SECTION 23, T27N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

PROJECT NO:
18400124

SHEET NO:
L-204

SHEET:

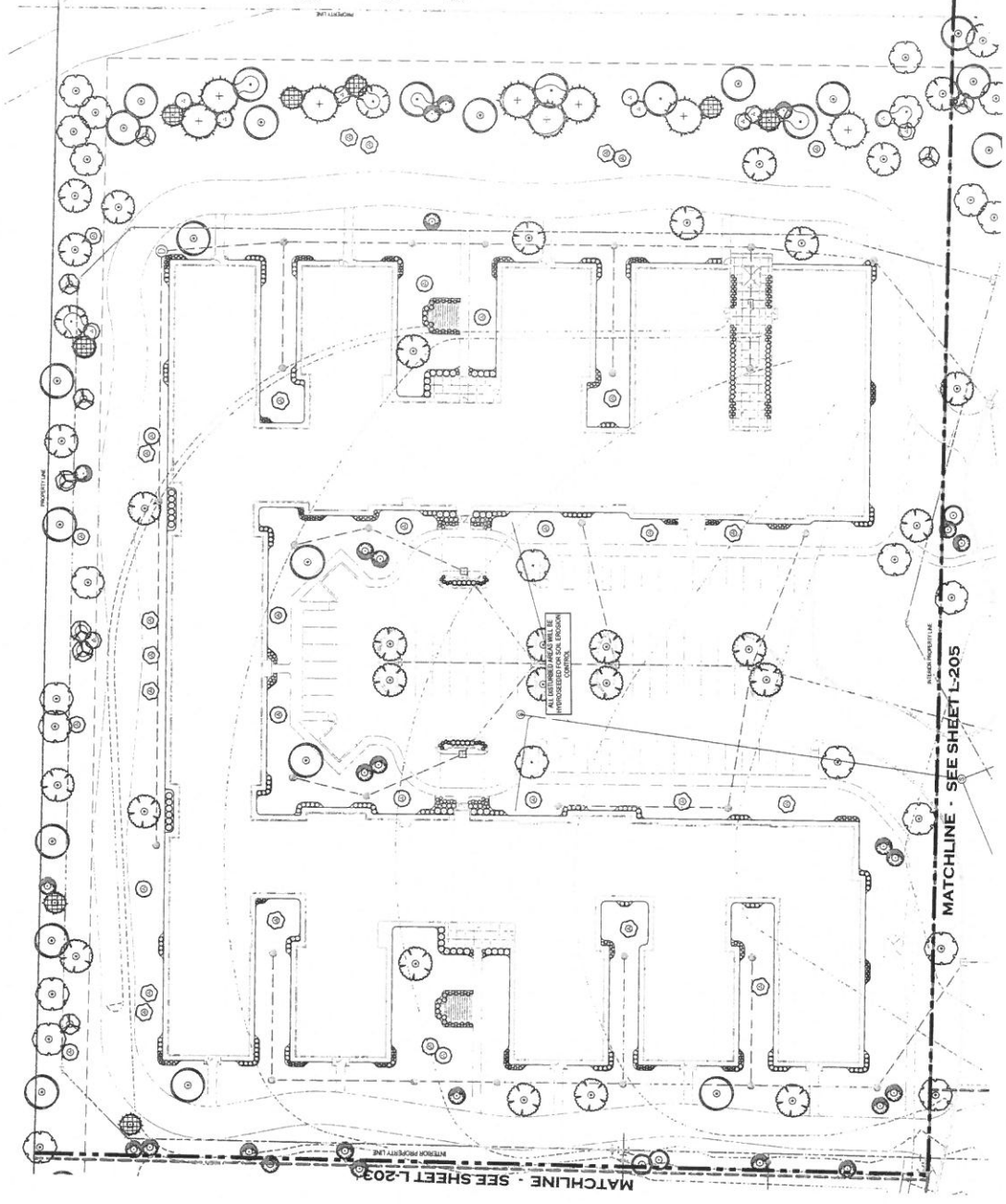
Experience ... the Difference



PLANT SCHEDULE - ASSISTED LIVING BUILDING (FUTURE PHASE)


NO.	SYMBOL	SIZE	BOTANICAL/COMMON NAME	PLANTING NOTES
1	(Symbol)	12"	SPRING BURNING BUSH	Plant in 12" x 12" hole
2	(Symbol)	18"	DOGWOOD	Plant in 18" x 18" hole
3	(Symbol)	24"	DOGWOOD	Plant in 24" x 24" hole
4	(Symbol)	36"	DOGWOOD	Plant in 36" x 36" hole
5	(Symbol)	48"	DOGWOOD	Plant in 48" x 48" hole
6	(Symbol)	60"	DOGWOOD	Plant in 60" x 60" hole
7	(Symbol)	72"	DOGWOOD	Plant in 72" x 72" hole
8	(Symbol)	84"	DOGWOOD	Plant in 84" x 84" hole
9	(Symbol)	96"	DOGWOOD	Plant in 96" x 96" hole
10	(Symbol)	108"	DOGWOOD	Plant in 108" x 108" hole
11	(Symbol)	120"	DOGWOOD	Plant in 120" x 120" hole
12	(Symbol)	132"	DOGWOOD	Plant in 132" x 132" hole
13	(Symbol)	144"	DOGWOOD	Plant in 144" x 144" hole
14	(Symbol)	156"	DOGWOOD	Plant in 156" x 156" hole
15	(Symbol)	168"	DOGWOOD	Plant in 168" x 168" hole
16	(Symbol)	180"	DOGWOOD	Plant in 180" x 180" hole
17	(Symbol)	192"	DOGWOOD	Plant in 192" x 192" hole
18	(Symbol)	204"	DOGWOOD	Plant in 204" x 204" hole
19	(Symbol)	216"	DOGWOOD	Plant in 216" x 216" hole
20	(Symbol)	228"	DOGWOOD	Plant in 228" x 228" hole
21	(Symbol)	240"	DOGWOOD	Plant in 240" x 240" hole
22	(Symbol)	252"	DOGWOOD	Plant in 252" x 252" hole
23	(Symbol)	264"	DOGWOOD	Plant in 264" x 264" hole
24	(Symbol)	276"	DOGWOOD	Plant in 276" x 276" hole
25	(Symbol)	288"	DOGWOOD	Plant in 288" x 288" hole
26	(Symbol)	300"	DOGWOOD	Plant in 300" x 300" hole
27	(Symbol)	312"	DOGWOOD	Plant in 312" x 312" hole
28	(Symbol)	324"	DOGWOOD	Plant in 324" x 324" hole
29	(Symbol)	336"	DOGWOOD	Plant in 336" x 336" hole
30	(Symbol)	348"	DOGWOOD	Plant in 348" x 348" hole
31	(Symbol)	360"	DOGWOOD	Plant in 360" x 360" hole
32	(Symbol)	372"	DOGWOOD	Plant in 372" x 372" hole
33	(Symbol)	384"	DOGWOOD	Plant in 384" x 384" hole
34	(Symbol)	396"	DOGWOOD	Plant in 396" x 396" hole
35	(Symbol)	408"	DOGWOOD	Plant in 408" x 408" hole
36	(Symbol)	420"	DOGWOOD	Plant in 420" x 420" hole
37	(Symbol)	432"	DOGWOOD	Plant in 432" x 432" hole
38	(Symbol)	444"	DOGWOOD	Plant in 444" x 444" hole
39	(Symbol)	456"	DOGWOOD	Plant in 456" x 456" hole
40	(Symbol)	468"	DOGWOOD	Plant in 468" x 468" hole
41	(Symbol)	480"	DOGWOOD	Plant in 480" x 480" hole
42	(Symbol)	492"	DOGWOOD	Plant in 492" x 492" hole
43	(Symbol)	504"	DOGWOOD	Plant in 504" x 504" hole
44	(Symbol)	516"	DOGWOOD	Plant in 516" x 516" hole
45	(Symbol)	528"	DOGWOOD	Plant in 528" x 528" hole
46	(Symbol)	540"	DOGWOOD	Plant in 540" x 540" hole
47	(Symbol)	552"	DOGWOOD	Plant in 552" x 552" hole
48	(Symbol)	564"	DOGWOOD	Plant in 564" x 564" hole
49	(Symbol)	576"	DOGWOOD	Plant in 576" x 576" hole
50	(Symbol)	588"	DOGWOOD	Plant in 588" x 588" hole
51	(Symbol)	600"	DOGWOOD	Plant in 600" x 600" hole
52	(Symbol)	612"	DOGWOOD	Plant in 612" x 612" hole
53	(Symbol)	624"	DOGWOOD	Plant in 624" x 624" hole
54	(Symbol)	636"	DOGWOOD	Plant in 636" x 636" hole
55	(Symbol)	648"	DOGWOOD	Plant in 648" x 648" hole
56	(Symbol)	660"	DOGWOOD	Plant in 660" x 660" hole
57	(Symbol)	672"	DOGWOOD	Plant in 672" x 672" hole
58	(Symbol)	684"	DOGWOOD	Plant in 684" x 684" hole
59	(Symbol)	696"	DOGWOOD	Plant in 696" x 696" hole
60	(Symbol)	708"	DOGWOOD	Plant in 708" x 708" hole
61	(Symbol)	720"	DOGWOOD	Plant in 720" x 720" hole
62	(Symbol)	732"	DOGWOOD	Plant in 732" x 732" hole
63	(Symbol)	744"	DOGWOOD	Plant in 744" x 744" hole
64	(Symbol)	756"	DOGWOOD	Plant in 756" x 756" hole
65	(Symbol)	768"	DOGWOOD	Plant in 768" x 768" hole
66	(Symbol)	780"	DOGWOOD	Plant in 780" x 780" hole
67	(Symbol)	792"	DOGWOOD	Plant in 792" x 792" hole
68	(Symbol)	804"	DOGWOOD	Plant in 804" x 804" hole
69	(Symbol)	816"	DOGWOOD	Plant in 816" x 816" hole
70	(Symbol)	828"	DOGWOOD	Plant in 828" x 828" hole
71	(Symbol)	840"	DOGWOOD	Plant in 840" x 840" hole
72	(Symbol)	852"	DOGWOOD	Plant in 852" x 852" hole
73	(Symbol)	864"	DOGWOOD	Plant in 864" x 864" hole
74	(Symbol)	876"	DOGWOOD	Plant in 876" x 876" hole
75	(Symbol)	888"	DOGWOOD	Plant in 888" x 888" hole
76	(Symbol)	900"	DOGWOOD	Plant in 900" x 900" hole
77	(Symbol)	912"	DOGWOOD	Plant in 912" x 912" hole
78	(Symbol)	924"	DOGWOOD	Plant in 924" x 924" hole
79	(Symbol)	936"	DOGWOOD	Plant in 936" x 936" hole
80	(Symbol)	948"	DOGWOOD	Plant in 948" x 948" hole
81	(Symbol)	960"	DOGWOOD	Plant in 960" x 960" hole
82	(Symbol)	972"	DOGWOOD	Plant in 972" x 972" hole
83	(Symbol)	984"	DOGWOOD	Plant in 984" x 984" hole
84	(Symbol)	996"	DOGWOOD	Plant in 996" x 996" hole
85	(Symbol)	1008"	DOGWOOD	Plant in 1008" x 1008" hole
86	(Symbol)	1020"	DOGWOOD	Plant in 1020" x 1020" hole
87	(Symbol)	1032"	DOGWOOD	Plant in 1032" x 1032" hole
88	(Symbol)	1044"	DOGWOOD	Plant in 1044" x 1044" hole
89	(Symbol)	1056"	DOGWOOD	Plant in 1056" x 1056" hole
90	(Symbol)	1068"	DOGWOOD	Plant in 1068" x 1068" hole
91	(Symbol)	1080"	DOGWOOD	Plant in 1080" x 1080" hole
92	(Symbol)	1092"	DOGWOOD	Plant in 1092" x 1092" hole
93	(Symbol)	1104"	DOGWOOD	Plant in 1104" x 1104" hole
94	(Symbol)	1116"	DOGWOOD	Plant in 1116" x 1116" hole
95	(Symbol)	1128"	DOGWOOD	Plant in 1128" x 1128" hole
96	(Symbol)	1140"	DOGWOOD	Plant in 1140" x 1140" hole
97	(Symbol)	1152"	DOGWOOD	Plant in 1152" x 1152" hole
98	(Symbol)	1164"	DOGWOOD	Plant in 1164" x 1164" hole
99	(Symbol)	1176"	DOGWOOD	Plant in 1176" x 1176" hole
100	(Symbol)	1188"	DOGWOOD	Plant in 1188" x 1188" hole
101	(Symbol)	1200"	DOGWOOD	Plant in 1200" x 1200" hole

SEE SHEET L-203 FOR CONTIGUOUS & PLANTING DETAILS



MATCHLINE - SEE SHEET L-203

MATCHLINE - SEE SHEET L-205

		Charter Township of Garfield	
		Planning Department Report No. 2020-99	
Prepared:	July 1, 2020	Pages:	1
Meeting:	July 8, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	4051 Cedar Run C-O Rezoning – Withdrawal		
File No.	Z-2020-02	Parcel No.	05-008-010-00
Owner:	Chris Millward and Erik Gruber GMLLC		
Applicant:	Chris Millward and Erik Gruber GMLLC		

BACKGROUND:

This application was to request rezoning of one parcel at 4051 Cedar Run Road, totaling 3.75 acres, from the R-1 One-Family Residential zoning district to the C-O Office Commercial zoning district through the zoning Map Amendment process, without restriction. The subject property is currently vacant. The site is on the south side of Cedar Run Road between Front Street / North Long Lake Road and Barney Road. This neighborhood includes a mix of medical offices and other small commercial and office uses.

This project was originally introduced at the March 11, 2020 Planning Commission meeting (PD Report 2020-39). Staff provided their initial analysis and comments on the proposed rezoning, including several relevant factors which could potentially find the proposed Map Amendment to be justified. The Planning Commission discussed several issues with the site and application. The main issue was with the wetlands at the front of the site which would require a building to be placed further from the road, where there are more residential uses. The Planning Commission then voted unanimously to postpone the application for further information and an EGLE wetland delineation.

The applicant has since decided not to pursue the property. An email exchange is attached to this report detailing the reasons for their decision.

ACTION REQUESTED:

This item is placed on the Planning Commission agenda to formally accept withdrawal of the application. The following motion is suggested:

MOTION THAT the WITHDRAWAL of application Z-2020-02, by Chris Millward and Erik Gruber GMLLC, BE ACCEPTED.

Additional information should be added to the motion as deemed necessary by the Planning Commission.

Attachments:

1. Email from Chris Millward dated June 11, 2020.

Steve Hannon

From: John Sych
Sent: Thursday, June 11, 2020 2:20 PM
To: Millward, Chris D.
Cc: Steve Hannon
Subject: RE: 4051 Cedar Run Road Rezoning Application

Hi Chris,

Thank you for your response.

We will consider this communication your official withdrawal of your rezoning application. This communication will be conveyed to the Planning Commission where the withdrawal will be accepted at the July 8 meeting.

John

John Sych, AICP
Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684
jsych@garfield-twp.com
231.225.3155

From: Millward, Chris D. <Chris.Millward@lfg.com>
Sent: Thursday, June 11, 2020 2:13 PM
To: John Sych <jsych@garfield-twp.com>
Subject: RE: 4051 Cedar Run Road Rezoning Application

Hey John

I really appreciate the follow up.

We decided not to pursue the property. We felt what the Twp was asking was too much just to see if the office we wanted to build would be allowed. We couldn't put the owner of the land on hold any longer and we were not willing to take a chance.

Thanks again for all your help!

Have a great day.

Chris

CHRIS MILLWARD
PARTNER | FOUNDER



440 W. FRONT ST., SUITE 1
TRAVERSE CITY, MI 49684
231.668.4147 OFFICE | 231.668.6845 FAX
CHRIS@BLUEPRINT.FAMILY | BLUEPRINT.FAMILY

IF YOU DO NOT WANT TO RECEIVE FUTURE EMAILS, PLEASE CALL ME AT 231-668-4147, OR EMAIL ME AT CHRIS@BLUEPRINT.FAMILY OR WRITE TO ME AT 440 W. FRONT ST., SUITE 1, TRAVERSE CITY, MI 49684.

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PLEASE DO NOT SEND ANY TRADING OR TRANSACTION INSTRUCTIONS THROUGH THIS EMAIL. THEY WILL NOT BE HONORED OR EXECUTED. SHOULD REQUIRE IMMEDIATE ASSISTANCE, PLEASE CALL THE LINCOLN FINANCIAL ADVISORS TRADE DESK AT 1-800-237-3813.

CHRIS MILLWARD IS A REGISTERED REPRESENTATIVE OF LINCOLN FINANCIAL ADVISORS CORP.

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CRN-2639542-071119

From: John Sych <jsych@garfield-twp.com>
Sent: Thursday, June 11, 2020 1:54 PM
To: Millward, Chris D. <Chris.Millward@lfg.com>
Subject: 4051 Cedar Run Road Rezoning Application

Hi Chris,


The expiration date for your 4051 Cedar Run Road rezoning application is July 9. If we do not receive anything by that date then we will consider your application expired pursuant to Section 404 of the Zoning Ordinance.

Note that the next Planning Commission meeting is July 8. If you want to provide additional information to the Planning Commission regarding your application, then we will need to receive it by Monday, June 29.

Thank you,

John

John Sych, AICP
Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2020-103		
Prepared:	July 1, 2020	Pages: 1
Meeting:	July 8, 2020 Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Chick-fil-A Restaurant Special Use Permit – Withdrawal	
File No.	SUP-2020-01	Parcel No. 05-016-002-10 & 05-016-007-10
Applicant/Owner:	Chick-fil-A Restaurants	
Agent:	Progressive AE	

BRIEF OVERVIEW:

- 3980 US-31 South
- 1.80 acres in area
- Existing Flap Jack Restaurant and parking area
- C-G General Commercial District

BACKGROUND:

This application requested approval of a Special Use Permit for a proposed 4,998-square foot restaurant with seating for 110 inside the building and 12 outside at a patio. Parking would be for 71 vehicles and a drive-through window could accommodate 32 cars. Drive-through businesses uses are permitted via Special Use Permit in the C-G General Commercial District.

