

CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING

Wednesday, June 12, 2019 - 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

Call Meeting to Order

Roll Call of Commission Members

1. Review and Approval of the Agenda - Conflict of Interest
2. Minutes –May 22, 2019
3. Correspondence
4. Reports
 - a. Township Board
 - b. Planning Commissioners
 - c. Staff Report
5. Business to Come Before the Commission
 - a. PD 2019- 59 Green US-31 Findings of Fact
 - b. PD 2019- 61 Ashland Park PUD Amendment Public Hearing
 - c. PD 2019- 62 French Manor PUD Amendment Public Hearing
 - d. PD 2019- 63 Living Hope SUP Public Hearing
 - e. PD 2019- 64 Munson Childcare SUP Public Hearing
6. Public Comment
7. Items for Next Agenda – June 26, 2019
 - a. Performance Guarantee/Renewal of SUPs
 - b. Sign Ordinance Update-Content Neutrality
8. Adjournment

Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, (231) 941-1620, or TDD 922

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
May 22, 2019**

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, MI 49684.

Roll Call of Commission Members:

Present: Robert Fudge, Joe Robertson, Pat Cline, Chris DeGood, Joe McManus and John Racine

Absent and Excused: Steve Duell

Staff Present: Planner John Sych and Deputy Planner Steve Hannon

Sych introduced new Deputy Planner Steve Hannon.

1. Review and Approval of the Agenda – Conflict of Interest (7:02)

Racine declared a conflict with item 5.a.

Fudge moved and DeGood seconded to approve the agenda as presented.

Yeas: Fudge, DeGood, Robertson, Cline, McManus, Racine

Nays: None

2. Minutes (7:03)

a. May 8, 2019

DeGood moved and Robertson seconded to adopt the minutes of May 8, 2019 as amended deleting the word "stormwater" from the second sentence in item 6.c.

Yeas: DeGood, Robertson, Cline, McManus, Fudge, Racine

Nays: None

4. Correspondence (7:04)

Copy of Planning Commission bylaws

5. Reports (7:05)

Township Board Report

No report

Planning Commissioners

No reports

Staff Report

No report

6. Business to Come Before the Commission

a. **PD 2019-49 Car Wash Decibel Limit Text Amendment Intro (7:06)**

Racine excused himself. Sych talked about the text amendment and reviewed it with Commissioners. Township officials have been discussing the appropriateness of the 40-decibel noise limit in car washes. The consensus is that the decibel level is much too low. Staff advised that rather seeking a new decibel level, the requirement should be removed from the ordinance entirely and let noise be governed by the township's police power ordinance. Commissioners discussed the proposed amendment. Commissioners asked if any car washes would come back to the Planning Commission for approval. Commissioners asked to strike the word "vacuum" from sentence 3 and strike the words "line which abuts a property" which abuts a" from sentence #3.

Robertson moved and Fudge seconded THAT the draft amended Section 712 of the Zoning Ordinance, as attached to Planning Department Report 2019-49, BE SCHEDULED for public hearing for the July 10, 2019 Planning Commission Regular Meeting as amended.

*Yeas: Robertson, Fudge, DeGood, Cline, McManus
Nays: None*

b. **PD 2019-48 Golf Course Setbacks Text Amendment Intro (7:29)**

Section 749 of the Zoning Ordinance allows for a 200 foot setback for any golf course features which abut residentially zoned lands. The setback has been a problem for at least one golf course owner. The setback requirement was not included in the previous zoning ordinance but was included in the 2015 zoning ordinance. The three golf courses in the township were developed prior to 2015 and it is unlikely that any more golf courses will be developed in the township. Staff has looked into precedents for a 200 foot setback for golf courses and cannot find one existing. Staff suggests reducing the 200 foot setback to 80 feet and any buildings be screened with landscaping where appropriate. Discussion took place and commissioners asked to leave #3 in the amendment text but combine it with language in #4.

Fudge moved and DeGood seconded THAT the draft Amended Section 749 of the Zoning Ordinance, as attached to Planning Department Report 2019-48, BE SCHEDULED for public hearing for the July 10, 2019 Planning Commission Regular Meeting as amended.

*Yeas: Fudge, DeGood, Cline, McManus, Robertson, Racine
Nays: None*

c. **PD 2019-55 – Sideyard Setbacks in R-3 Text Amendment Intro (7:40)**

Section 315 R-3 Multiple Family Residential District of the Zoning Ordinance provides areas for medium to high density one and two family residential

dwelling units mixed with a variety of multiple family residential dwelling types. There is a concern about the side yard setback requirements in this district and how they apply to one family dwellings. Staff recommends a sliding scale of the side yard setback requirements depending on the dwelling type: one family dwelling at 10 feet; two family dwelling at 15 feet; and multi-family dwelling at 20 feet. One family dwellings will then match the 10-ft side yard setback requirements in the R-1 and R-2 zoning districts.

McManus moved and Cline seconded THAT the draft amended Section 315 of the Zoning Ordinance, as attached to Planning Department Report 2019-55, BE SCHEDULED for public hearing for the July 10, 2019 Planning Commission Regular Meeting.

*Yeas: McManus, Cline, DeGood, Fudge, Robertson, Racine
Nays: None*

d. PD 2019-56 Period of Effect – Special Use Permits Text Amendment Intro (7:44)

Sych said that there is a gravel mining operation that is operating under an approved Special Use Permit (SUP). As part of the initial approval, the SUP was approved for a 10-year period and required review and renewal of the permit every ten years. The current zoning ordinance does not have a clean provision to allow for a renewal of an SUP in this manner. As a way to provide clear direction for this practice within the township, staff is proposing that the approval be tied to a performance guarantee. The draft is proposing a five year renewal so that any potential complaints can be addressed.