This project was originally introduced at the March 11, 2020 Planning Commission meeting (PD Report 2020-40). After the public hearing held on April 22, the Planning Commission tabled the application so that ingress and egress agreements are put in place between the applicant, Walgreens and Memorial Gardens.

The applicant has since decided not to pursue the project. An email from the applicant is attached to this report requesting their application be withdrawn.

ACTION REQUESTED:

This item is placed on the Planning Commission agenda to formally accept withdrawal of the application. The following motion is suggested:

MOTION THAT the WITHDRAWAL of application SUP-2020-01, submitted by Progressive AE, for a Special Use Permit for a drive-through restaurant at Parcels 05-016-002-10 & 05-016-007-10 BE ACCEPTED.

Additional information should be added to the motion as deemed necessary by the Planning Commission.

John Sych

From: Justin Lurk <justin.lurk@cfacorp.com>
Sent: Tuesday, June 30, 2020 12:42 PM
To: John Sych; Cheryl Scales
Cc: Justin Lurk
Subject: RE: Chick-fil-A Site Plan - Garfield Township - Request to Pull SUP & Site Plan application

Good afternoon John,

As we just discussed, I regretfully inform you that Chick-fil-A is formally pulling our application for the special land use & site plan approval for the current Flap Jack Shack parcel. We genuinely appreciate everything Garfield Township has done to try and make this deal come together. Please note, this has nothing to do with Garfield Township.

Unfortunately, the easement area and working with Ed Roy representing Memorial Gardens is what put the kibosh on this deal. We thought we were being a good neighbor with the proposed improvements we were looking to make to that easement area not to mention providing them documented access through Walgreens so that parcel could also benefit from access to a traffic signal – both improvements from the existing condition. Yes, those improvements benefited us as well, but we felt it was a win-win. However, if feels they felt otherwise and were looking to capitalize monetarily on a big corporation trying to come into the market.

Again, thanks for all you have done to try and work with us on this site. Here's to hoping our paths can cross again on another site in Garfield Township.

Thank you,


...

Justin Lurk

Development & Construction
M 573.268.0957

Chick-fil-A, Inc.

5200 Buffington Road, Atlanta, GA 30349

		Charter Township of Garfield	
		Planning Department Report No. 2020-105	
Prepared:	July 1, 2020	Pages:	1
Meeting:	July 8, 2020 Planning Commission	Attachments:	<input type="checkbox"/>
Subject:	3077 Garfield Conditional Rezoning – Update #3		
File No.	Z-2020-03	Parcel No.	05-014-077-00 (portion)
Owner:	3077 Garfield LLC / Richard Weaver		
Applicant:	Premier Space Solutions		

PURPOSE OF APPLICATION:

This application requests the conditional rezoning of a portion of Parcel #05-014-077-00 at 3077 Garfield Road, identified as the “Subject Lands for Conditional Rezoning” by the applicant. These “subject lands” consist of approximately 2.85 acres of a 4.43-acre parcel. The request is to conditionally rezone this part of the site from C-G General Commercial to I-G General Industrial via the conditional rezoning process.

BACKGROUND:

The applicant has offered a set of proposed conditions including: the only use on the conditionally rezoned portion will be small warehousing establishments; no servicing, repair or maintenance will be allowed, and the hours of operation will be limited. This application has been considered during the following Planning Commission meetings:

- March 11, 2020 – Introduction (PD Report 2020-45)
- April 22, 2020 – Public Hearing (PD Report 2020-58)
- May 13, 2020 – Update #1 (PD Report 2020-70)
- June 10, 2020 – Update #2 (PD Report 2020-91)

STAFF COMMENT:


This report is only intended to provide an update on the project. It has been suggested to the applicant to provide updated application materials, including a voluntary update to the Statement of Conditions and a site development plan, to address concerns identified by the Planning Commission and others at the public hearing. No updated materials have yet been provided. Staff has received information suggesting that the property owner may want to shift his interest in this property to a different developer. Staff will provide updates to the Planning Commission as needed.

ACTION REQUESTED:

As such, the following motion is offered for consideration:

MOTION THAT application Z-2020-03, submitted by Premier Space Solutions for the conditional rezoning of a portion of Parcel #05-014-077-00 BE FURTHER TABLED until the applicant submits updated application materials to address outstanding items.

Additional information that the Planning Commission deems necessary should be added to this motion. If the applicant submits updated materials or offers revised conditions, these may be reviewed by Staff and/or the Township Attorney before coming to the Planning Commission.

 Charter Township of Garfield Planning Department Report No. 2020-102			
Prepared:	July 1, 2020	Pages:	8
Meeting:	July 8, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Wendy's Restaurant		
Applicant:	WM Limited Partnership - 1998		
Owner:	Cherrymart Associates LLC		
File No.	SPR-2020-01		
Parcel No.	05-014-049-01		

PURPOSE OF APPLICATION:

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

The approximately 0.83-acre project site is located at 1712 South Garfield Avenue, north of South Airport Road. The project site is part of the former K-Mart parcel (05-014-049-01) at Cherryland Center, which is approximately 12.33 acres, and the former K-Mart building is 87,344 square feet. The project would occupy about 7% of the K-Mart parcel and would be split off from the parent parcel. The proposed development is for a restaurant with drive-through, which are a use by right in the C-P Planned Shopping Center district. The intent of the C-P district as stated in the Zoning Ordinance is as follows:

“It is the intent of the C-P (Planned Shopping) Districts to recognize the various areas of our community that have been developed in a grouped retail setting with department store anchors and expansive parking areas. These planned centers are typically located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity. This section recognizes the transition from antiquated development patterns and encourages multi-use, multi-story, infill development of the parking areas to create a more pedestrian-friendly, mixed-use area. Multi-story structures are encouraged.”

Zoomed-out (left) and zoomed-in (right) aerial images of the subject property (project area highlighted in red; property lines highlighted in blue):



SITE DEVELOPMENT REQUIREMENTS:

(1) General

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards. The following criteria as listed in Section 424.F(1)(a)-(j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

(a) Required Information. *All required information shall be provided.*

- Staff has determined the application and site plan to be substantially complete.

(b) Outside Agencies. *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals that are not received may be a condition of site plan approval.

(c) Essential Facilities and Services. *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- As the site is a proposed redevelopment of a portion of an existing commercial site, many essential facilities and services are in place.
- The site is accessed from a major road and is serviced by existing public sewer and water.
- The site has been used as commercial without overburdening area municipal services.
- The site will be served by an existing 8" municipal water line and a 10" sanitary sewer line.

(d) Natural Features. *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- The proposed development is on a portion of an existing parking lot. There are no known sensitive natural features that would be impacted by this development.

(e) Site Design. *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- Robby's Mexican restaurant and Burger King are located immediately south of this parcel. The proposed development is like the neighboring restaurants, especially the Burger King building which has a drive-through with the same orientation as the proposed Wendy's.
- For a drive-through, a setback of at least 60 feet from the right-of-way line of any existing or proposed street shall be maintained, and this is indicated on the site plan.
- The proposed landscaping as described below in this letter will help provide a transition between adjacent sites and will contribute positively to the character of this vicinity.

(f) Orientation. *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The front entrance of the proposed building faces Garfield Avenue.
- There is a proposed internal sidewalk and crosswalk connecting the front of the building with a new sidewalk along Garfield Avenue.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.*

- The proposed entrances and exits to the site are at the back of the building. The entrance to the Cherryland Center area from Garfield Avenue serves several adjacent parcels. The vehicles using the proposed drive-through will circle the building twice, which is the same configuration as seen in the Burger King to the south.
- The site plan also shows a right-turn only entrance on the south side of the parcel. Staff recommends removal of this right-turn only entrance to maintain safety and reduce traffic conflict points. Staff has observed other drive-throughs in the Township with high traffic volumes, likely reflecting greater usage of drive-throughs in response to COVID-19.
- The site plan shows a proposed new sidewalk along Garfield Avenue located mostly on the development site with about 1 foot extending into the right-of-way. According to Section 522 of the Zoning Ordinance, “non-motorized pathways may be constructed within the public street right-of-way or upon private property subject to an appropriate public access easement being recorded.” The applicant is required to record a public access easement for the proposed sidewalk.

(h) **Shared Drives.** *Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As described above, the development site will use the existing entrance drive which serves several adjacent parcels on Garfield Avenue, and the entrances and exists to the site are at the back of the building.
- As stated above, staff recommends the removal of the right-turn only entrance on the south side of the development parcel to maintain safety and reduce traffic conflict points.

(i) **Impervious Surfaces.** *The amount of impervious surface has been limited on the site to the extent practical.*

- The site is located on an existing parking lot. The proposed design limits the amount of impervious surface to the extent practical and reduces the impervious area by introducing new landscaping areas to the site.

(j) **Master Plan.** *The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The proposal fits with the Future Land Use Map, as the parcel and surrounding vicinity are envisioned as Commercial, which accommodates a wide range of potential businesses.

- The site is part of the Barlow Garfield Neighborhood Plan which guides development in this neighborhood of the Township. This plan included several development principles for this neighborhood encompassing the following:
 - Allow for mixed-use development on primary corridors.
 - Account for public spaces that accommodate a variety of activities.
 - Encourage connectivity through sidewalks, trails, cross-access, and other means.
 - Allow sites to be designed at a scale that encourages a neighborhood character.
 - Allow for new housing with diverse selection of unit types and sizes.
 - Facilitate improvements for public infrastructure upon new development.
- Several site plan elements support the development principles within the Barlow Garfield Neighborhood Plan, especially the sidewalk and placement of the entrances at the back of the building to help manage curb cuts. The site is also designed at a similar scale to that of neighboring properties. As stated above, staff recommends the removal of the right-turn only entrance on the south side of the development parcel as an extraneous curb cut.
- The Barlow Garfield Neighborhood Plan envisions a connected, livable, community center within Garfield Township in this neighborhood. The project continues the development pattern from the adjacent sites to the south, but any further continuation of this pattern to the north would not likely enhance the vision of this neighborhood.
- Furthermore, for as long as the former Kmart building still exists, there should be enough parking to anticipate future development in that building. If the property owners wish to develop more out lots along Garfield Avenue, then enough parking shall be maintained to serve the former Kmart building unless the former Kmart building is demolished.

The following review of the proposal with regards to the relevant sections within Article 5 – Development Standards is also provided:

Lots

A land division will be needed to split the development parcel for the proposed restaurant from the parent parcel, which is the site of the former Kmart building.

Access Management

As described above, the development site will use the existing entrance drive which serves several adjacent parcels on Garfield Avenue, and the entrances and exists to the site are at the back of the building. This is consistent with the intent of access management standards including encouraging shared drives. As stated above, Staff recommends the removal of the right-turn only entrance on the south side of the development parcel as an unnecessary curb cut.

Dumpster Enclosures

A dumpster enclosure is proposed for the back of the site in the northwest corner. Section 516 states that such enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. The dumpster enclosure material shall be indicated on the site plan. All other standards of Section 516 appear to be met.

Lighting

A photometric plan was submitted which appears to meet the requirements of Section 517 of the Ordinance. A note on the lighting plan indicates that all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale, and that lighting fixtures shall be full cut-off and shall not direct light upwards. The applicant needs to submit a cut sheet of the lighting fixtures used, and indicate which fixtures are used at which locations, to determine if the lighting requirements have been met.

Stormwater Management

Stormwater review by the Township Engineer will be required prior to the issuance of a Land Use Permit. The proposed Wendy's restaurant is planning to utilize the Cherryland Center stormwater system, including the retention basin at the northwest corner of the Cherryland Center property. Appropriate easements will need to be provided to utilize the Cherryland Center stormwater system.

Landscaping

A "Type B" buffer is required along the north, south, and west property lines. The Type "B" buffer planting requirement is ground cover as specified in Section 530.J, plus two large trees, one medium or small tree, and four shrubs per one hundred (100) linear feet of greenspace area. The Type "B" Buffer area shall have a minimum width of ten (10) feet. The north and south property lines are about 214 feet long and the west property line is about 170 feet long, but these should be clarified once the parcel split occurs.

A "Type D" buffer is required along the east property line. The "Type D" planting requirement is ground cover as specified in Section 530.J, plus four large trees, three medium or small trees, and three evergreen or coniferous trees per one hundred (100) linear feet of greenspace area. The Type "D" Buffer area shall have a minimum width of twenty (20) feet. The east property line is approximately 170 feet long, but this should be clarified once the parcel split occurs.

The landscaping plan shows 42 trees and 191 shrubs provided. The landscaping provided appears to meet these requirements, but the parcel split is still needed for the final parcel measurements and to determine whether these requirements are met.

Parking, Loading, and Snow Storage

Restaurants with a drive-through have a minimum parking requirement of 1 space for each 150 square feet of floor area and a maximum of 1 space for each 75 square feet of floor area. The proposed building will be 2,584 square feet, giving a minimum of 17 spaces and a maximum of 34 spaces. There will be 22 total parking spaces, including 2 barrier-free.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. One bicycle rack is proposed which will give space for 2 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long. An off-hour loading zone is provided within the parking lot and measures 10 feet by 20 feet.

With this development, the number of parking spaces for the former Kmart building will be reduced. The applicant shall ensure that the former Kmart building maintains enough parking to accommodate the future redevelopment of that building. Based on Section 551 of the Zoning Ordinance, the parking requirement for the former Kmart building as a retail store is a minimum of one parking space for each two hundred and fifty (250) square feet of floor area and a maximum of one parking space for each one hundred fifty (150) square feet of floor area. The minimum parking requirement is 349 spaces with a maximum of 582 spaces.

The applicant has presented information that there are about 500 parking spaces currently provided for the former Kmart building. It is important to know that a portion of these parking spaces still provide parking for other Cherryland Center businesses not on the former Kmart parcel.

Finally, with the proposed new Wendy's site, the existing parking space layout of the former Kmart parcel shall be reconfigured for both parking spaces and circulation, including the restriping of parking spaces and maneuvering areas. The site plan shows new parking space striping and pavement markings on the former Kmart parcel.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. This site has about 15,000 square feet of parking space and maneuvering lane area which would require 1,500 square feet of snow storage. The site plan shows three snow storage areas with a total area of 2,166 square feet.

(2) External Access

The proposed development will gain its most direct access from the internal drives of the Cherryland Center. A right-in only one-lane drive is proposed to give quick access from vehicles entering off Garfield Avenue. Staff has observed other drive-throughs in the Township with high traffic volumes, likely reflecting greater usage of drive-throughs in response to COVID-19. Circulation of the parking lot will be counterclockwise with a one-way drive entering from the west side of the site and with a one-way drive existing to the west side of the site.

(3) Internal Pedestrian Circulation

Section 522 requires pathways and interior sidewalks. Interior sidewalks have been provided along with a connection from the front of the restaurant to a proposed sidewalk along Garfield Avenue.

(4) Non-Motorized Pathways

A sidewalk is proposed at the front of the parcel along Garfield Avenue. As mentioned previously, most of this sidewalk is on the private parcel with about one foot of width extending over the right-of-way. The applicant is required to record a public access easement for the proposed sidewalk.

(5) Building Placement

The building placement is consistent with that of the adjacent sites to the south. The internal sidewalks will encourage pedestrian circulation and the proposed sidewalk along Garfield Avenue will add to the sidewalk network and encourage future connectivity. The side entrance to the building faces the shared drive serving as an entry off Garfield Avenue, which is a curbed internal roadway.

(6) Vegetative Transition Strip

A fifty-foot wide vegetative transition strip is required if the site abuts a residential or agricultural zone, but this does not apply in this case. Comments on landscaping for the whole site are included above.

(7) Service Drives

Access to the site, including the parking lots, is from an interior service drive and not a major thoroughfare.

(8) Prohibited Outdoor Storage

The applicant does not propose any outdoor storage on this site.

USE STANDARDS – DRIVE-THROUGH:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

1. *Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.*

The site plan shows a single drive-through service lane and parking. There is no outdoor dining proposed.

2. *A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.*

The building measures 60 feet from the right-of-way line of Garfield Avenue.

3. *Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.*

There are no intersecting streets within 50 feet.

4. *Pedestrian areas shall be clearly marked and maintained.*

The site plan shows internal sidewalks around the front and sides of the building with a designated connection to a new sidewalk planned along Garfield Avenue.

5. *Only one (1) ingress-egress drive shall be allowed per major thoroughfare.*

There ingress-egress for the subject parcel is proposed off an existing shared driveway for the entire Cherryland Center off Garfield Avenue.

6. *All parking requirements shall comply with Article 5 of this Ordinance.*

The parking requirements are described in a previous section of this letter and have been met.

7. *Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.*

The proposed parcel width is 170 feet.

8. *Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).*

There is one drive-through service lane with 12 queuing spaces provided.

9. *Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.*

This requirement shall be enforced as needed as part of the operation of the site.

10. *The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.*

The applicant shall provide information demonstrating that this requirement is met.

RECOMMENDATION:

To accommodate this proposed development, several key issues must be addressed. These issues may be potentially addressed as conditions of approval if the Planning Commission finds in favor of an approval. Following the applicant presentation and Planning Commission discussion, if the Commission is prepared to decide, then the following motion in support of approval is offered:

MOTION THAT application SPR-2020-01, submitted by WM Limited Partnership – 1998 to construct a drive-through restaurant on a portion of parcel 05-014-049-01, BE APPROVED, subject to the following conditions:

1. A land division is needed to split the development parcel for the proposed new restaurant from the parent parcel: 05-014-049-01.
2. Removal of the right-turn only entrance to maintain safety and reduce traffic conflict points.
3. Record a public access easement for the proposed sidewalk.
4. The dumpster enclosure material shall be indicated on the site plan.
5. The applicant shall submit a cut sheet of the lighting fixtures used, and indicate which fixtures are used at which locations, to determine if the lighting requirements have been met.
6. Stormwater easement will need to be provided to utilize the Cherryland Center stormwater system, or an on-site stormwater management system shall be provided.
7. The parcel split is needed for the final parcel measurements and to determine whether the landscaping requirements are met.
8. The applicant shall provide information demonstrating that the site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
9. All agency reviews, including stormwater and utility review by the Township Engineer, shall be received, and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Wendy's 2020 New Build site plan set – dated June 19, 2020.

SITE NUMBER: 0000
BASE BUILD: SMART 55 - SQUARE 2017
FRANCHISE:
CLASSIFICATION: NEW
OWNER: MERRITT HOSPITALITY
BASE VERSION: 2018
UPDATE CLASSIFICATION:
NEW BUILD
PROJECT YEAR: 2020
FURNITURE PACKAGE: 2014 V0
DESIGN BULLETIN: SPRING 2020



PROJECT TYPE: NEW BUILD
DATE: 08/19/20

1800 S GARFIELD ROAD
TRAVERSE CITY, MI 49688



DATE: 08/19/20
SITE PLAN REVIEW
DRAWN BY: [blank]
CHECKED BY: [blank]



PROJECT NAME: SURVEY PLAN
SCALE: 1/4" = 1'-0"

C1.0

BENCHMARKS

BENCH MARK A: ELEVATION: 629.85
NEAR INTERSECTION OF TRAIL LANE WEST/STURDY
SIDE OF S. GARFIELD ROAD
BENCH MARK B: ELEVATION: 628.97
NEAR INTERSECTION OF TRAIL LANE WEST/STURDY
WEST SIDE OF S. GARFIELD ROAD

SYMBOL LEGEND

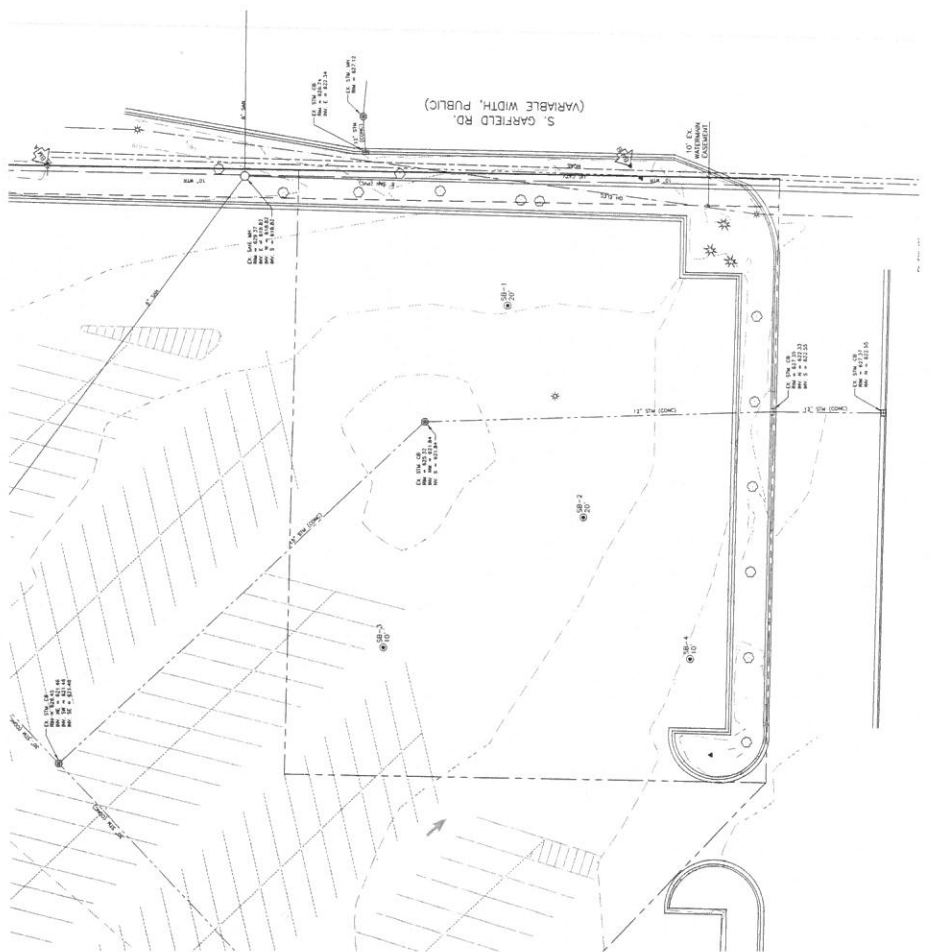
- BENCH MARK
- PROPERTY LINE
- ROW LINE
- EASEMENT LINE
- SOIL BORING
- SHRUBS
- CONDENSING TREE
- DECIDUOUS TREE
- NETTING
- EDGE OF WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- LIGHT
- UTILITY POLE
- SMN
- VALVE
- MAIL BOX
- RECYCLING
- EXTINGUISHER
- BARRIER FREE WALKWAY
- SMARTER CURB & GUTTER
- SMARTER SINKER & MANHOLE
- STORM SINKER & MANHOLE
- CATCH BASIN CURB AND LAWN TYPE
- VALVE
- BENCH MARK
- WATER MAIN
- FORCE MAIN
- GAS MAIN
- UNDERGROUND ELECTRIC
- FIBER OPTICS
- UNDERGROUND TELEPHONE
- OL TRANSMISSION LINE
- UNDERGROUND STEAM
- UNDERGROUND LIQUID
- CABLE TELEVISION
- TELEPHONE FEDERAL

SURVEY CONTROL

- 1. VERICAL DATA WITH NAD83 VERTICAL DATUM OF 1988 (NAD 83 WITH 2011 CE20)
- 2. HORIZONTAL DATA WITH NAD83 STATE PLANE COORDINATE W. CENTRAL PROJECTION (NAD 83)

SURVEY NOTES

- 1. ALL INFORMATION ON THIS SURVEY WAS OBTAINED FROM THE RECORDS OF THE SURVEY FIELD BOOK LOGGING
- 2. GEOTECHNICAL ANALYSIS AND REPORT PROVIDED BY MATERIALS TECHNOLOGY CENTER, TRAVERS COUNTY, MICHIGAN, WAS USED FOR THE DESIGN OF THE DRIVEWAY AND DRIVEWAY APPROACH. THE DESIGN OF THE DRIVEWAY AND DRIVEWAY APPROACH IS BASED ON THE INFORMATION PROVIDED BY THE GEOTECHNICAL ANALYSIS AND REPORT PROVIDED BY MATERIALS TECHNOLOGY CENTER, TRAVERS COUNTY, MICHIGAN, AND IS SUBJECT TO THE CONDITIONS AT THE TIME THE CONTRACT WAS AWARDED.
- 3. PROPERTY DESCRIPTION AS SHOWN ON THE SURVEY PLAN IS THE ENTIRE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 23, T30N, R19W, M31E, TRAVERS COUNTY, MICHIGAN, BEING 40.00 ACRES MORE OR LESS, AS SHOWN ON THE SURVEY PLAN. THE SURVEY PLAN IS BASED ON A SET OF AS-BUILT PLATS FOR THE DRIVEWAY AND DRIVEWAY APPROACH, AS SHOWN ON THE SURVEY PLAN. THE DRIVEWAY AND DRIVEWAY APPROACH IS BASED ON THE INFORMATION PROVIDED BY THE GEOTECHNICAL ANALYSIS AND REPORT PROVIDED BY MATERIALS TECHNOLOGY CENTER, TRAVERS COUNTY, MICHIGAN, AND IS SUBJECT TO THE CONDITIONS AT THE TIME THE CONTRACT WAS AWARDED. THE DRIVEWAY AND DRIVEWAY APPROACH IS BASED ON THE INFORMATION PROVIDED BY THE GEOTECHNICAL ANALYSIS AND REPORT PROVIDED BY MATERIALS TECHNOLOGY CENTER, TRAVERS COUNTY, MICHIGAN, AND IS SUBJECT TO THE CONDITIONS AT THE TIME THE CONTRACT WAS AWARDED.



0 10 20 40
SCALE 1" = 40'

DATE: 02/15/2017	0000
FILE NO.: 1800 S GARFIELD 2017	
SHEET TYPE: PLAN	
CLIENT: NEW BUILD	
PROJECT NAME: WENDY'S RESTAURANT	
OWNER: WENDY'S RESTAURANTS	
DATE: 02/15/2017	
PROJECT NO.: 2017	
UPGRADE CLASSIFICATION	
PROJECT TEAM	
DESIGNER: SPRING 2017	
DATE: 02/15/2017	
DATE: 02/15/2017	

Engineers | Architects | Scientists | Construction

OIL MISSING
15 Gallons (37.5 Liters) of Oil
Must be Present at ALL TIMES

1800 S. GARFIELD ROAD
TRAVERSE CITY, MI 49686

DATE: 02/15/2017	0000
PROJECT NAME: WENDY'S RESTAURANT	
OWNER: WENDY'S RESTAURANTS	
DATE: 02/15/2017	
PROJECT NO.: 2017	
UPGRADE CLASSIFICATION	
PROJECT TEAM	
DESIGNER: SPRING 2017	
DATE: 02/15/2017	
DATE: 02/15/2017	

C2.0

SITE LAYOUT PLAN

SITE ZONING

PANEL #2-014-04-01 PARCEL SIZE: 0.83 ACRES
 PARCEL ADDRESS: 1800 S. GARFIELD ROAD 36,209 SQ. FT.
 ZONING DISTRICT: C-P (PLANNED SHOPPING CENTER)
 BUILDING SETBACKS: FRONT: 30' BACK: 30' SIDE: 30'

SYMBOL LEGEND

[Symbol]	LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	CONCRETE SIDEWALK
[Symbol]	A.A. TACTILE SURFACE
[Symbol]	PROPOSED STANDING CURB & GUTTER
[Symbol]	PROPOSED ROLLED CURB & GUTTER
[Symbol]	PROPOSED THICKENED EDGE SIDEWALK
[Symbol]	PROPOSED ORIGINAL (PAINTED) SIDEWALK
[Symbol]	PROPOSED THICKENED PAVEMENT MARKING
[Symbol]	PROPOSED PAVEMENT MARKING - DIRECTION ARROWS (PAINTED)
[Symbol]	PAVING SPACE COUNT
[Symbol]	SEA
[Symbol]	LIGHT POLE

PARKING QUANTITIES

REQUIRED PARKING (GARFIELD TOWNSHIP ZONING):

1. REQUIRED PARKING: 1 SP. OF PARKING / 100 S.F. OF FLOOR AREA
2. AVAILABLE SPACES: 24 SPACES
3. TOTAL SPACES: 24 SPACES

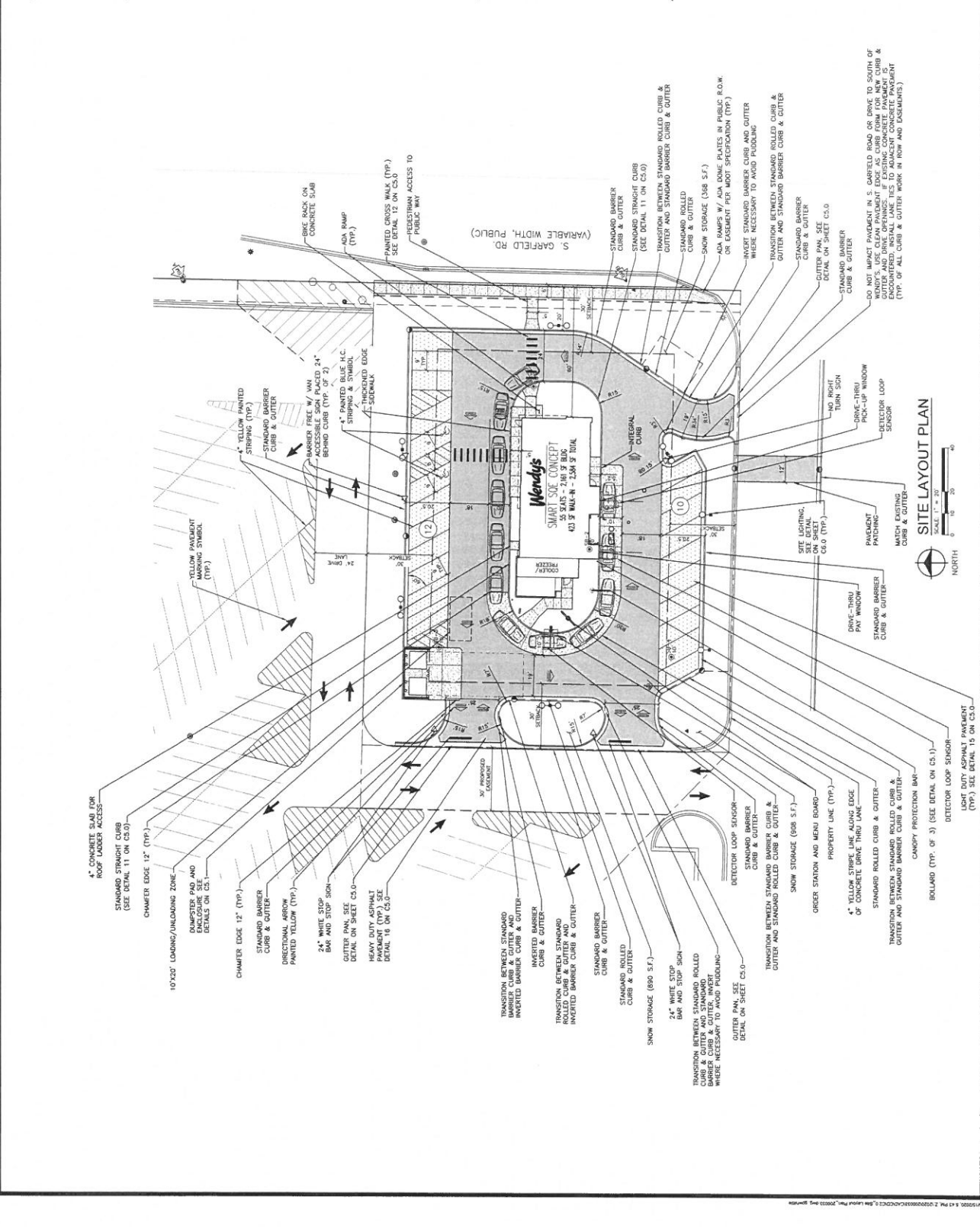
PROPOSED PARKING:

GROSS FLOOR AREA: 2584 / 2584 = 10 SPACES

PROPOSED BIKE/PEDICURE FACILITIES:

PROVIDE BIKE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING. PROVIDE BICYCLE STORAGE AS INDICATED BY LOCAL ZONING.

- GENERAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 8. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 9. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 10. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 11. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.
 12. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, DEPT. OF PUBLIC WORKS RECORDS, AND RECORD DRAWINGS PRIOR TO CONSTRUCTION.

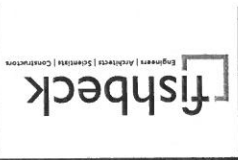


SITE LAYOUT PLAN

SCALE: 1" = 20'

NORTH

SITE NUMBER: 0000
 BASE MDL: SMART-55 - SQUARE 2017
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: NEW
 OWNER: MERRITAGE HOSPITALITY
 BASE VERSION: 2018
 UPGRADE CLASSIFICATION: NEW BUILD
 PROJECT YEAR: 2020
 FURNITURE PACKAGE: 2018 V3
 DESIGN BULLETINS: SPRING 2020



PROJECT TYPE: 2020
 NEW BUILD

Wendy's
 1800 S. GARFIELD ROAD
 TRAVERSE CITY, MI 49686

SHEET NO: 001000 SITE PLAN REVIEW
 DATE: 08/11/2020

PROJECT: 1800 S GARFIELD ROAD
 SHEET: 001000 SITE PLAN REVIEW
 DATE: 08/11/2020

SITE ZONING
 PARCEL: 001-011-001-01
 PARCEL SIZE: 4.83 ACRES
 PARCEL ADDRESS: 1800 S. GARFIELD ROAD
 ZONING DISTRICT: C-P (PLANNED SHOPPING CENTER)
 BULKING SETBACKS: BACK: 30' SIDE: 30'

- SYMBOL LEGEND**
- [Pattern] LIGHT DUTY ASPHALT PAVEMENT
 - [Pattern] HEAVY DUTY ASPHALT PAVEMENT
 - [Pattern] CONCRETE PAVEMENT
 - [Pattern] CONCRETE SIDEWALK
 - [Pattern] A.S.A. TACTILE SURFACE
 - [Pattern] PROPOSED STANDARD CURB & GUTTER
 - [Pattern] PROPOSED FOLDED CURB & GUTTER
 - [Pattern] PROPOSED THICKENED EDGE SIDEWALK
 - [Pattern] PROPOSED CROSSWALK (PAINTED)
 - [Pattern] PROPOSED PAVEMENT MARKING (PAINTED)
 - [Symbol] PROPOSED TRAFFIC MARKING (PAINTED)
 - [Symbol] PROPOSED TRAFFIC MARKING (PAINTED)
 - [Symbol] PROPOSED TRAFFIC MARKING (PAINTED)
 - [Symbol] PARKING SPACE COUNT
 - [Symbol] SIGN
 - [Symbol] LIGHT POLE

PARKING QUANTITIES
REQUIRED PARKING (GARFIELD, LONGSHIP, ZONING):
 1 SPACE FOR EACH 150 SQ FT OF GROSS FLOOR AREA (MINIMUM)
 GROSS FLOOR AREA 2384/130 = 18 SPACES

ENCLOSED PARKINGS:
 1 24' DRIVE
 2 24' DRIVE
 2 24' DRIVE
 2 24' DRIVE
 2 24' DRIVE

ENCLOSED BIKE FACILITIES:
 BIKE RACKS SHALL BE PROVIDED BY THE CONTRACTOR. BIKE RACKS SHALL BE LOCATED ALONG THE DRIVEWAY AND SHALL BE SEPARATED FROM ACCESSIBLE FOOTCOURTS.