Commissioners discussed the intent and language that some may use the renewal for complaint purposes to push out a use. Commissioners discussed frequency of review/renewal or if there should even be a renewal at all, but rather a review by staff. Engineering costs on behalf of the owner were discussed and commissioners simply wanted the applicant to show that they are in compliance with the original permit. Sych said that the original language of the approved SUP needs to be reviewed to determine the intent of the original use permit. Staff will review the issue further and bring the matter back to commissioners at a later date.

e. PD 2019-52 Conceptual Subplan for East Side of Township – Notice of Intent to Plan (8:05)

Based on discussions between the Township Board and Township Planning Commission, a Notice of Intent to Amend the Master Plan to create a subplan for the area of the township that includes a wide swath along S. Airport Road from Garfield to Park Drive and North to Boon Street.

Fudge moved and McManus seconded TO ISSUE the notice of intent to plan in accordance with Michigan Planning Enabling Act and as indicated in Planning Department Report No. 2019-52 for the east side of Garfield Township.

Yeas: Fudge, McManus, Robertson, Cline, DeGood, Racine
Nays: None

7. **Public Comment (8:08)**
None


8. **Items For Next Agenda – June 12, 2019 (8:09)**

- a. Living Hope Church SUP – Public Hearing
- b. Munson Childcare SUP
- c. Ashland Park PUD Amendment – Public Hearing
- d. French Manor – Terra Energy PUD Amendment – Public Hearing
- e. Green US 31 Finding of Fact

9. **Adjournment**

Fudge moved to adjourn the meeting at 8:10pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2019-59		
Prepared:	May 15, 2019	Pages: 7
Meeting:	June 12, 2019 Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Green US-31 C-G Rezoning-Findings of Fact	
File No.	Z-2019-02	Parcel No. 05-028-014-00
Owner:	Wayne Kiley	
Applicant/Agent:	Charles Green/Pat Dunlop	

PURPOSE OF APPLICATION:

The application requests to rezone approximately 0.84 acres of land from the C-O Office Commercial zoning district to the C-G General Commercial district via zoning Map Amendment, without restriction.

SUBJECT PROPERTY:

The subject property is currently comprised of one tax parcel (05-028-014-00) and located at 1202 N. US-31 South. As seen in the aerial imagery provided below, the property is essentially vacant aside from a paved parking area and turnaround. The property was formerly a scenic overlook.

Zoomed-out aerial view of the subject property (highlighted in blue):



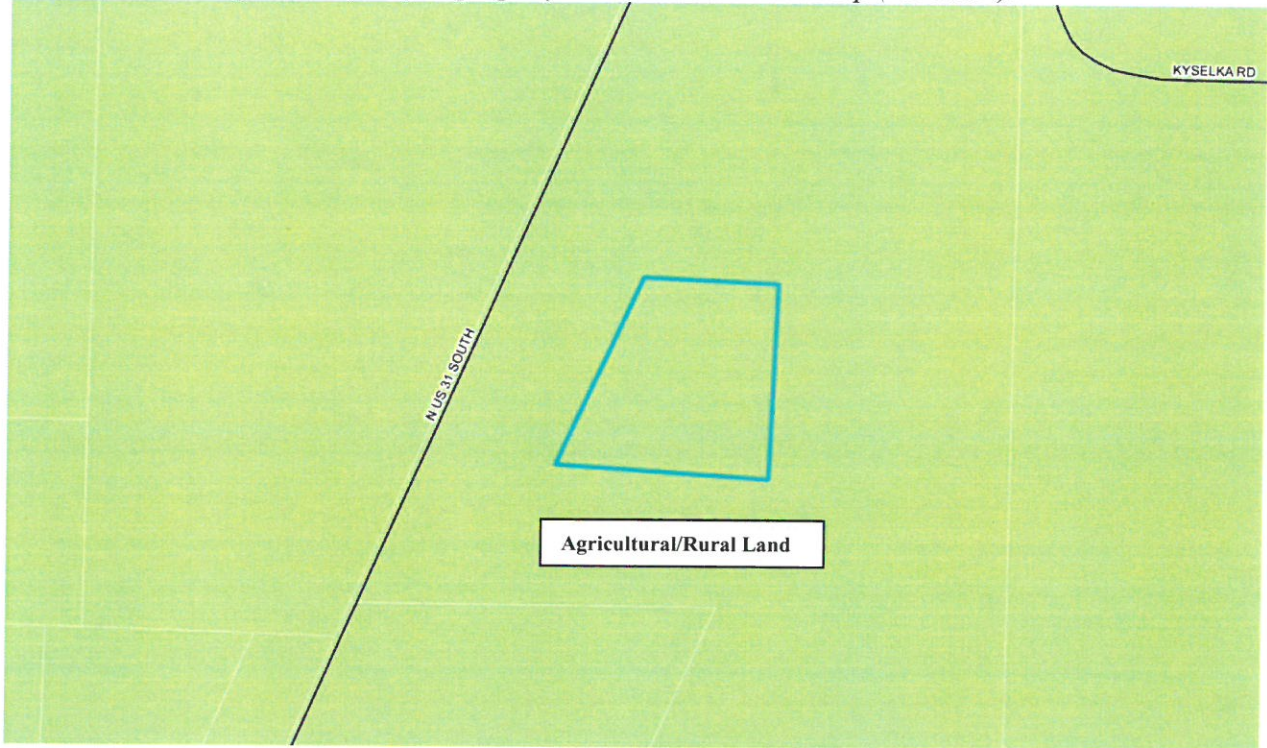
Zoomed-in aerial view of subject property (highlighted in blue):



MASTER PLAN CONSIDERATIONS:

A key factor in considering any rezoning request is whether the request is consistent with the Master Plan. In this case, the Master Plan targets the subject property for “Agricultural/Rural Land (≥ 1 Units Per Acre)” (indicated in light green) which, according to the Zoning Plan, is most consistent with the A – Agricultural zoning district. In addition, the Zoning Plan includes R-R Rural Residential and R-1 One-Family Residential as potentially compatible districts. In this light, the subject property’s Master Plan classification *does not* contemplate commercial uses and; therefore, the request to rezone the subject property to from C-O Office Commercial to C-G General Commercial is generally *inconsistent* with the Master Plan.