- GENERAL NOTES**
- EMPOWERS ARE TO BACK OF CURB, OUTSIDE FACE OF DRIVEWAY.
 - CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND PROVIDE TO ANY EXCAVATION TO CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION.
 - SUBMIT SHOP DRAWINGS FOR ALL MATERIALS TO BE USED TO THE ARCHITECT OR ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL.
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT AND LOCAL INSPECTORS.
 - CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
 - NO STORAGE OR STORAGE OF MATERIAL OR EQUIPMENT SHALL BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY AT ANY TIME.
 - A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIANS SHALL BE PROTECTED BY SAFETY BARRIERS THROUGHOUT THE CONSTRUCTION.
 - TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR REVIEW AND APPROVAL.
 - INSTALL AND MAINTAIN ALL SIGNAGE/PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
 - INSTALL AND MAINTAIN ALL INTERLOCKS AS SHOWN ON THE PLANS.
 - SEE DETAILS B & AND TO ON C.S.
 - ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



PARKING LOT LAYOUT PLAN
 SCALE: 1" = 20'
 NORTH

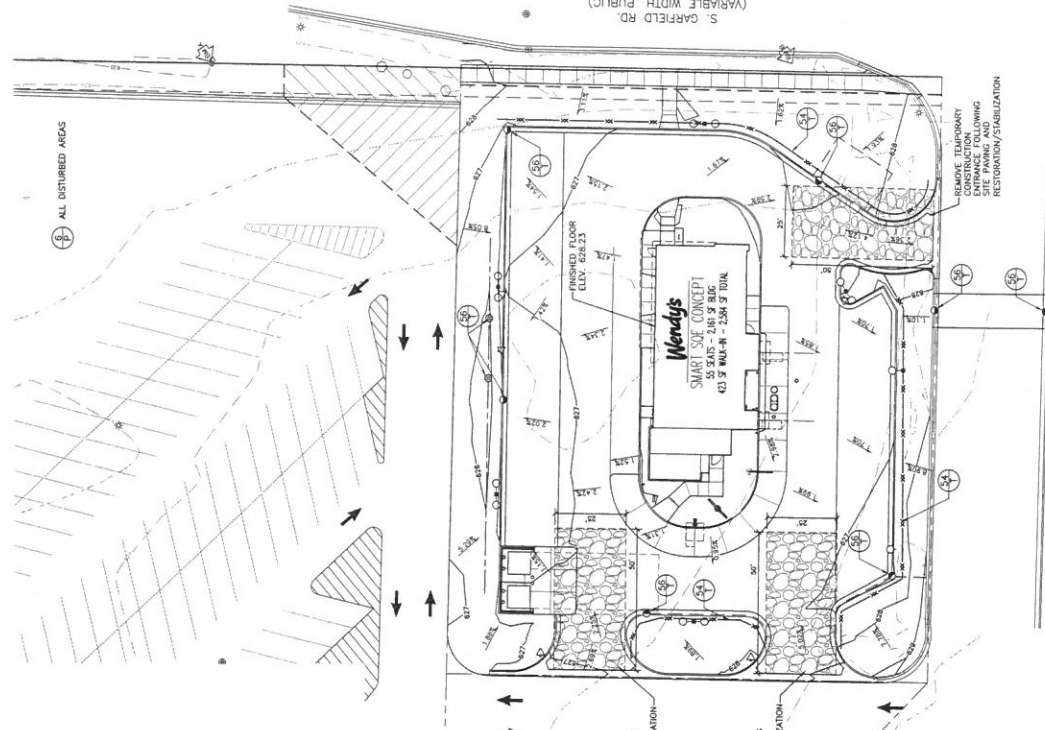
C2.1
 08/11/2020

1/15/2021 1:46 PM E:\2020\08\08\08\08\08\C2.1 - 1800 S GARFIELD ROAD\001000 SITE PLAN REVIEW.dwg

MDEQ SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
6		Installed at all entrances to construction site to filter sediment from runoff.
54		Installed at all entrances to construction site to filter sediment from runoff.
56		Installed at all entrances to construction site to filter sediment from runoff.
57		Installed at all entrances to construction site to filter sediment from runoff.

TEMPORARY MEASURE PERMANENT MEASURE



BENCHMARKS

BENCH MARK A ELEVATION: 629.85
 MDS BENCH MARK OF THE DISTRICT
 SIDE OF S. GARFIELD ROAD
 SET MARK IN POWER POLE
 MDS DISTRICT PROPERTY CORNER
 VERTICAL CURVE OF S. GARFIELD ROAD

SYMBOL LEGEND

- CONTOUR MAJOR
- CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR

SPOT ELEVATION LEGEND

- GC BUTTER PAK
- TC TOP OF CURB
- TS TOP OF SLAB
- GR GRADE ELEVATION
- TW TOP OF WALL
- EW EDGE OF WALK
- FF FINISH FLOOR

GRADING NOTES

1. FINISH GRADE OF ALL SIDES ALONG PERIMETER TO BE 1/2" BELOW FLOOR OF FINISH GRADE.
2. STOP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE FOR SODDING RESTORATION.
3. GRADING SHOULD BE FINAL. SURFACE GRADIENTS AFTER GRADING SHOULD BE SUFFICIENT TO PREVENT EROSION AND TO ACCORDANCE WITH APPLICABLE REGULATIONS.
4. GRADING SHOULD BE PERFORMED TO MATCH GRADIENTS OF ADJACENT AREAS.
5. REMOVE EXCESS SOIL FROM SITE AND DEPOSITE OF PROPERTY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. STABLES, SHEDS AND MOBILE ADJ. MAINTENANCE STORAGE WATER SHEDS LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.

SESC NOTES

1. MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AT THE CONSTRUCTION SITE. THE PLAN SHOULD BE AVAILABLE TO THE SURVEYOR DURING CONSTRUCTION OPERATIONS.
2. CONSTRUCTION OPERATIONS SHOULD BE MANAGED TO PREVENT EROSION AND SEDIMENTATION. ALL VEGETATION SHOULD BE PROTECTED OR REPLACED WITH A SPECIES OF SIMILAR COVERAGE OR AS DETERMINED BY PERMITS.
3. THE LIMITS OF PERFORMANCE AS INDICATED ON THE GRADING PLAN SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
4. BEFORE THE START OF OPERATIONS, STORM ON THE PROPERTY SHOULD BE CONTROLLED BY THE INSTALLATION OF PERMANENT STRUCTURES AS INDICATED BY THE SESC PLAN.
5. REMOVE EXCESS SOIL FROM THE SITE AND DEPOSITE OF PROPERTY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AT THE PERIMETER OF ALL DISTURBED AREAS AS INDICATED BY THE SESC PLAN AND MAINTAIN THROUGHOUT CONSTRUCTION OPERATIONS.
7. THIS SITE IS CONSIDERED TO BE A DISTURBED AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERSHEDS.
8. SODDING SHOULD BE INSTALLED TO RESTORE THE ORIGINAL CONDITION OF THE DISTURBED AREAS WITHIN THE PERIMETER OF THE SESC PLAN.
9. SODDING SHOULD BE INSTALLED TO RESTORE THE ORIGINAL CONDITION OF THE DISTURBED AREAS WITHIN THE PERIMETER OF THE SESC PLAN.
10. REMOVE TEMPORARY STABILIZATION MEASURES ON ANY DISTURBED AREAS AT THE PERIMETER OF THE SESC PLAN. VEGETATION SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS. VEGETATION SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS. VEGETATION SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS.
11. REMOVE TEMPORARY STABILIZATION MEASURES ON ANY DISTURBED AREAS AT THE PERIMETER OF THE SESC PLAN. VEGETATION SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS. VEGETATION SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS.
12. BEFORE AND AFTER ALL EXPOSED AREAS WITHIN THE SESC PLAN, THE CONTRACTOR SHALL INSTALL VEGETATION TO RESTORE THE ORIGINAL CONDITION OF THE DISTURBED AREAS WITHIN THE PERIMETER OF THE SESC PLAN.
13. REGULARLY CHECK SEEDING AREAS TO SEE THAT A GOOD SEEDING HAS BEEN ESTABLISHED. LOSS OF THE SOIL VEGETATION WITH A DENSITY OF 50% OF GREATER FERTILIZE, WATER, FLEECE AND MULCH AS NEEDED.
14. MAINTAIN A RECORD OF ALL SESC MEASURES AND THE RESULTS OF THE SESC MEASURES THROUGHOUT CONSTRUCTION OPERATIONS.
15. NO TRUCKS AND EQUIPMENT IS ALLOWED AT ANY TIME TO DRIVE THROUGH THE SESC PLAN.
16. MAINTAIN SESC CONTROL DURING CONSTRUCTION. WATER MARK SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS.
17. SESC SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION OPERATIONS.
18. LIMITS OF DISTURBANCE: 0.79 ACRES.

GRADING & SESC PLAN



SITE NUMBER: 0000
 BASE MDL: SMART SUE SQUARE 2017
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: NEW
 OWNER: MERVILLE HOSPITALITY
 BASE VERSION: 2018
 UPGRADE CLASSIFICATION: 2018
 NEW BUILD
 PROJECT YEAR: 2023
 FURNITURE PACKAGE: 2023-0
 DESIGN BULLETINS: SPRING 2020



PROJECT TYPE: NEW BUILD
 TRVERSE CITY, MI 49886

Wendy's
 1800 S. GARFIELD ROAD
 TRAVERSE CITY, MI 49886

DATE: 06/20/2023 SITE PLAN REVIEW

PROJECT NUMBER:	0000
PROJECT NAME:	0000
PROJECT LOCATION:	0000
PROJECT STATUS:	0000
PROJECT DATE:	0000
PROJECT TIME:	0000

GRADING AND SESC PLAN

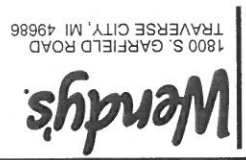
C3.0

18. LIMITS OF DISTURBANCE: 0.79 ACRES

SITE NUMBER: 0000
 BASE MCL: SMART 55 - SQUARE 2017
 ASSET TYPE: FRENCHISE
 CLASSIFICATION: NEW
 OWNER: MERRIDGE HOSPITALITY
 BASE VERSION: 2018
 UPGRADE CLASSIFICATION: NEWFIELD
 PROJECT YEAR: 2020
 FURNITURE PACKAGE: 2018 V2
 DESIGN BULLETIN: SPRING 2020



PROJECT TYPE: NEW BUILD
 PROJECT YEAR: 2020



SHEET TITLE: UTILITY PLAN
 SHEET NUMBER: 0000
 PROJECT NUMBER: 2020

C4.0
 PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION

BENCHMARKS

- 1. ELEVATION: 529.55
- 2. WEST FLANGE BOLT ON FIRE HYDRANT
- 3. BENCH MARK: 10.00
- 4. BENCH MARK: 9.00
- 5. BENCH MARK: 8.00
- 6. BENCH MARK: 7.00
- 7. BENCH MARK: 6.00
- 8. BENCH MARK: 5.00
- 9. BENCH MARK: 4.00
- 10. BENCH MARK: 3.00
- 11. BENCH MARK: 2.00
- 12. BENCH MARK: 1.00
- 13. BENCH MARK: 0.00
- 14. BENCH MARK: -1.00
- 15. BENCH MARK: -2.00
- 16. BENCH MARK: -3.00
- 17. BENCH MARK: -4.00
- 18. BENCH MARK: -5.00
- 19. BENCH MARK: -6.00
- 20. BENCH MARK: -7.00
- 21. BENCH MARK: -8.00
- 22. BENCH MARK: -9.00
- 23. BENCH MARK: -10.00
- 24. BENCH MARK: -11.00
- 25. BENCH MARK: -12.00
- 26. BENCH MARK: -13.00
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- 56. BENCH MARK: -43.00
- 57. BENCH MARK: -44.00
- 58. BENCH MARK: -45.00
- 59. BENCH MARK: -46.00
- 60. BENCH MARK: -47.00
- 61. BENCH MARK: -48.00
- 62. BENCH MARK: -49.00
- 63. BENCH MARK: -50.00

SYMBOL LEGEND

- 1. SANITARY SEWER & MANHOLE
- 2. STORM SEWER & MANHOLE
- 3. CATCH BASIN CURB AND LAWN TYPE
- 4. VALVE
- 5. HYDRANT
- 6. WATER MAIN
- 7. UNDERGROUND ELECTRIC
- 8. UNDERGROUND TELEPHONE
- 9. CABLE TELEVISION
- 10. TELEPHONE FEEDER
- 11. SANITARY SEWER & MANHOLE
- 12. W/C & L&O
- 13. STANDARD STREET CLEANOUT
- 14. STORM SEWER & MANHOLE
- 15. DRAIN BASIN
- 16. WATER MAIN
- 17. VALVE & BOX
- 18. WATER
- 19. FUG
- 20. CURB STOP & BOX

UTILITY SUMMARY

- 1. SECONDARY SERVICE (NOTIFIED BOND, ON SITE, UNOCCUPIED AND COORDINATE WITH THE CONTRACTOR AND UTILITIES COMPANY.)
- 2. ALL UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 3. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 4. UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 5. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 6. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 7. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 8. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 9. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 10. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.

UTILITY NOTES

- 1. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 2. ALL UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 3. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 4. UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- 5. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 6. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 7. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 8. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 9. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.
- 10. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT ALL LOCATIONS.

SANITARY SEWER NOTES

- 1. SANITARY SEWER AT 1.0% MIN. SLOPE TO PUBLIC SERVICE LINES.
- 2. INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE.
- 3. INSTALL CLEANOUTS AT ANY CHANGE IN SLOPE OF PIPE.
- 4. INSTALL CLEANOUTS AT ANY CHANGE IN SIZE OF PIPE.
- 5. INSTALL CLEANOUTS AT ANY CHANGE IN MATERIAL OF PIPE.
- 6. INSTALL CLEANOUTS AT ANY CHANGE IN SERVICE LINES.
- 7. INSTALL CLEANOUTS AT ANY CHANGE IN SERVICE LINES.
- 8. INSTALL CLEANOUTS AT ANY CHANGE IN SERVICE LINES.
- 9. INSTALL CLEANOUTS AT ANY CHANGE IN SERVICE LINES.
- 10. INSTALL CLEANOUTS AT ANY CHANGE IN SERVICE LINES.

GAS MAIN NOTES

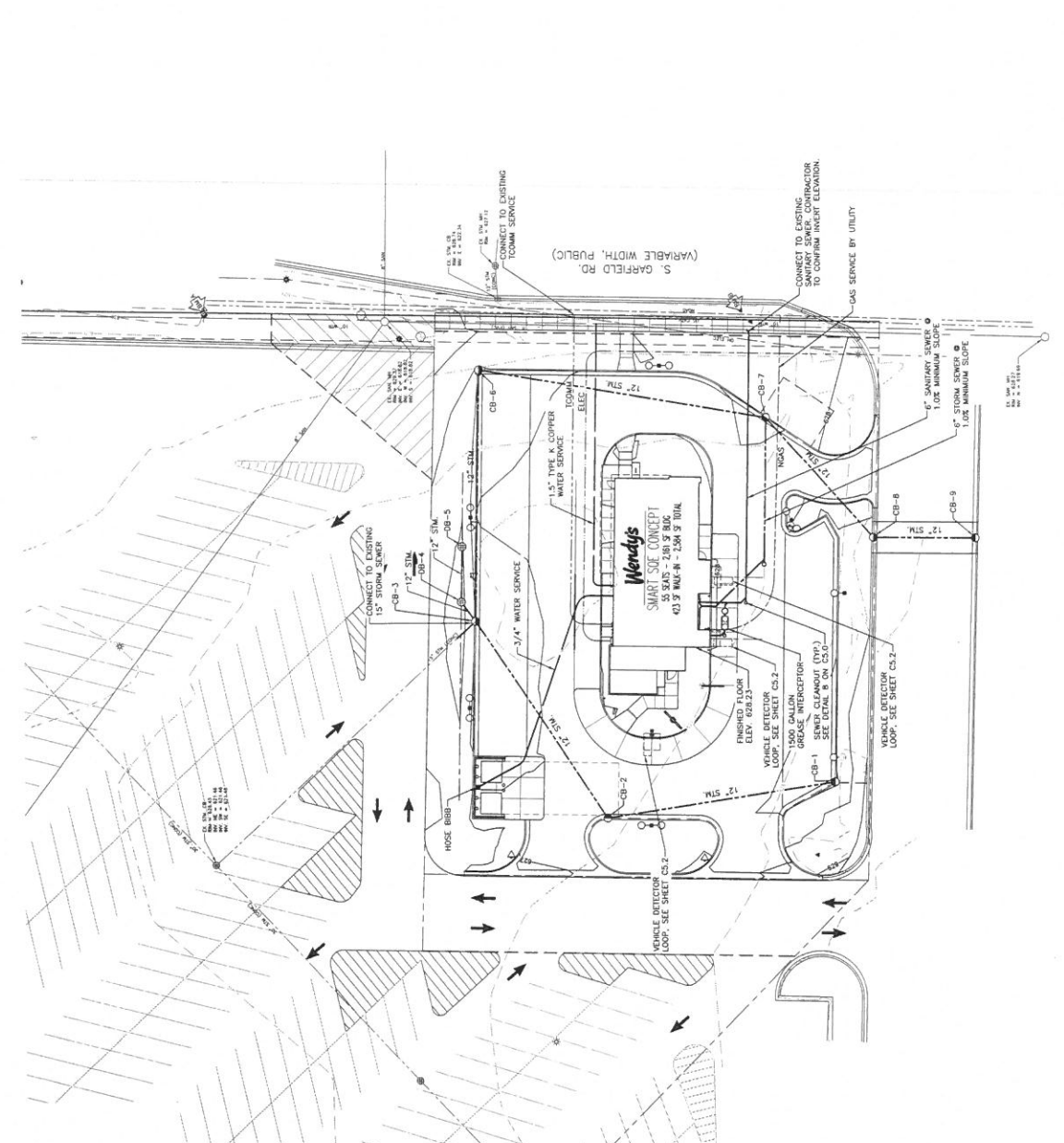
- 1. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.
- 2. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.
- 3. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.
- 4. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.
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- 9. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.
- 10. GAS COMPANY WILL VERIFY THE SERVICE LINES TO THE METER.

WATER MAIN NOTES

- 1. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 2. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 3. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 4. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 5. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
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- 8. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 9. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.
- 10. INSTALL WATER MAIN WITH A MINIMUM OF 5.5 FEET OF COVER.

STORM SEWER NOTES

- 1. INSTALL UNDERDRAIN AT ALL CATCH BASINS AND CURB STOP & BOXES.
- 2. INSTALL UNDERDRAIN AT ALL CATCH BASINS AND CURB STOP & BOXES.
- 3. INSTALL UNDERDRAIN AT ALL CATCH BASINS AND CURB STOP & BOXES.
- 4. INSTALL UNDERDRAIN AT ALL CATCH BASINS AND CURB STOP & BOXES.
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- 10. INSTALL UNDERDRAIN AT ALL CATCH BASINS AND CURB STOP & BOXES.

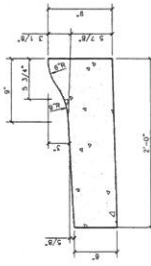


STORM WATER BASIS OF DESIGN

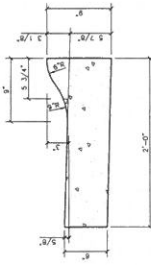
STORM WATER CONTROL SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING PROCEDURES AND DESIGN CRITERIA FOR STORM WATER MANAGEMENT:
 EXISTING IMPERVIOUS AREA: 31.24% SFI.
 PROPOSED IMPERVIOUS AREA: 24.307% SFI.
 DECREASE IN IMPERVIOUS AREA: 7.937% SFI.
 STORM WATER DRAINAGE WILL BE PROVIDED IN A REGIONAL STORM POND THROUGH DRAINAGE.

STRUCTURE	RIM	SIZE	INVERT ELEVATION	CASTING
CB-1	628.03	48"	12" x 12"	EMF 7085
CB-2	627.27	48"	12" x 12"	EMF 7085
CB-3	626.41	72"	12" x 12"	EMF 7045
CB-4	626.44	48"	12" x 12"	EMF 7045
CB-5	626.72	48"	12" x 12"	EMF 7085
CB-6	627.35	48"	12" x 12"	EMF 7045
CB-7	626.41	72"	12" x 12"	EMF 7045
CB-8	626.41	72"	12" x 12"	EMF 7045
CB-9	626.41	72"	12" x 12"	EMF 7045
MH-1	626.41	36"	12" x 12"	MANUFACTURE
MH-2	626.41	36"	12" x 12"	MANUFACTURE
MH-3	626.41	36"	12" x 12"	MANUFACTURE
MH-4	626.41	36"	12" x 12"	MANUFACTURE
MH-5	626.41	36"	12" x 12"	MANUFACTURE

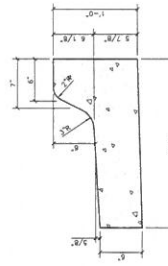
UTILITY PLAN
 SCALE: 1" = 10'
 NORTH



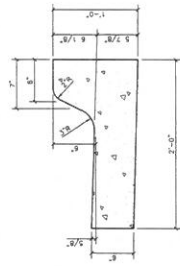
4 INVERTED ROLLED CURB & GUTTER
NO SCALE



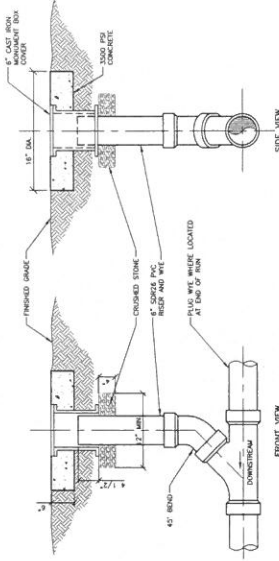
3 STANDARD ROLLED CURB & GUTTER
NO SCALE



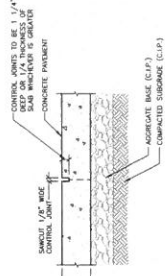
2 INVERTED BARRIER CURB & GUTTER
NO SCALE



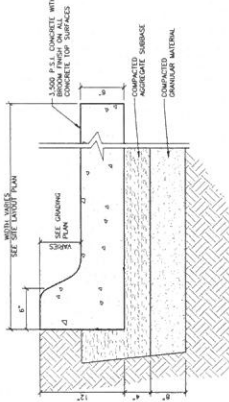
1 STANDARD BARRIER CURB & GUTTER
NO SCALE



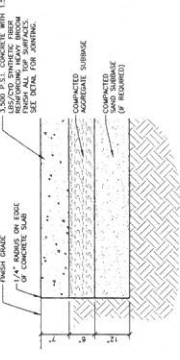
8 SEWER CLEANOUT DETAIL
NO SCALE



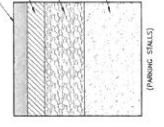
7 CONCRETE CONTROL JOINT
NO SCALE



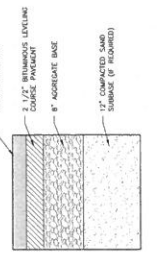
6 INTEGRAL CURB & GUTTER WITH DRIVE-THRU CONCRETE PAD
NO SCALE



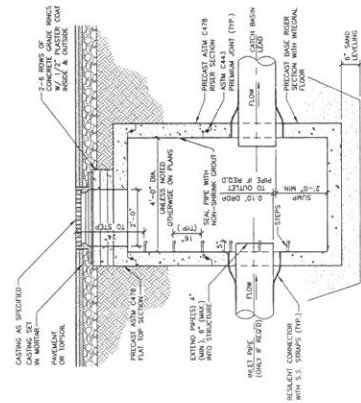
5 CONCRETE PAVEMENT DETAIL
NO SCALE



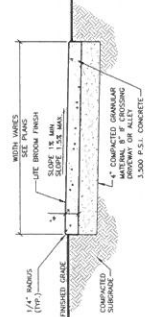
15 STANDARD DUTY ASPHALT PAVEMENT SECTION
NO SCALE



16 HEAVY DUTY ASPHALT AND PAVEMENT PATCHING PAVEMENT SECTION
NO SCALE



14 STANDARD CATCH BASIN
NO SCALE

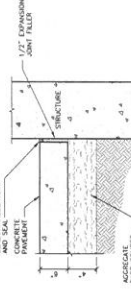


13 SIDEWALK DETAIL
NO SCALE

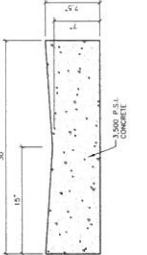
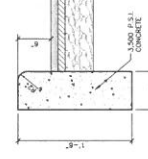


12 CROSSWALK DETAIL
NO SCALE

9 CONCRETE EDGE AT BUILDING
NO SCALE

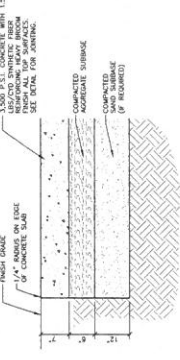


11 STANDARD STRAIGHT CURB
NO SCALE

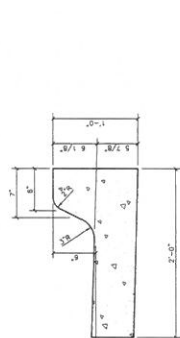


10 GUTTER PAN DETAIL
NO SCALE

5 CONCRETE PAVEMENT DETAIL
NO SCALE



5 CONCRETE PAVEMENT DETAIL
NO SCALE



5 CONCRETE PAVEMENT DETAIL
NO SCALE

1800 S GARFIELD ROAD
TRAVERSE CITY, MI 49686

Wendy's

PROJECT TYPE: NEW BUILD

PROJECT NUMBER: 2020

DATE: 08/19/2019

SCALE: 1/8\"/>

1800 S GARFIELD ROAD
TRAVERSE CITY, MI 49686

fishbeck

ENGINEERS ARCHITECTS SCIENTISTS CONTRACTORS

1800-421-7171

PROJECT TYPE: NEW BUILD

PROJECT NUMBER: 2020

DATE: 08/19/2019

SCALE: 1/8\"/>

SITE NUMBER	0000
BASE MTL.	SMART 55 - SQUARE 2017
ASSET TYPE	FRANCHISE
CLASSIFICATION	NEW
OWNER	MERITAGE HOSPITALITY
BASE VERSION	2018
UPGRADE CLASSIFICATION	
PROJECT YEAR	NOV 2018
FURNITURE PACKAGE	2018 V2
DESIGN BULLETINS	SPRING 2020

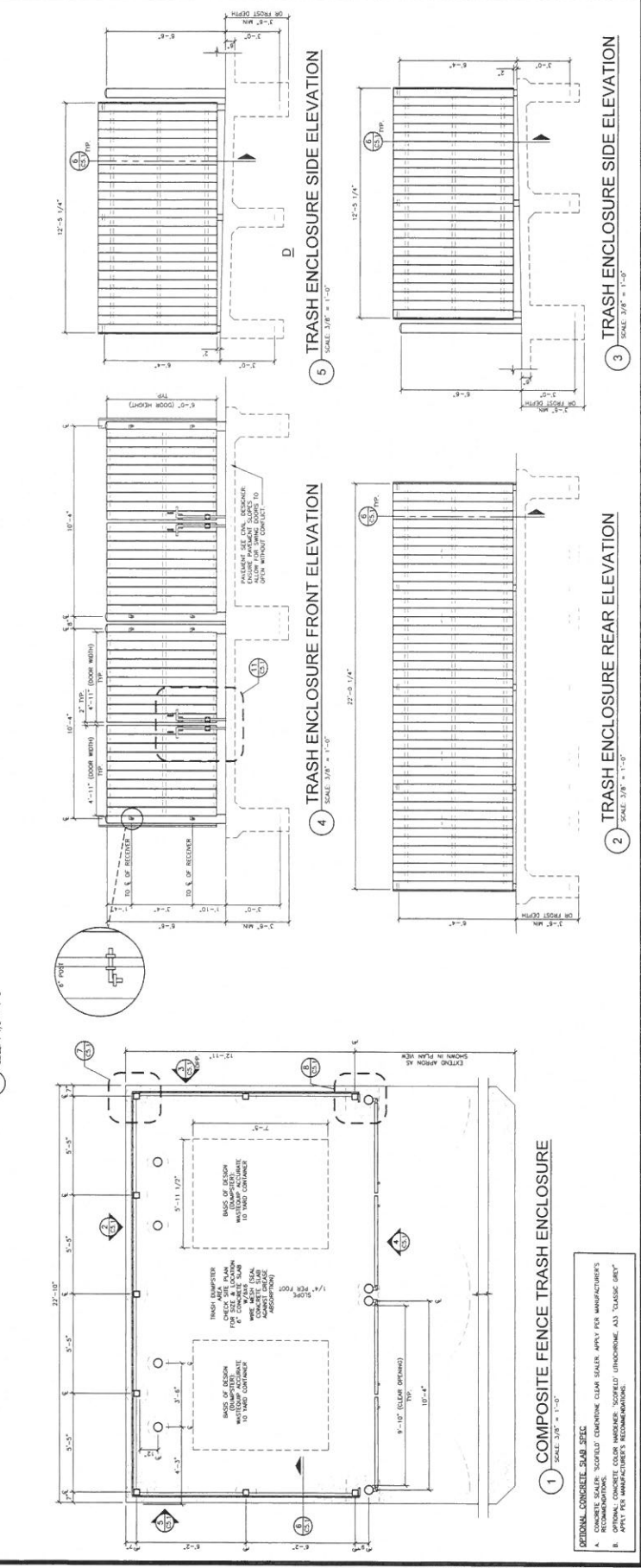
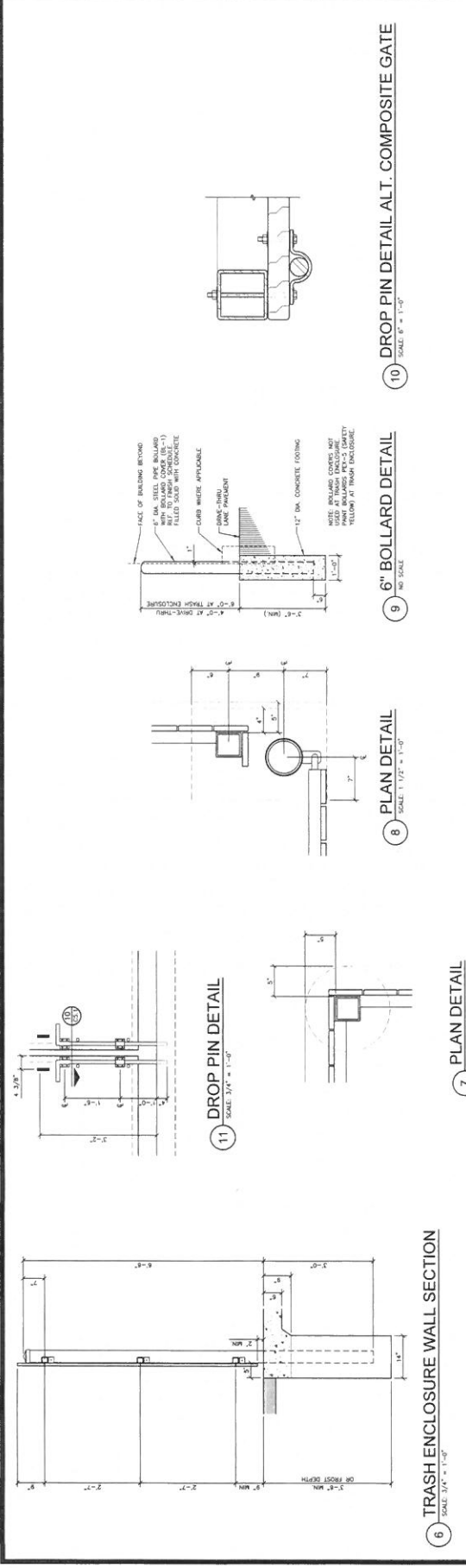
fishbeck
 Engineers | Architects | Scientists | Constructors

ON MARCHING
 1800 S GARFIELD ROAD
 TRAVERSE CITY, MI 49686
 TEL: 616.271.1800
 FAX: 616.271.1801
 WWW.FISHBECK.COM

PROJECT TYPE: **NEW BUILD**
 SHEET NO: **001000** SITE PLAN REVIEW
 DATE: 04/19/20

PREMANN DESIGN
 ARCHITECTS
 1800 S GARFIELD ROAD
 TRAVERSE CITY, MI 49686
 TEL: 616.271.1800
 FAX: 616.271.1801
 WWW.PREMANNDESIGN.COM

C5.1



OPTIONAL CONCRETE SLAB SPEC
 ALL CONCRETE SHALL BE "SCORFED" CONCRETE. CLEAR SLABS APPLY FOR MANUFACTURER'S RECOMMENDATIONS.
 A. OPTIONAL CONCRETE COLOR: "MIDNIGHT" (UNIFORM) AS3 "CLASSIC GREY"
 B. APPLY FOR MANUFACTURER'S RECOMMENDATIONS.