Location and classification of subject property on Future Land Use Map (“FLUM”):

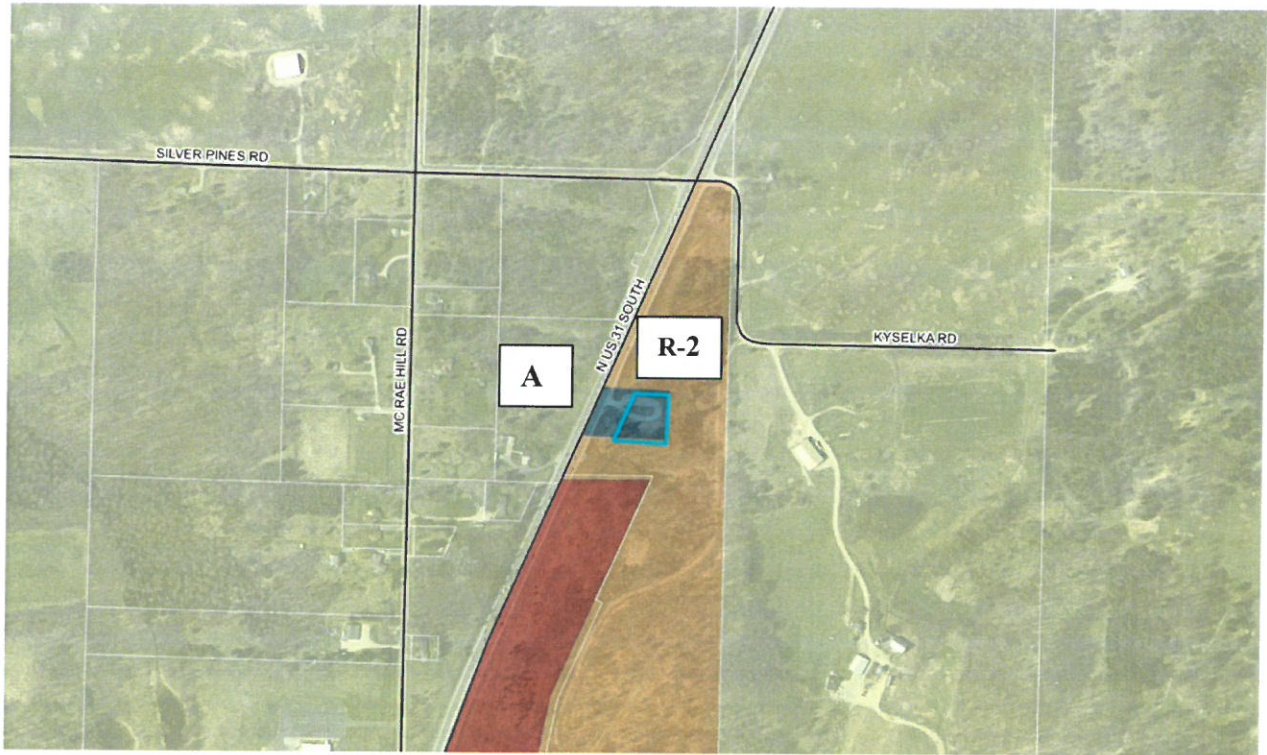


Excerpt from Zoning Plan for subject property’s FLUM classification (highlighted in blue):

Master Plan Designation	Current Zoning	Zoning Ordinance District Intent	Potentially Compatible District	Considerations for Downzoning (Less Density)	Considerations for Upzoning (More Density)
Mobile Home, Moderate/High Density	R-M Mobile Home Residential	The R-M (Mobile Home Residential) districts provide areas for mobile home subdivisions and mobile home parks. The districts include areas of existing developments as well as areas proposed and approved for such development. They are intended to encourage medium to high density mobile home subdivisions and mobile home park developments where adequate public facilities and services exist with capacity to serve such development. The R-M districts are designed to encourage a suitable neighborhood environment for family life by including among the permitted uses facilities that support and promote a sense of community.	R-M	Caution should be taken when changing a zoning district from the R-M designation. The availability of this type of affordable housing should be considered prior to a change. If the change is going to require additional manufactured home park designations, the district should remain as zoned. The zoning should be consistent with the Medium/High Density Zoning classification.	The density associated with the R-M districts is determined by the State of Michigan and is typically the maximum permitted on the site.
Agricultural (1 U/A)	A-Agricultural	The A (Agricultural) districts provide areas for agricultural operations and low intensity land uses. These districts are composed primarily of un subdivided lands that are vacant or are in agricultural use with some dwellings and accessory uses. The A districts are suitable for large tracts of open space, agricultural areas, woodlands, and fields. They are designed to promote the protection of the existing natural environment and to preserve, enhance, and stabilize the essential characteristics and economical value of these areas as agricultural lands. The A districts may be used to encourage development in and use the core areas of the Township by limiting the development densities of parcels less suited for intensive development. The A districts may also be used to protect natural resources and environmentally sensitive areas by preserving these areas for low intensity land uses.	R-R/R-1	Farmland and value added agriculture should be encouraged in Garfield Township. Historically, the Township has zoned sensitive lands to agricultural to help protect these areas from higher density development. The Rural Land Classification and A Agricultural districts are considered to be compatible.	In many instances the land is not considered high value farmland and a change to a residential district may be appropriate. An evaluation of the properties location, proximity to amenities, and surrounding land uses should determine the most compatible district and density. A change to R-R would likely be supported due to the similarity with the districts in the R-RD should be encouraged. A request to rezone farmland to a more intense residential use.