SITE NUMBER:	00000
BASE MDL:	SMART 85 SQUARE 2017
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	NEW
OWNER:	HERITAGE HOSPITALITY
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2020
FURNITURE PACKAGE:	2018 V3
REGION BULLETIN:	SPRING 2020



PROJECT TYPE: NEW BUILD

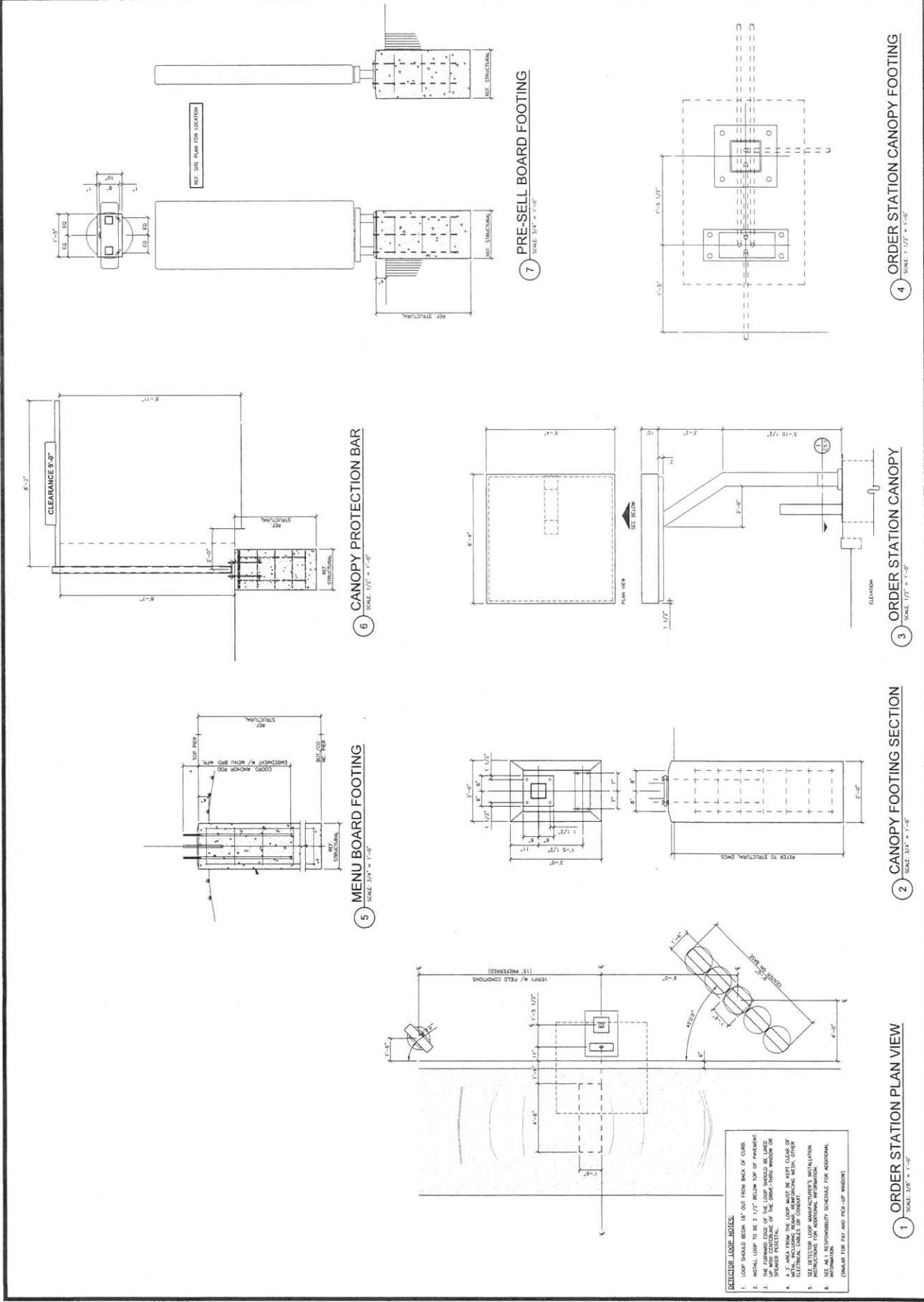
Wendy's
1800 S GARFIELD ROAD
TRAVERSE CITY, MI 49688

REV:	DATE:	DESCRIPTION:
1	04/10/20	SITE PLAN REVIEW

PERMANENT DESIGN FOR CONSTRUCTION

DRIVE THRU ORDER STATION DETAILS


C5.2



- DETAILER LAZE NOTES:**
1. LOOP SHOULD BEGIN 1' OUT FROM BACK OF CURB.
 2. INSTALL LOOP TO BE 2 1/2\"/>

1. ORDER STATION PLAN VIEW SCALE: 3/8" = 1'-0"
2. CANOPY FOOTING SECTION SCALE: 3/4" = 1'-0"
3. ORDER STATION CANOPY SCALE: 1/2" = 1'-0"
4. ORDER STATION CANOPY FOOTING SCALE: 1/2" = 1'-0"
5. MENU BOARD FOOTING SCALE: 3/4" = 1'-0"
6. CANOPY PROTECTION BAR SCALE: 1/2" = 1'-0"
7. PRE-SELL BOARD FOOTING SCALE: 3/4" = 1'-0"

SITE NUMBER:	00000
BASE MTL. SMART 85 SQUARE 2017	
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	NEW
OWNER:	MERIVALE HOSPITALITY
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	
PROJECT YEAR:	2020
FURNITURE PACKAGE:	2018 V1
DESIGN BULLETINS:	SPRINGS 2020



Fishbeck
Engineers | Architects | Scientists | Contractors

SEALED
FOR THE ARCHITECT'S USE ONLY
DATE: 1/30/2020
BY: [Signature]

PROJECT TYPE: NEW BUILD

Wendy's
1800 S. GARFIELD ROAD
TRAVERSE CITY, MI 49686

NO. DATE DESCRIPTION

06/19/20	SITE PLAN REVIEW
----------	------------------

DATE: 06/19/20

PROJECT NUMBER: 202012

DESIGNER: CWS

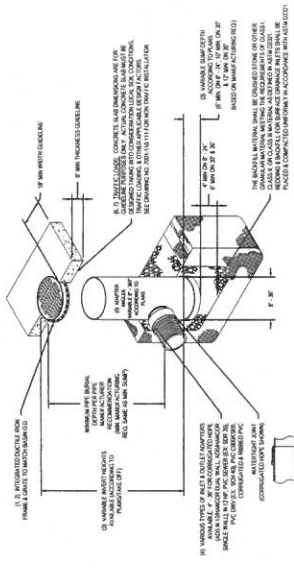
DATE: 06/19/20

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

PROJECT: WENDY'S
SITE DETAILS

C5.4

NYLON-PLAST DRAIN BASIN WITH STANDARD GRATE



1. SEE NOTES
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100. SEE NOTES

1 DRAIN BASIN
NO SCALE

SITE NUMBER: 00000
 BASEL M/L: SMART 95 SQUARE 2017
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: NEW
 OWNER: MERITAGE HOSPITALITY
 BASE VERSION: 2018
 UPGRADE CLASSIFICATION:
 PROJECT YEAR: 2020
 LUMINAIRE PACKAGE: 2020 V2
 DESIGN BULLET TIME: SPINNO 2020
 NEW BUILD



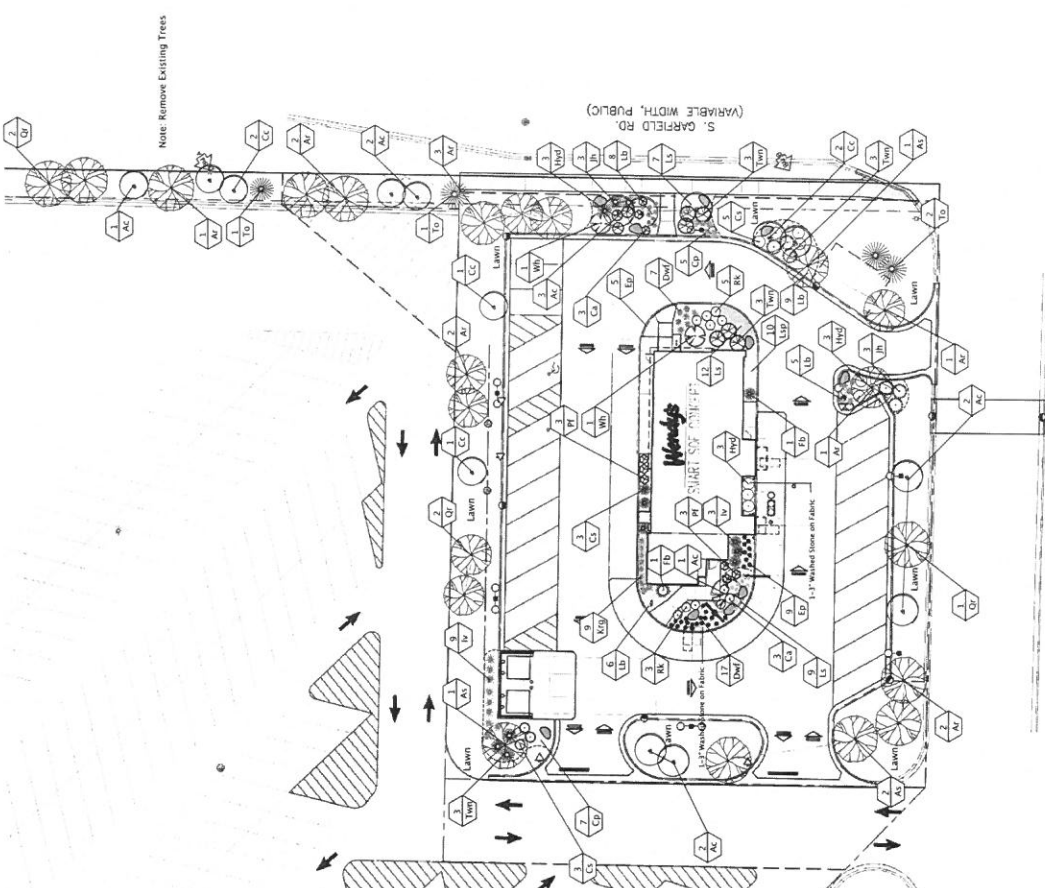
PROJECT TYPE: 2020
 NEW BUILD
 1800 S. GARFIELD RD
 TRAVERSE CITY, MI 49686



DATE: 04/30/20
 SHEET: SITE PLAN REVIEW
 PROJECT NUMBER: 202003
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION
 LANDSCAPING PLAN

L1.0
 SCALE: 1" = 20'
 NORTH



Note Remove Existing Trees

TREES

AC SHADLOW SERVICEBERRY AMELANCHIER ARDREA 6-8' CLP.
 AR RED MAPLE ARMSTRONG ACER RUBRUM ARMSTRONG 7-2.5' CAL.
 AS SUGAR MAPLE ACER SACCHARUM 2-2.5' CAL.
 CC EASTERN REDBUD CERCIS CANADENSIS 6-8' CLUMP
 QR RED OAK QUERCUS RUBRA 7-2.5' CAL.
 TO NORTHERN WHITE CEDAR THUJA OCCIDENTALIS 6' HT.

SIZE	PERENNIALS
18-24" 50"C.	SIRIUS & PERENNIALS
18-24" 50"C.	CS RED OSHOR DOGWOOD CORNUS SERICEA 15'
18-24" 50"C.	FI FINE LINE BUCKTHORN RHAMNUS FRANGULA FINE LINE
18-24" 50"C.	WH COMMON WITCH-HAZEL HAMAMELIS VIRGINIANA
18-24" 50"C.	ES TUCKER ELLIOTT WYOMING WINTERBERRY PUNICATA 1MELIGHT
18-24" 50"C.	IV FLEX VERTICILLATA WHITEBERRY HOLLY
18-24" 50"C.	WIN DIABLO NINEBARK PHYSCOCARPUS OPULIFOLIUS
18-24" 50"C.	RIC KNOCKOUT ROSES PRNK AMERICANS
18" 40"C.	PF GOLDROSE SIRUBBY CINQUEFOIL POTENTILLA FRUITICOSA
18" 40"C.	DWF DWARF FOUNTAIN GRASS PENNISTETUM ALPHECROIDES HAMELEN
18" 38"O.C.	CP PENNSYLVANIA SEDGE CAREX PENNSYLVANICA
18" 38"O.C.	LSB LITTLE BLUESTEM SCHIZACHYRIUM SCOPARIUM
18" 38"O.C.	LSP LITTLE SPIRE RUSSIAN SAGE PEROVSKIA ATRIPPLICIFOLIA LITTLE SPIRE
18" 38"O.C.	EP PURPLE CORNFLOWER ECHINACA PURPUREA

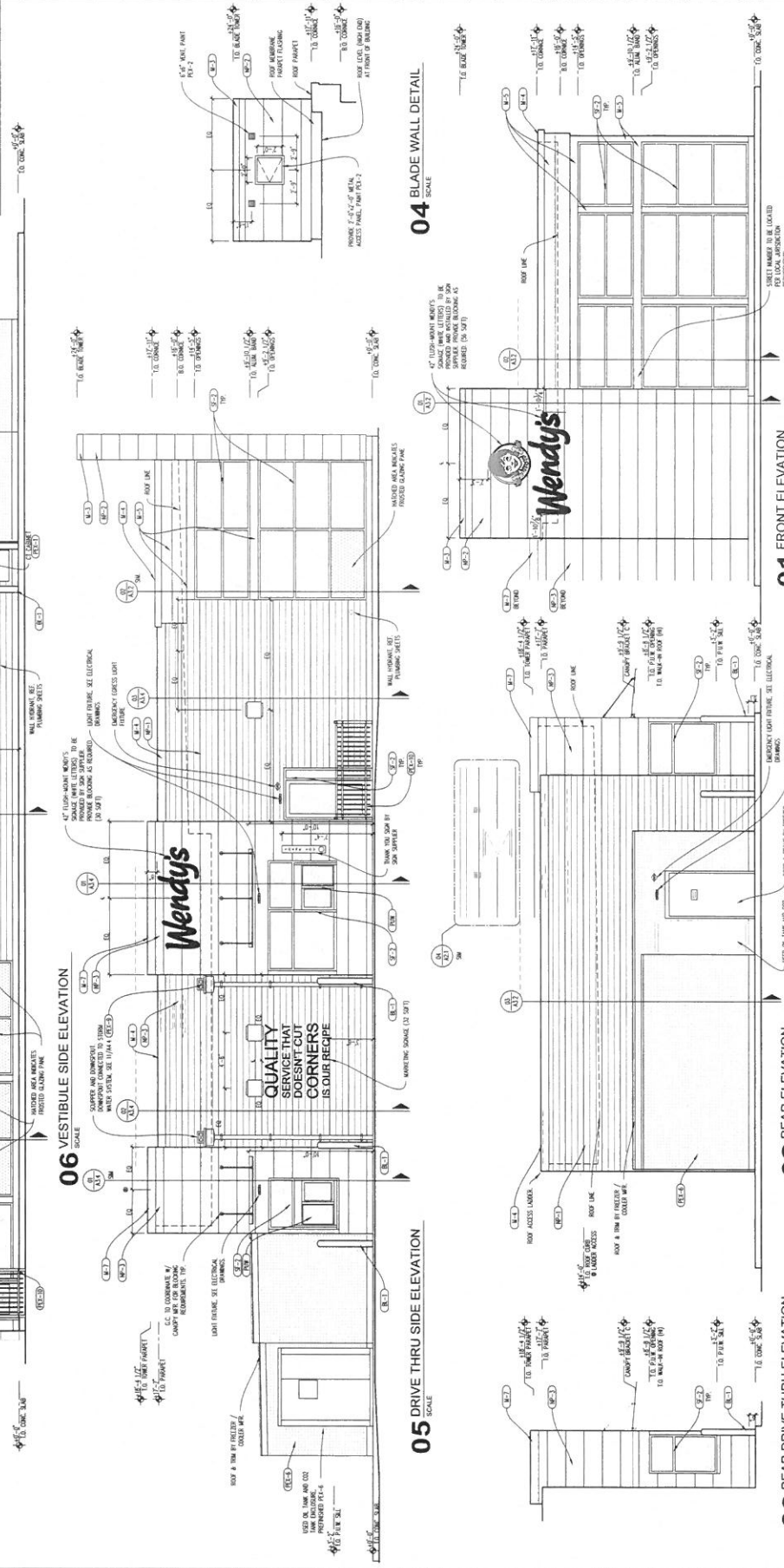
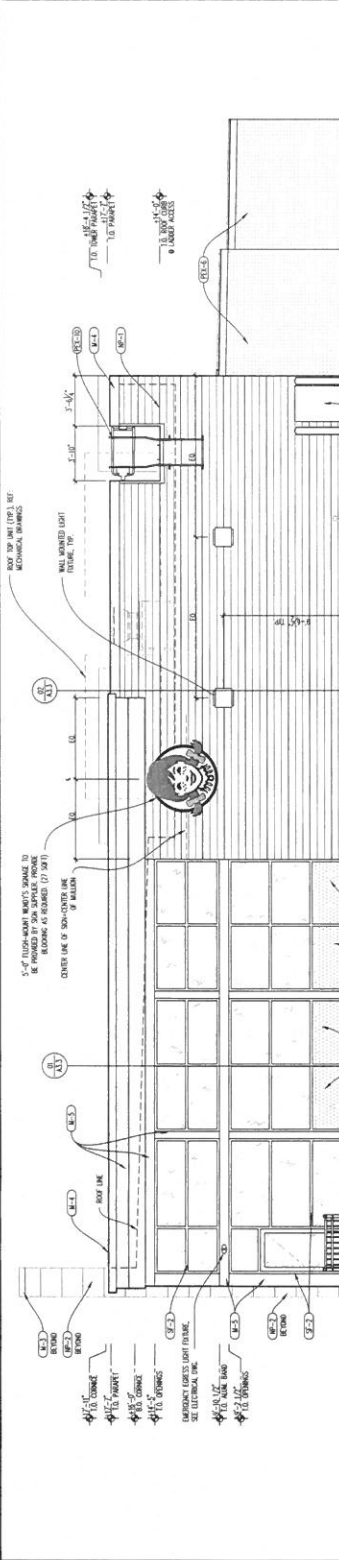
SITE NOTES:

- ALL AREAS NOTED TO BE STONE
- ALL AREAS NOTED TO RECEIVE 2" X 4" ALUMINUM LEDGING
- ALL DISTURBED AREAS SHALL BE INTERSEEDED WITH GRASSY MIX GRASS A LAWN MIX
- AWARDED CONTRACTOR TO PROVIDE A COMPLETE DESIGN/BUILD IRRIGATION SYSTEM
- AWARDED CONTRACTOR TO PROVIDE A COMPLETE DESIGN/BUILD IRRIGATION SYSTEM
- WITH 1/2" TOPSOIL (1/2" SAND) 1/2" COMPOSTED PANTING MIX




EXTERIOR FINISHES LEGEND

FINISH	DESCRIPTION
001	PICK UP WINDOWS TO MATCH STOREFRONT
002	EXTERIOR WALL PANEL - "SMART 55"
003	EXTERIOR WALL PANEL - "SMART 55"
004	EXTERIOR WALL PANEL - "SMART 55"
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01 FRONT ELEVATION SCALE
 02 REAR ELEVATION SCALE
 03 REAR DRIVE THRU ELEVATION SCALE
 04 BLADE WALL DETAIL SCALE
 05 DRIVE THRU SIDE ELEVATION SCALE
 06 VESTIBULE SIDE ELEVATION SCALE
 06 VESTIBULE SIDE ELEVATION SCALE

 Charter Township of Garfield Planning Department Report No. 2020-104			
Prepared:	July 1, 2020	Pages:	2
Meeting:	July 8, 2020	Attachments:	<input checked="" type="checkbox"/>
Subject:	Property Maintenance Ordinance Proposed Amendment		

BACKGROUND:

Planning Department and Zoning Department staff has reviewed Township Ordinance No. 55 – Property Maintenance Ordinance and recommends the following revisions to the Ordinance since its adoption in 2009. The revisions include updated reference to the International Property Maintenance Code, requirements for sidewalk maintenance, and an amendment that would allow the Township to accept inspection reports of multi-family housing units from other governmental agencies.