SUBJECT AND SURROUNDING PROPERTY ZONING:

The subject property is currently zoned C-O Office Commercial (indicated in blue) and adjoins R-2 Two-Family Residential along each property line. The subject property also adjoins an A – Agricultural zoning district along its N. US-31 South right-of-way.



USES OF SUBJECT AND SURROUNDING PROPERTIES:

The subject property is currently vacant and adjoins vacant land (within an R-2 Two-Family Residential zoning district) to the north, east, and south; and low-density residential uses (within an A – Agricultural district) to the west.

STAFF COMMENT:

At its April 10, 2019 Regular Meeting, the Planning Commission expressed that they did not regard the rezoning request as appropriate primarily because the subject property is considered integral to an important viewshed as a matter of public policy. Indeed, as was mentioned previously, the subject property was once a scenic overlook. It is not clear to Staff how the property came to be zoned C-O and to be offered for sale for development. Nevertheless, the property owner of course has the right to maintain the current C-O zoning, but does not have the right to upzone.

The rezoning request is *inconsistent* with the Master Plan for the reasons described on page 3 of this report. The Commission suggested that the “Agricultural/Rural Land (≥ 1 Units Per Acre)” is appropriate because it directly reflects the Commission’s intent to preserve the viewshed. This does not suggest any intent to downzone the subject property, but rather to not allow its current zoning to increase in intensity.

Furthermore, potential adverse impacts on neighboring lands are foreseeable in light of the adjoining relatively low-density residential uses and moderate-density and low-density zoning. Finally, the size of the tract is relatively small for supporting commercial uses at approximately 0.84 acres, especially with the surrounding property zoned for low-density and moderate-density residential uses.

In sum, it appears that the application is not justified on at least factors 1, 2, 6, and 7 for considering a Map Amendment under § 421.E.

FINDINGS OF FACT:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E(1) Master Plan Consistency through § 421.E(8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency

Rezoning should be consistent with the intent and purpose of the adopted master plan.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- In this case, the Master Plan targets the site for “Agricultural/Rural Land (≥ 1 Units Per Acre)” which, according to the Zoning Plan, is most consistent with the A- Agricultural zoning district. In addition, the Zoning Plan includes R-R Rural Residential and R-1 One-Family Residential as potentially compatible districts. Therefore, the rezoning request is *not* consistent with the Master Plan.
- The subject property’s Master Plan classification *does not* contemplate commercial uses and; therefore, the request to rezone the subject property to from C-O Office Commercial to C-G General Commercial is *inconsistent* with the Master Plan.

2. Adverse Impacts on Neighboring Lands

The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- Potential adverse impacts on neighboring lands are foreseeable in light of the adjoining relatively low-density residential uses and moderate-density and low-density zoning.

3. Suitability as Presently Zoned

The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- The property remains a buildable and developable property with the current zoning of C-O Office Commercial.

4. Changed Conditions

The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- The existing land use pattern in the vicinity of the subject property continues to remain undeveloped and/or rural; therefore, change has **not** occurred to warrant allowing commercial uses as permitted within the C-G District.

5. Health, Safety, and Welfare

The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning may be justified, however, if a substantial public need or purpose exists.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- The application fails to justify how the commercial uses proposed positively affect the general welfare of the adjacent properties.
- No historic or culturally significant places or areas exist on the subject property.

6. Public Policy

Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- In this case, the Master Plan targets the site for “Agricultural/Rural Land (≥ 1 Units Per Acre)” which, according to the Zoning Plan, is most consistent with the A- Agricultural zoning district. Therefore, the rezoning request is **not** consistent with the Master Plan.
- There continues to be an obvious and substantial public need for additional housing in the Township, County, and region.

7. Size of Tract

The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

The Planning Commission may consider this standard to be NOT MET based on the following reasons:

- The size of the tract is relatively small for supporting commercial uses at approximately 0.84 acres, especially with the surrounding property zoned for low-density and moderate-density residential uses.

ACTION REQUESTED:

The purpose of this item being placed on tonight's agenda is to consider adopting Findings of Fact for the application, a suggested motion for which is as follows:

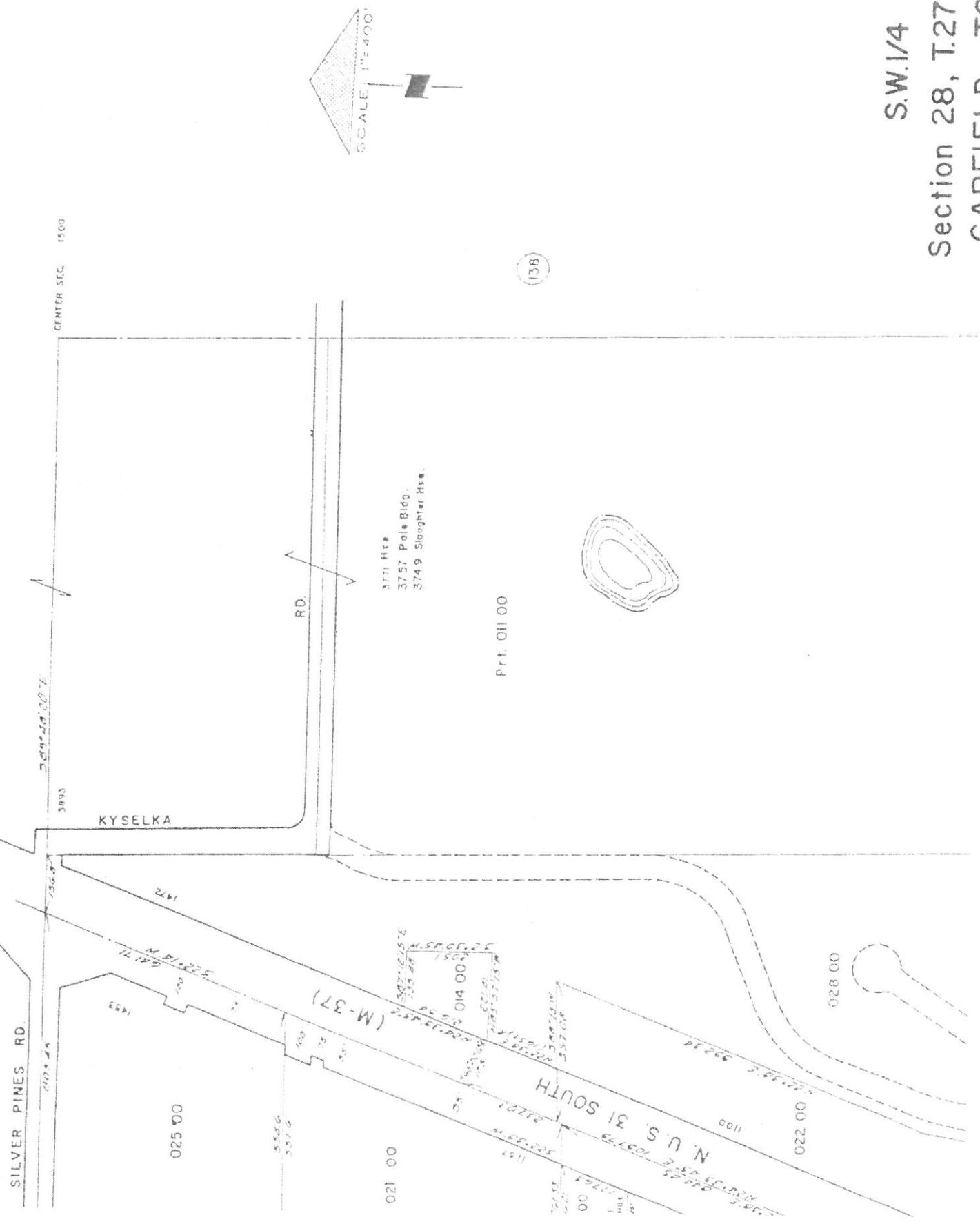
MOTION THAT the Findings of Fact for application Z-2019-02, as presented in Planning Department Report 2019-59 and being made a part of this motion, BE ADOPTED.

The following motion is suggested to recommend denial of the project to the Township Board:

MOTION TO RECOMMEND TO the Township Board THAT application Z-2019-02 BE DENIED.

Attachments:

1. Certificate of Survey for subject property provided by applicant
2. Written Impact Statement provided by applicant



S.W.1/4

Section 28, T.27N., R.11W.
CARRIE D. TOMALICH

P.O. Box 1526
Traverse City, MI 49685
PH: 231-715-1725
info@seagreenproperty.com



Garfield Township Planning Department
3848 Veterans Dr.
Traverse City, MI 49684

Dear Mr. Perdonik,

Thank you for your timely response regarding our application to rezone parcel ID 28-05-028-014-00. The following are the responses to each of the required 8 items to be addressed.

1. Although the master plan indicates a plan for agricultural zoning for the entire area, we feel that the current zoning should allow for this property to be amended as Commercial General, which is in line with the stretch of property less than 265 feet south. The corridor is a main passageway between Wuerfel Park, Chums Corners, Grawn, and Traverse City. It makes an ideal spot for business.
2. We feel that the requested zoning amendment will not adversely affect any neighboring lands. We have spoken with each property owner and have received nothing but positive and supportive communication. The land as currently zoned is Commercial General and some mixed residential. The parcel in question is currently zoned Commercial Office. This is the only zoning that differs significantly from the surrounding area.
3. The parcel is currently zone as Commercial Office. It is not surrounded by any other Commercial Office. However, a rezoning to commercial general will fit with the surrounding zoning, as there is commercial general less than 265' south.
4. The parcel currently lies on a major entry corridor to the Grand Traverse Area. This corridor is especially suitable for Commercial General as it is a fantastic 'Entry Point' to the area. The current master plan zoning as agricultural would completely rule out a wonderful asset that can be utilized by growing businesses, thereby boosting the already viable business culture in Garfield Township. With the recent purchase of Wuerfel park we feel that this corridor would be better utilized as Commercial General as the traffic flow to and from the metropolitan area would benefit. It also would be a great connector from the main city area and the growing Chum's Corners area.
5. There are no substantial health, safety, or welfare issues regarding the proposed Commercial General rezoning of this parcel.
6. The major public policy regarding this rezoning request is with economic development. Rezoning this from Commercial Office (which has been vacant for many years) to Commercial General will provide a small local Garfield Township business to grow into a viable and sustainable entity.
7. The parcel has been zoned as Commercial Office for many years without development. Due to the close proximity of other Commercial General zoning it would make sense to match the zoning of this property accordingly.

P.O. Box 1526
Traverse City, MI 49685
PH: 231-715-1725
info@seagreenproperty.com



8. We feel that amending this zoning will not only help promote business between the city and chums corners. This growing area is ready to become a destination. This change will also help Garfield township clean up inconsistencies in the zoning map of that corridor.


In Summary, we feel that rezoning this parcel not only falls in line with current local zoning, It would clean up the various different zoning areas in the region. It would also bring business to a very important corridor to the Grand Traverse Area.

If you would like more information, please do not hesitate to contact me at 231-409-0171 or charles@seagreenproperty.com.

Sincerely,

A handwritten signature in blue ink, appearing to be 'C. Green', written over a horizontal line.