The full Property Maintenance Ordinance with proposed changes shown is included as an attachment to this report as highlighted with underlined and crossed-out text.

PROPOSED REVISIONS:

The proposed amendment to the Property Maintenance Ordinance includes the following revisions:

Section 1. Adoption

The International Property Maintenance Code (IPMC) is a model code that regulates the minimum maintenance requirements for existing buildings. The IPMC is a maintenance document intended to establish minimum maintenance standards for basic equipment, light, ventilation, heating, sanitation and fire safety. The Ordinance currently references the 2006 International Property Maintenance Code. The proposed amendment would reference the 2015 International Property Maintenance Code.

Section 2. Amendments to the International Property Maintenance Code

Section 2 of the Property Maintenance Code amends certain sections of the 2015 International Property Maintenance Code to address issues specific to Garfield Township. Revisions to Section 2 are as follows:

1. Subsection (i) would amend IMPC Section 302.3, entitled “Sidewalks and driveways” by adding maintenance standards for sidewalks used by the public that are located on or along public road rights-of-way. Section 302.3 currently applies general maintenance requirements for all sidewalks, driveways, parking spaces, and similar areas. The proposed amendment to this Section is intended to apply more specific standards for sidewalks and to place responsibility for maintenance on adjacent property owners.
2. Subsection (j) would amend IPMC Section 302.4, entitled “Weeds” by adding provisions allowing the Township to apply a tax assessment to a property if the Township enters a property in violation of Section 302.3 to cut or destroy weeds, as defined in Section 302.4. Further amendments would require mowing a 2-foot strip on either side of sidewalks on properties 2 acres or greater.

Section 8. Inspections of All Rental Units

Section 8 would be amended by adding Subsection (d), entitled “Inspections by Other Agencies”. This amendment is in response to passage of Michigan Public Act 14 of 2016, entitled the “Housing Law of Michigan.” In accordance with this act, the proposed amendment would allow the

Township to accept inspection reports of multi-family housing units from other governmental agencies such as the U.S. Department of Housing and Urban Development in lieu of Township inspections. Some state and federally subsidized multi-family developments in the Township are already inspected by other agencies and would qualify under this amendment.

PROCESS TIMELINE:

The Property Maintenance Ordinance is Ordinance No. 55 in the Charter Township of Garfield Ordinances. Amending the Property Maintenance Ordinance will consist of the following steps following Commission discussion about the proposed amendment:

- Planning Commission recommendation to the Township Board
- Township Board introduction and set public hearing
- Township Board public hearing and action/resolution on proposed amendment

ACTION REQUESTED:

The purpose of bringing this item before the Planning Commission is to discuss the proposed amendment. Following discussion, if the Planning Commission is comfortable with the proposed amendment, then the following motion is suggested:

MOTION TO RECOMMEND to the Township Board THAT Garfield Township Ordinance No. 55 BE AMENDED to include the revisions as described in Planning Department Report No. 2020-104.

Any additional information the Commission feels is necessary should be added to this motion.

Attachments:

1. Proposed amendments to Ordinance No. 55 – Property Maintenance Ordinance (with track changes)
2. Public Act 14 of 2016, entitled the “Housing Law of Michigan” (with relevant section highlighted)

**ORDINANCE FOR ADOPTION OF THE INTERNATIONAL
PROPERTY MAINTENANCE CODE
ORDINANCE NO. 55**

THE CHARTER TOWNSHIP OF GARFIELD ORDAINS:

PART I

**Adoption of International Property Maintenance
Code by Reference with Amendments and General Definitions**

Section 1. Adoption.

A certain document, on file in the Building Department of the Charter Township of Garfield, being marked and designated as the International Property Maintenance Code, ~~2006-2015~~ Edition ("IPMC"), as published by the International Code Council, Inc., is hereby adopted as the Property Maintenance Code of the Charter Township of Garfield, in the State of Michigan by reference pursuant to MCL 42.23; for the control of buildings and structures as herein provided; and each and all of the regulations, provisions, penalties, conditions and terms of said Property Maintenance Code are hereby referred to, adopted, and made a part hereof by reference, as if fully set out in this ordinance, with the additions, insertions, deletions, amendments and augmentations prescribed in this ordinance.

Section 2. Amendments to International Property Maintenance Code

The IPMC is hereby amended as set forth in this Section 2:

- a. Throughout the IPMC, replace the terms International Zoning Code, International Building Code, International Plumbing Code, International Mechanical Code and ICC Electrical Code with Charter Township of Garfield Zoning Ordinance, Michigan Building Code, Michigan Residential Code, Michigan Rehabilitation Code for Existing Buildings, Michigan Plumbing Code, Michigan Electrical Code, and Michigan Mechanical Code.
- b. Insert within Section 101.1 Title the following: "Charter Township of Garfield."
- c. Section 101.2 is amended to read as follows:

101.2 Scope. The provisions of this code shall apply to all existing residential and nonresidential structures and all existing premises (except for state, federal, school, and other public structures, and other licensed structures such as nursing homes, hospitals, adult foster care facilities, which may be exempt from, or preempted from the application of this code) and constitute minimum requirements and standards for premises, structures, equipment and facilities for light, ventilation, space, heating, sanitation, protection from the elements, life safety, safety from fire and other hazards, and for safe and sanitary maintenance; the

responsibility of owners, operators and occupants; the occupancy of existing structures and premises, and for administration, enforcement and penalties.

d. Section 103.5 of the IPMC shall be amended to read as follows:

103.5 Fees. Any fees for services and activities associated with enforcement of this article shall be established by resolution of the Garfield Township Board.

e. Section 106.3 of the IPMC shall be amended to read as follows:

106.3 Violation as a Municipal Civil Infraction. Any person failing to comply with a notice of violation or order served in accordance with Section 107 of the IPMC shall be deemed to be responsible for a municipal civil infraction as defined by Michigan Statute which shall be punishable by a civil fine for each violation in accordance with the schedule set forth herein, along with costs which may include all expenses, direct and indirect, to which the Charter Township of Garfield has been put in connection with the municipal infraction. In no case, however, shall costs of less than Ten Dollars (\$10.00) or more than Five Hundred Dollars (\$500.00) be ordered. A violator of this code shall also be subject to such additional sanctions and judicial orders as are authorized under Michigan law. Each day that a violation continues to exist shall constitute a separate violation. The provision of this code may also be enforced by suit for injunctive relief.

Civil Fines for Municipal Infractions

Unless otherwise provided elsewhere within this Ordinance for specific violations, Civil Fines for municipal civil infractions shall be assessed in accordance with the following schedule.

	<u>Fine</u>
1 st violation within 3-year period*	\$ 50.00
2 nd violation within 3-year period*	\$ 125.00
3 rd violation within 3-year period*	\$ 250.00
4 th or subsequent violation within 3-year period*	\$ 400.00

*determined on the basis of the date of violation(s)

f. Section 106.4 of the IPMC shall be deleted in its entirety.

g. Section 111 of the IPMC shall be deleted in its entirety

h. Section 302.2 of the IPMC shall be deleted in its entirety.

i. Section 302.3 of the IPMC shall be amended to read as follows:

302.3 Sidewalks and driveways. Sidewalks, walkways, stairs, driveways, parking spaces, and similar areas shall be kept in a proper state of repair and maintained free of hazardous conditions.

302.3.1 Responsibilities of Sidewalk Repair; Conditions Requiring Replacement.

- A. The owners of all lots and premises within the Township are required to maintain, repair, and keep safe sidewalks adjacent to or upon their lots and premises in or along the public street rights-of-way in the Township.
- B. It shall be the duty of all owners of premises within the limits of the Township to keep all cement, asphalt and concrete walks, and sidewalks that have been laid in front of, upon or adjacent to such premises in or along any of the street rights-of-way in good repair and free of dangerous ice, snow or other dangerous obstructions and/or conditions. Any owner of any such premises who shall allow any such sidewalk to remain in disrepair or in a dangerous condition shall be responsible and liable for injuries and damages arising out of the disrepair or unsafe condition of the sidewalk. Such owner shall further indemnify and reimburse the Township for all liability, costs, and expenses the Township might incur as a result of any such defective or dangerous sidewalk.
- C. The provisions of this section shall not apply to those walks, pathways or greenways designated by the Township as exempt from this section.

302.3.2 Owner Caused Sidewalk Defects. Where sidewalk defects creating pedestrian hazards are caused by conditions existing upon an abutting property, such as, but not limited to, trees or other growth, surface drainage, on-site construction or vehicular traffic, or other on-site activities, the abutting property owner shall be responsible for its repair, maintenance and/or safe condition, and liable for all consequential injuries, damages, expenses or costs resulting from the condition and lack of repair or maintenance and unsafe condition. Such liability shall include full indemnification of the Township for any damages, costs or expenses resulting from such owner defaults as well as liability to others. The foregoing liability and responsibility shall apply without notice or hearing.

302.3.3 Sidewalk Snow and Ice Removal.

- A. Within 24 hours after the end of each accumulation of snow greater than one inch, the owner or occupant of every property shall remove the accumulation from the adjacent public sidewalk and walks and ramps leading to a crosswalk. The accumulation may be from any source, including precipitation and drifting. Furthermore, the removal of snow and ice shall be further defined as being free of snow and ice for the entire constructed width and length of the sidewalk, including walks and ramps leading to a crosswalk.
- B. If the owner or occupant fails to remove snow or ice within 24 hours of a notice of violation having been served by attaching to the door, mailing by first class mail, or personal service, the Township may cause such snow or

ice to be removed at the expense of the property owner. The owner of record shall then be charged the actual cost of the sidewalk clearance (time and material). All charges which remain unpaid as of October 1 of the current year shall become a lien against the subject property and may be added to the tax rolls for the property. Liens shall be reported not later than November 1 to the Township Treasurer for inclusion on the December 1 property tax statements. One notice of violation per parcel per season shall be deemed adequate notice for the entire snow and ice removal season.

ij. Section 302.4 of the IPMC shall be amended to read as follows:

302.4 Weeds. All premises and exterior property, less than two (2) acres, shall be maintained free from weeds or plant growth ~~in excess of~~ more than 10 Inches. Weeds and plant growth shall be defined as all grasses, annual ~~plants~~ plants, and vegetation, other than trees, shrubs, cultivated flowers and gardens. For properties two (2) acres or greater, a strip of land two (2) feet wide on either side of any sidewalk subject to the provisions in Section 302.3.1 of this Ordinance must also be maintained free from weeds or plant growth more than 10 inches.

~~Upon failure of the owner or agent having charge of a property to cut and destroy weeds after service of a notice of violation, they shall be subject to prosecution in accordance with Section 106.3 and as prescribed by the authority having jurisdiction. Upon failure to comply with the notice of violation, a duly authorized employee of the jurisdiction or contractor hired by the jurisdiction shall be authorized to enter upon the property in violation and cut and destroy the weeds growing thereon, and the costs of such removal shall be paid by the owner or agent responsible for the property. If any property owner shall fail to comply with the provisions of this Ordinance within the time specified, the Township may, at its option, cause all violations to be cut or destroyed upon the parcel, and the cost thereof, including the cleanup of trash and/or debris necessary to prevent damage to lawn equipment, resulting damages to lawn equipment resulting in mowing debris that remains on the lot, and a \$50 administrative fee, shall be assessed against the property as a special assessment and shall be collected in the same manner as ad valorem property taxes. Liens shall be reported not later than November 1 to the Township Treasurer for inclusion on the December 1 property tax statements.~~

jk. Section 304.3 shall be amended to read as follows:

304.3. Premises Identification. Buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be

a minimum of 3 inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm).

kl. Section 304.14 shall be amended to read as follows:

304.14. Screen. Every door, window and other outside opening required for ventilation of habitable rooms, food preparation areas, food service areas or any areas where products to be included or utilized in food for human consumption are processed, manufactured, packaged or stored shall be supplied with approved tightly fitting screens of not less than 16 mesh per inch (16 mesh per 25 mm), and every screen door used for insect control shall have a self-closing device in good working condition.

Exception: Screens shall not be required where other approved means, such as air curtains or insect repellent fans, are employed.

jm. The first paragraph of Section 602.3 shall be amended to read as follows:

602.3. Heat Supply. Every owner and operator of any building who rents, leases or lets one or more dwelling units or sleeping units on terms, either expressed or implied, to furnish heat to the occupants thereof shall supply heat to maintain a temperature of not less than 60°F (20°C) in all habitable rooms, bathrooms, and toilet rooms.

The "**Exceptions**" paragraphs, 1 and 2, shall remain the same.

Section 3. Definitions

For purposes of this ordinance, certain terms, phrases, words, and their derivatives shall be construed as specified in this section. If not specified in this section, or elsewhere in the Charter Township of Garfield Ordinances, the term shall have its ordinary accepted meaning within the context used.

- a. **Authorized Township Official or ("ATO")**: refers to the Charter Township of Garfield Building Official and Building Inspectors, Code Enforcement Officer, Zoning Administrator and Grand Traverse County Sheriff Deputies.
- b. **Code**: means any code or ordinance adopted by Garfield Charter Township.
- c. **Common Area**: is the area in a rental dwelling or rental complex not within a tenant's private rental unit. It may include, but is not limited to, hallways, basement areas, common exterior stairways, balconies, and spaces which contain mechanical, electrical, or plumbing equipment.
- d. **Multi-Family Rental Dwelling or ("MFD")**: is any building containing more than 4 (four) rental dwellings.

- e. **Owner**: means any individual holding legal or equitable title to a property or to real improvements upon a property solely, jointly, by the entireties, in common, or as a land contract vendee or title to a mobile home or house trailer. Owner shall also mean any individual, association of individuals, a public, private, or not for profit corporation, a firm or partnership. Owner shall not mean a tenant.
- f. **Owner Occupied Dwelling**: means a dwelling which a person both owns as an owner and lives in as his or her true, fixed and permanent home to which, whenever absent, the person intends to return.
- g. **Rental Complex**: is a group of rental dwellings.
- h. **Rental Dwelling**: is any dwelling containing a rental unit, a rooming unit, or hotel/motel unit, including single-family homes and mobile homes occupied by a tenant or tenants for residential living purposes.
- i. **Rental Property**: refers generally to all rental complexes, rental dwellings and rental units.
- j. **Rental Unit**: is a particular living quarters within a rental dwelling intended for occupancy by a tenant or person other than the owner and the family of the owner, including mobile homes, single-family homes, apartments, hotel/motel units, rooming units, and for which a remuneration or consideration of any kind is paid.
- k. **Tenant**: is a person residing in a rental property who is not an owner, as defined by this article, of the rental property, and who pays a remuneration or consideration of any kind for residing on the rental property.
- l. **Township**: Charter Township of Garfield.
- m. **Violation Notice**: is a written correspondence issued by an authorized Township official advising an owner, or his agent, of a violation of this article or a code. Violation notices shall list all infractions and corrective measures necessary to comply with this article or a code and a time period within which such corrections must be completed.

PART II

Registration and Inspection of Multi-Family Dwellings in Township, **Inspection of Rental Properties in the Township**

Section 4. Purpose.

The Charter Township of Garfield finds that the act of renting or leasing dwelling units is a

business activity. The Township also finds that dwellings or dwelling units which are leased or rented to the public, when improperly maintained, by reason of their structures, equipment, sanitation, use or occupancy, may adversely affect public health, safety and general welfare as well as the aesthetic value of surrounding property and community. To correct unsuitable conditions which exist within rental properties and to establish mechanisms for the continued maintenance of a sound rental housing stock within Garfield Charter Township, and to promote the public health, safety and general welfare of its citizens, the Township establishes these regulations which shall require the registration of rental multi-family dwelling units and provide for the enforcement of minimum rental housing standards.

The following sections augment the IPMC in protecting and promoting the health, safety and welfare of the citizens of Garfield Charter Township by requiring the registration of all multi-family rental dwelling units in the Township. This registration, combined with regular systematic inspections, will help prevent overcrowding, the incidence of communicable diseases, and will aid in the enforcement of the IPMC, which sets minimum allowable standards for adequate maintenance of habitable dwellings. These sections are not intended, nor shall be used for the purpose of including the Township in civil disputes between rental owners and tenants involving, but not limited to, non-payment of rent, evictions and/or personal disputes.

Section 5. Registration of Multi-Family Dwelling Rental Properties

(a) **Registration Required Before Rental.**

An owner of any multi-family rental dwelling ("MFD") located within the Township shall not rent any rental unit unless such rental unit is registered pursuant to this ordinance and is in compliance with all applicable federal, state, and local laws, rules, and ordinances and regulations.

(b) **Initial Registration.**

- (1) Within 90 days following the effective date of this ordinance, all owners of multi-family dwelling ("MFD") rental properties shall register with the Township building department each MFD within the boundaries of the Township.
- (2) Newly constructed MFD rental properties will be registered by the Township at the time a certificate of occupancy is issued, and then must be subsequently re-registered and inspected as required by Section 8.

(c) **Registration Requirements.**

The registration of any MFD rental property shall require at least the following information on forms provided by the Township:

- (1) The address of the rental property with each rental unit contained therein enumerated. If the rental units are within a rental complex, the property manager's

address shall also be included.