Charles Green
President
SeaGreen Property Management Solutions, LLC

 Charter Township of Garfield Planning Department Report No. 2019-61			
Prepared:	June 5, 2019	Pages:	3
Meeting:	June 12, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Ashland Park PUD Phases 2 & 3 Major Amendment-Public Hearing		
Applicant:	Peachtree River Investments, LLC		
Owner:	Peachtree River Investments, LLC		
File No.	PUD-2001-01-F		
Parcel No.	05-026-018-00		

PURPOSE OF APPLICATION:

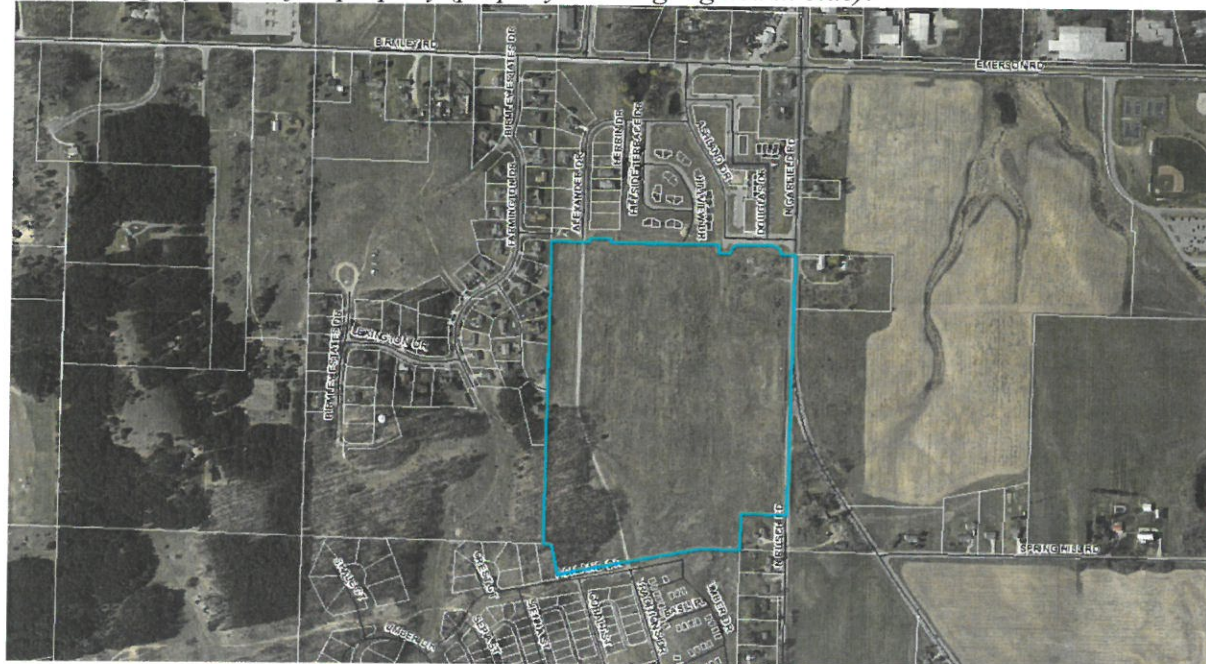
A request to amend a Planned Unit Development (PUD) is being considered according to Section 423.G of the Zoning Ordinance. Staff has determined that this amendment constitutes a major amendment which requires a public hearing, Planning Commission approval and Township Board approval.

The application requests an amendment to Phase 2 and Phase 3 of the Ashland Park PUD by replacing the 2001 original approved mix of 124 quadplex residential units, 42 duplex residential units, and 21 single-family residential units with a new pattern of consisting of 158 duplex residential units. This proposal results in an overall reduction of 29 residential dwelling units. The total improved space decreased from 79.8% to 59.9% which makes the new total open space to be 40.1% (20.39 acres). The most recent configuration for Phase 2 and Phase 3 of Ashland Park PUD was approved in 2017 and consists of 62 single-family residential units and 48 duplex residential units for a total of 110 residential dwelling units. A copy of the overall site plan (dated 12/05/2016) approved in 2017 is included with this report.

SUBJECT PROPERTY:

The subject property is the Ashland Park PUD. The PUD extends southwest from the intersection of Birmley Road and Garfield Road. Phases 2 and 3 compose approximately 52 areas of land.

Aerial image of the subject property (property lines highlighted in blue):



BACKGROUND:

The Ashland Park PUD was approved in 2001, but demand for residential units within the development never really materialized. Eventually, Phase 1 of Ashland Park commenced and build out of the phase is nearing completion. In Phase 1, the sale of duplex residential units has been more successful than the sale of single-family detached residential units. For Phases 2 and 3, the owner/applicant is requesting to convert all residential units into strictly duplex residential units. Changes to the road network are also proposed. From Phase 3, a connection into the Traditions development is maintained.

The new design of the roadway appears to maintain desired connectivity. The development includes a pathway network, including sidewalks along both sides of the roads. Elsewhere, the pathway network links the proposed open areas of the site. This proposal would appear to meet the intent of the Township's pedestrian pathway requirements.

PROJECT HISTORY:

2001 Ashland Park PUD

The project, approved in 2001, was a multiphase project that incorporated single family residential lots, zero lot line units, duplex and quadplex units, and commercial/office uses.

2005 Ashland Park PUD Amendment

The project was changed significantly when amended in 2005. The amendment allowed additional commercial and industrial uses to replace single family lots and to increase the multifamily units.

2017 Ashland Park PUD Amendment

Phases 2 and 3 were amended to eliminate the approved multifamily units and replace them with single family lots. Minor changes to the orientation of other previously approved building sites within Phases 2 and 3 were also proposed, including the approved storage area, office buildings, and duplexes.

STAFF COMMENTS:

In follow-up to the comments made at the previous meeting, staff offers the following comments regarding the site plan:

- 1) The Soil Erosion & Sedimentation Control Plan (Sheet 8 of the plan set) has been corrected to read "approved" for the storage units and commercial area.
- 2) According to our records, there is no planned vehicular connectivity from Ashland Park to Birmley Estates. However, it was previously agreed to provide a walking path to the property line for pedestrian connectivity purposes. The path is provided for next to the booster station located at the northwest corner for the site as noted on the Overall Site Plan (Sheet 5 of the plan set).
- 3) There were previous comments from the Planning Commission regarding tree removal at the southwest portion of the subject property. With the current approved overall site plan, single-family home owners would have the right to remove trees on their lots. The applicant has stated that there will most likely be fewer trees removed since the condominium owners will only own inside the building and not their yard. The condominium association will manage and maintain the open space, including this area of trees.
- 4) "Pocket parks" will be composed of benches, picnic tables and dog walk areas as noted on the Landscape Plan (Sheet 10 of the plan set).

RECOMMENDATION:

The purpose of this item being placed on tonight's agenda is to hold a public hearing on the major amendment application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application:

MOTION TO direct Staff to prepare Findings of Fact for application PUD-2001-01-F for consideration at the July 10, 2019 Regular Meeting of the Planning Commission.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Public Hearing notice dated May 26, 2019
2. 11"x17" Overall Site Plan dated December 5, 2016
3. Project Narrative and Impact Statement dated April 18, 2019
4. 11" X 17" plan set provided by applicant dated May 20, 2019

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231) 946-2000
Fax (231) 946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/15/19 10:40 by dling

Acct #: 5508

Ad #: 519953

Status: New WHOLD WHOI

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN

NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on June 12, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Peninsula Construction & Design on behalf of Living Hope Church requesting a Special Use Permit for a proposed 13,500 square foot addition to the Living Hope Church located at 3050 W South Airport Road, Parcel ID # 28-05-105-001-00.
2. Consideration of an application received from Munson Healthcare Children's Center for approval of a Special Use Permit ("SUP") to use an existing 9,256-square foot building for a proposed employer supported Child Development Center for Munson Staff. The property is located at 5222 North Royal Drive, Parcel ID # 05-347-008-00.
3. Consideration of an application received from Burdco, Inc. on behalf of Chartwell Properties, LLC requesting a major amendment to a Planned Unit Development for a proposed 80 unit Assisted Living Facility to be located in the Terra Energy PUD which is east off of Lafranier Road, parcel ID# 05-023-013-01.
4. Consideration of an application received from Peachtree River Investments, LLC requesting a major amendment to Phase 2 and Phase 3 of the Ashland Park Planned Unit Development by replacing the 2001 original approved mix of 124 quadplex residential units, 42 duplex residential units, and 21 single-family residential units with a proposed new pattern consisting of 158 duplex residential units. The property is located at the intersection of Birmley Road and Garfield Road, parcel ID# 05-026-018-00.
5. Such other and further matters as may properly come before the Planning Commission at the public hearing.

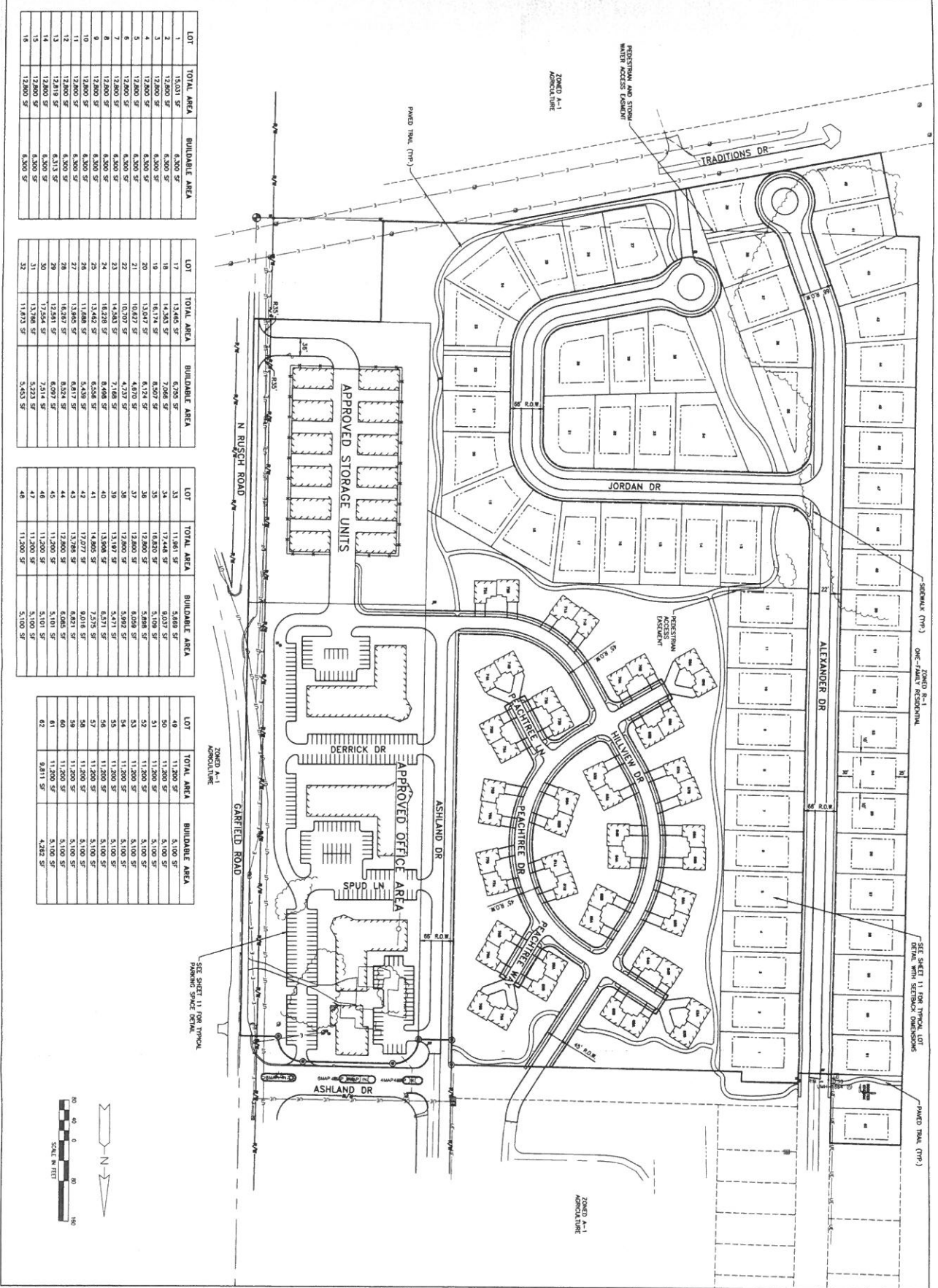
You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