- (2) If applicable, the number of buildings, including rental dwellings, in the rental complex.
- (3) The number of rental units per rental dwelling.
- (4) The name, address and telephone number of the registered agent or other responsible person designated by the owner, to receive official notices, legal processes, tenant concerns and correspondence from the Township.
- (5) The applicant shall sign the registration attesting to the truth and accuracy of its contents.
- (6) Payment of all applicable fees as established by resolution of the Township Board.
- (7) Changes in registration information. The owner or his/her agent shall provide written notification to the Township building department of any change in the above information.
- (8) Agreement to permit inspections. Included with the registration application shall be an agreement, signed by the owner, permitting inspections of his/her rental properties by officials or agents of the Township and affirming that all tenants of the subject properties have been informed of the regulations contained in this ordinance and of inspections of the rental properties, including common areas, by authorized Township officials. Owners shall provide, or cause to be provided, a copy of the agreement to all existing tenants, as well as tenants who enter into leases or come to reside on a rental property after the agreement takes effect. All leases executed after the effective date of this article shall contain a provision requiring the tenant(s) to consent to such inspection upon notice as provided in Section 8.
- (9) Additional requirements. An authorized Township official may, with written notice, require additional information of any or all registrants in order to reasonably further the purposes of this ordinance.

Section 6. Registration, Expiration, and Re-registration.

All MFD rental properties within Garfield Charter Township shall be registered with the building department within 90 days from the adoption of this ordinance. Thereafter, all MFD rental properties shall be registered once every two years, or with change in ownership, at least 30 days before the expiration date assigned by the Township, following the same requirements set forth in Section 5.

Section 7. Transfer of MFD Rental Property Registration and Change of Status.

- (a) **Registration Transfers and Fees** A purchaser of an MFD rental property shall cause a registration to be transferred upon the sale of a MFD rental property. The new owner shall sign all appropriate agreements and affidavits for registration and shall complete a new registration application. All the above shall be provided to the Township by the new owner or the real estate closing institution within 30 days of closing the sale. There is no fee for transferring registration.
- (b) **Change of Status** If a structure previously used as an MFD rental property is no longer to be used as an MFD rental property, a statement and affidavit to this effect must be provided to the Township building department. No inspections or transfer fees shall be required.
- (c) **Existing Violations** It shall be unlawful to sell an MFD rental property having outstanding violations unless the "transfer of ownership" stipulations of the IPMC, as amended, have been satisfied.

Section 8. Inspections of All Rental Units.

- (a) **MFD Periodic Inspections** It is the intention of the Township to inspect MFD rental properties, including common areas, every two years. However, this section shall not be construed as creating a responsibility for the Township to inspect such properties.
- (b) **MFD Periodic Inspection Scheduling** The owner shall be notified of the date and time of a periodic inspection via first class mail at least 30 days prior to the inspection date. Owners shall be required to provide all notices of inspection to the tenant(s) as required by law. A list of inspection guidelines, prepared by the Township building department, shall be given to all owners at the time of rental property registration. Periodic inspections shall be conducted between the hours of 8:00 a.m. to 5:00 p.m., Monday-Friday.
- (c) **Other Rental Property Inspections.** Any rental property, including a MFD, even though not scheduled for a periodic inspection, may be inspected by an Authorized Township Official without prior notice, where there is an imminent threat to persons or property, to the owner and/or tenant. Other inspections by an ATO may occur on reasonable notice based upon the following:
 - (1) A written complaint basis from the tenant.
 - (2) A recurrent violations basis where any rental property which is found to have a high incidence of recurrent or uncorrected violations.
 - (3) A follow-up inspection, so that a previous violation is inspected for correction and compliance.

(d) **Inspections by Other Agencies.** Multiple-family buildings that are inspected by the U.S. Department of Housing and Urban Development under the real estate assessment center inspection process, or by other government agencies, shall be exempted from inspections required by this Section, upon a copy of the written inspection report being filed with the Building Department and determination by an Authorized Township Official that the filed report confirms compliance with the inspection guidelines under this article

PART III

General Provisions

Section 9. Notice of Violations.

Violations.

Upon inspection by an Authorized Township Official of any structure in the Township, rental or non-rental, if a violation of the IPMC code is discovered, the ATO shall provide notice of a violation in conformance with Section 107 of the IPMC. The owner shall be advised of the time period to correct the violation.

Section 10. Re-inspection

Re-inspections shall occur on the date specified on the violation notice, or sooner if requested by the owner and Township scheduling permits such inspection. It shall be the owner's responsibility to coordinate the access to all areas of their rental properties.

Section 11. Correction Schedules

Time schedules for the correction of violations shall be reasonable as determined by the Authorized Township Official. Correction periods exceeding 60 days require an application for extension be filed by the owner or his/her designee and approved by the authorized Township official.

Section 12. Warrants for Inspection

If access to any structure, premises or area for the purpose of inspection authorized by this section is refused, an Authorized Township Official may petition and obtain such appropriate warrant or order from a court which has jurisdiction.

Section 13. Violations that Threaten Life, Limb or Property

If upon inspection of a rental property the Authorized Township Official determines that a violation is of such serious nature so as to immediately threaten the health, safety or welfare of the public or the occupants thereof, the official shall demand that the violation(s) be corrected immediately and/or the rental property be vacated immediately in accordance with applicable IPMC provisions.

Section 14. Other Permits

Owners shall procure the appropriate building, mechanical, plumbing, and/or electrical permits from the respective departments for all corrections requiring such permits.

Section 15. Fees

- (a) Owners shall be required to pay a fee for registration and for any inspections, including re-inspections prior to the inspection or re-inspection taking place. If an owner and/or his agent fail to coordinate access to a rental property for any reason for inspection or re-inspection, the owner may be subject to no show/re-inspection fees. The Township Board shall establish by resolution an appropriate fee schedule.
- (b) All fees required must be paid at the Township office. The Authorized Township Official may not accept payment while conducting an inspection under this ordinance.
- (c) A failure to pay any fee required by this article shall constitute a violation of this ordinance.
- (d) Any unpaid fee and/or cost under this article may be collected by the Township as allowed by law.

Section 16. Appeals and Variances.

An owner may appeal an application of the IPMC to property, or request a variance, to the Township Construction Board of Appeals as provided for under Township Ordinance No. 36, as amended. Such a request for an appeal or variance must be filed within 21 days of the date a notice of violation is provided to an owner under this ordinance.

Section 17. Enforcement

This ordinance shall be enforced by the Township Building Official, Building Inspectors, Code Enforcement Officer, Zoning Administrator and Grand Traverse County Sheriff Deputies.

Section 18. Violation as a Municipal Civil Infraction

Any person failing to comply with a notice of violation or order served in accordance with Section 107 of the IPMC shall be deemed to be responsible for a municipal civil infraction as defined by Michigan Statute or otherwise in violation of any section of this ordinance which shall be punishable by a civil fine for each violation in accordance with the schedule set forth herein, along with costs which may include all expenses, direct and indirect, to which the Charter Township of Garfield has been put in connection with the municipal infraction. In no case, however, shall costs of less than Ten Dollars (\$10.00) or more than Five Hundred Dollars (\$500.00) be ordered. A violator of this code shall also be subject to such additional sanctions and judicial orders as are authorized under Michigan law. Each day that a violation continues to exist shall constitute a separate violation. The provision of this code may also be enforced by suit for injunctive relief.

Civil Fines for Municipal Infractions

Unless otherwise provided elsewhere within this Ordinance for specific violations, Civil Fines for municipal civil infractions shall be assessed in accordance with the following schedule.

	<u>Fine</u>
1 st violation within 3-year period*	\$ 50.00
2 nd violation within 3-year period*	\$ 125.00
3 rd violation within 3-year period*	\$ 250.00
4 th or subsequent violation within 3-year period*	\$ 400.00

*determined on the basis of the date of violation(s)

Section 19. Persons Authorized to Serve Citations and Notices

The following persons are authorized to issue notices of violation, and to issue municipal civil infraction citations pursuant to Public Act 12 of 1994 (MCL 600.8701, *et seq.*, as amended):

- (a) Grand Traverse County Sheriff Deputies.
- (b) Township Code Enforcement Officer.
- (c) Township Zoning Administrator.
- (d) Township Building Official.
- (e) Township Building Inspectors.

Section 20. Conflicting Ordinances.

Any other ordinances or parts of ordinances in conflict herewith are repealed.

Section 21. Severability.

If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, declared invalid, such decision shall not affect the validity of the remaining portions of this ordinance. The Garfield Township Board hereby declares that it would have passed this ordinance, and each section, subsection, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared invalid.

Section 22. Suits or Proceedings.

Nothing in this ordinance or in the Property Maintenance Code hereby adopted shall be construed to affect any suit or proceeding impending in any court, or any rights acquired, or liability incurred, or any causes of action acquired or existing, under any act or ordinance hereby repealed as cited in section 14 of this ordinance; nor shall any just or legal right or remedy of any character be lost, impaired or affected by this ordinance.

Section 23. Effective Date.

This ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect 90 days after the date of publication.

Upon roll call vote, the following voted:

YEAS: ~~Jeane Blood, Molly Agostinelli, Kay Schumacher, Kit Wilson, Chuck Korn, Bob Featherstone, Denise Schmuckal~~

NAYS: None

ABSTAIN: None

ABSENT: None

A copy of this Ordinance may be inspected at the office of the Charter Township of Garfield located at 3848 Veterans Drive, Traverse City, Michigan, between the hours of ~~8:00~~7:30 a.m. and ~~4:00~~ p.m., Monday through ~~Friday~~Thursday.

CHUCK KORN, Supervisor

~~_____~~ **KAY**

~~SCHUMACHER~~, Clerk

~~LANIE MCMANUS~~, Clerk

~~_____~~ Garfield Township

Board

~~_____~~ Introduced on: ~~April 23, 2009~~

~~_____~~ Passed on: ~~May 14, 2009~~

~~_____~~ Prepared in the law offices of:

~~_____~~ Running, Wise & Ford, P.L.C.

~~_____~~ By: ~~Thomas A. Grier,~~

~~_____~~ Township Attorneys

~~_____~~ Business Address:

~~_____~~ 326 E. State Street, P.O. Box 686

~~_____~~ Traverse City, MI 49685-0686.

2020 Amendments prepared by Township staff

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TO THE RECORD EAGLE:

Please publish on: May 19, 2009

Please send affidavit to:

~~Thomas A. Grier and~~
The Charter Township of Garfield

Please send bill to:

The Charter Township of Garfield

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*

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Received via e-mail _____

Act No. 14
Public Acts of 2016
Approved by the Governor
February 16, 2016
Filed with the Secretary of State
February 16, 2016
EFFECTIVE DATE: May 16, 2016

**STATE OF MICHIGAN
98TH LEGISLATURE
REGULAR SESSION OF 2016**

Introduced by Senator Robertson

ENROLLED SENATE BILL No. 394

AN ACT to amend 1917 PA 167, entitled "An act to promote the health, safety and welfare of the people by regulating the maintenance, alteration, health, safety, and improvement of dwellings; to define the classes of dwellings affected by the act, and to establish administrative requirements; to prescribe procedures for the maintenance, improvement, or demolition of certain commercial buildings; to establish remedies; to provide for enforcement; to provide for the demolition of certain dwellings; and to fix penalties for the violation of this act," by amending sections 1, 125, and 126 (MCL 125.401, 125.525, and 125.526), sections 1 and 126 as amended by 2008 PA 408.

The People of the State of Michigan enact:

Sec. 1. (1) This act shall be known and may be cited as the "housing law of Michigan".

(2) This act applies to each city, village, and township that, according to the last regular or special federal census, has a population of 10,000 or more. However, this act does not apply to private dwellings and 2-family dwellings in any city, village, or township having a population of less than 100,000 unless the legislative body of the local governmental unit adopts the provisions by resolution passed by a majority vote of its members.

(3) This act applies to all dwellings within the classes defined in section 2, except that a reference to 1 or more specific classes of dwellings applies only to those classes to which specific reference is made.

Sec. 125. (1) The enforcing agency may maintain a registry of owners and premises regulated by this act.

(2) If the enforcing agency maintains a registry of owners and premises, the owner of a multiple dwelling or rooming house containing units which will be offered to let, or to hire, for more than 6 months of a calendar year shall register with the enforcing agency the owner's name, the address of the owner's residence or usual place of business, and the location of the multiple dwelling or rooming house. The owner shall register within 60 days following the day on which any part of the premises is offered for occupancy.

(3) If the premises are managed or operated by an agent, the agent's name and place of business shall be entered with the name of the owner in the registry under subsection (2).

Sec. 126. (1) A local governmental unit is not required to inspect a multiple dwelling or rooming house unless the local governmental unit receives a complaint from a lessee of a violation of this act.

(2) Subject to subsection (1), the enforcing agency shall inspect multiple dwellings and rooming houses regulated by this act in accordance with this act.

(3) Subject to subsection (1) and except as provided in subsection (4), the period between inspections of a multiple dwelling or rooming house shall not be longer than 4 years. All other dwellings regulated by this act may be inspected at reasonable intervals. Inspections of multiple dwellings or rooming houses conducted by the United States Department of Housing and Urban Development under the real estate assessment center inspection process or by other government

agencies may be accepted by a local governmental unit and an enforcing agency as a substitute for inspections required by a local enforcing agency. To the extent permitted under applicable law, a local enforcing agency or its designee may exercise inspection authority delegated by law or agreement from other agencies or authorities that perform inspections required under other state law or federal law.

(4) Subject to subsection (1), a local governmental unit may provide by ordinance for a maximum period between inspections of a multiple dwelling or rooming house that is not longer than 6 years if the most recent inspection of the premises found no violations of this act and the multiple dwelling or rooming house has not changed ownership during the 6-year period.

(5) An inspection shall be conducted in the manner best calculated to secure compliance with this act and appropriate to the needs of the community, including, but not limited to, on 1 or more of the following bases:

(a) An area basis, under which all the regulated premises in a predetermined geographical area are inspected simultaneously, or within a short period of time.

(b) A complaint basis, under which premises that are the subject of complaints of violations are inspected within a reasonable time.

(c) A recurrent violation basis, under which premises that have a high incidence of recurrent or uncorrected violations are inspected more frequently.

(d) A compliance basis, under which a premises brought into compliance before the expiration of a certificate of compliance or any requested repair order may be issued a certificate of compliance for the maximum renewal certification period authorized by the local governmental unit.

(e) A percentage basis, under which a local governmental unit establishes a percentage of units in a multiple dwelling to be inspected in order to issue a certificate of compliance for the multiple dwelling.

(6) An inspection shall be carried out by the enforcing agency, or by the enforcing agency and representatives of other agencies that form a team to undertake an inspection under this and other applicable acts.

(7) Except as provided in subsection (9) and this subsection, an inspector, or team of inspectors, shall request and receive permission to enter before entering a leasehold regulated by this act to undertake an inspection and shall enter at a reasonable hour. In the case of an emergency, including, but not limited to, fire, flood, or other threat of serious injury or death, or upon presentment of a warrant, the inspector or team of inspectors may enter at any time.

(8) Before entering a leasehold regulated by this act, the owner of the leasehold shall request and obtain permission to enter the leasehold. However, in an emergency, including, but not limited to, fire, flood, or other threat of serious injury or death, the owner may enter at any time.

(9) The enforcing agency may require the owner of a leasehold to do 1 or more of the following:

(a) Provide the enforcing agency access to the leasehold if the lease provides the owner a right of entry.

(b) Provide access to areas other than a leasehold or areas open to public view, or both.

(c) Notify the lessee of the enforcing agency's request to inspect a leasehold, make a good-faith effort to obtain permission for an inspection, and arrange for the inspection. If a lessee vacates a leasehold after the enforcing agency has requested to inspect that leasehold, the owner of the leasehold shall notify the enforcing agency of that fact within 10 days after the leasehold is vacated.

(d) Provide access to the leasehold if a lessee of that leasehold has made a complaint to the enforcing agency.

(10) A local governmental unit may adopt an ordinance to implement subsection (9).

(11) For multiple lessees in a leasehold, notifying at least 1 lessee and requesting and obtaining the permission of at least 1 lessee satisfies the notice and permission requirements of subsections (7) to (9).

(12) The enforcing agency or the owner shall not discriminate against an occupant on the basis of whether the occupant requests, permits, or refuses entry to the leasehold.

(13) The enforcing agency shall not discriminate against an owner who has met the requirements of subsection (9) but has been unable to obtain the permission of the occupant, based on the owner's inability to obtain that permission.

(14) The enforcing agency may establish and charge a reasonable fee for inspections conducted under this act. The fee shall not exceed the actual, reasonable cost of providing the inspection for which the fee is charged. An inspection fee is not required to be paid more than 6 months before the inspection is to take place. An owner or property manager is not liable for an inspection fee if the inspection is not performed and the enforcing agency is the direct cause of the failure to perform the inspection.

(15) If requested, an enforcing agency or a local governmental unit shall produce a report on the income and expenses of the inspection program for the preceding fiscal year. The report shall state the amount of the fees assessed by the enforcing agency, the costs incurred in performing inspections, and the number of units inspected. The report shall be provided to the requesting party within 90 days after the request is made. The enforcing agency or local governmental unit may produce the report electronically. If the enforcing agency does not have readily available access to the information required for the report, the enforcing agency may charge the requesting party a fee not greater than

the actual reasonable cost of providing the information. If an enforcing agency charges a fee under this subsection, the enforcing agency shall include in the report the costs of providing and compiling the information.

(16) If a complaint identifies a dwelling or rooming house regulated under this act in which a child is residing, the dwelling or rooming house shall be inspected prior to inspection of any nonemergency complaint.

(17) As used in this section:

(a) "Child" means an individual under 18 years of age.

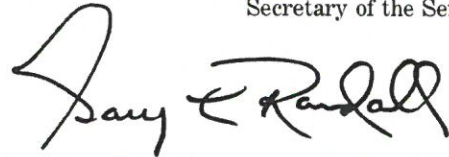
(b) "Leasehold" means a private dwelling or separately occupied apartment, suite, or group of rooms in a 2-family dwelling or in a multiple dwelling if the private dwelling or separately occupied apartment, suite, or group of rooms is leased to the occupant under an oral or written lease.

Enacting section 1. This amendatory act takes effect 90 days after the date it is enacted into law.

This act is ordered to take immediate effect.



Secretary of the Senate



Clerk of the House of Representatives

Approved

.....
Governor