May 26, 2019-1T

519953

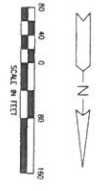


LOT	TOTAL AREA	BUILDABLE AREA
1	15,031 SF	6,300 SF
2	12,800 SF	6,300 SF
3	12,800 SF	6,300 SF
4	12,800 SF	6,300 SF
5	12,800 SF	6,300 SF
6	12,800 SF	6,300 SF
7	12,800 SF	6,300 SF
8	12,800 SF	6,300 SF
9	12,800 SF	6,300 SF
10	12,800 SF	6,300 SF
11	12,800 SF	6,300 SF
12	12,800 SF	6,300 SF
13	12,800 SF	6,300 SF
14	12,800 SF	6,300 SF
15	12,800 SF	6,300 SF
16	12,800 SF	6,300 SF

LOT	TOTAL AREA	BUILDABLE AREA
17	13,463 SF	6,205 SF
18	14,543 SF	7,046 SF
19	16,174 SF	8,307 SF
20	13,047 SF	6,124 SF
21	10,877 SF	4,970 SF
22	10,707 SF	4,737 SF
23	10,529 SF	4,708 SF
24	14,543 SF	7,046 SF
25	13,463 SF	6,205 SF
26	11,868 SF	5,439 SF
27	13,848 SF	6,817 SF
28	16,809 SF	8,324 SF
29	12,581 SF	6,097 SF
30	17,558 SF	7,914 SF
31	13,223 SF	6,223 SF
32	11,873 SF	5,753 SF

LOT	TOTAL AREA	BUILDABLE AREA
33	11,981 SF	5,663 SF
34	17,448 SF	8,037 SF
35	16,820 SF	7,937 SF
36	12,800 SF	6,300 SF
37	12,800 SF	6,300 SF
38	12,800 SF	6,300 SF
39	12,800 SF	6,300 SF
40	13,191 SF	5,992 SF
41	14,543 SF	7,046 SF
42	14,405 SF	7,215 SF
43	17,077 SF	8,016 SF
44	13,788 SF	6,821 SF
45	12,800 SF	6,300 SF
46	11,200 SF	5,100 SF
47	11,200 SF	5,100 SF
48	11,200 SF	5,100 SF
49	11,200 SF	5,100 SF

LOT	TOTAL AREA	BUILDABLE AREA
50	11,200 SF	5,100 SF
51	11,200 SF	5,100 SF
52	11,200 SF	5,100 SF
53	11,200 SF	5,100 SF
54	11,200 SF	5,100 SF
55	11,200 SF	5,100 SF
56	11,200 SF	5,100 SF
57	11,200 SF	5,100 SF
58	11,200 SF	5,100 SF
59	11,200 SF	5,100 SF
60	11,200 SF	5,100 SF
61	11,200 SF	5,100 SF
62	9,811 SF	4,282 SF



PROJECT NO: ASH-13389-02C SHEET 5	PEACHTREE RIVER INVESTMENTS, LLC 1503 NORTH GARFIELD ROAD TRAVERSE CITY, MI 49696 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT OVERALL SITE PLAN	 1800 East Traverse Highway, Suite 2300 Traverse City, MI 49684 231.947.7400 FAX 231.946.1000 www.wadetrिम.com	3 12/05/16 PUD AMENDMENT SUBMITTAL DOC# 10000
			4 09/29/16 PUD AMENDMENT SUBMITTAL DOC# 10000
			5 09/14/16 PUD AMENDMENT SUBMITTAL DOC# 10000
			2 08/10/16 PUD AMENDMENT SUBMITTAL DOC# 10000
			1 08/04/16 ORIGINAL PUD AMENDMENT SUBMITTAL DOC# 10000

Ashland Park - Phase 2

PUD Amendment



Submitted to:

Garfield Charter Township

Grand Traverse County, Michigan

March 13, 2019

Amended April 18, 2019

Submitted by:

Peachtree River Investments, LLC

1503 Garfield Road North

Traverse City, MI 49696

Ben Brower – 231-642-5096



Peachtree
River Investments LLC

Project Narrative and Lot Layout

In early 2017, Garfield Township approved Peachtree River's request to amend the Ashland Park PUD removing multi-plex units to a mix of single family and duplex homes. Over the past 2 years, Peachtree has been building single family homes and duplexes revitalizing this unique development. It has become apparent that the duplex home model is a product that people of Traverse City like as it has far outsold the single family homes in Ashland Park. Therefore, Peachtree desires to amend our PUD. The same general layout and road design will be maintained for the project, however we now desire to change the single family home lots to duplex lots in Phase 2. The number of residential lots will now be 158 on this 50.82 acre parcel. One of the benefits of moving to the 'all duplex' design is there will be less tree removal as the owners will not own their lots, but rather they will be owned by the association members so any tree removal will need to be approved by the association board. Lot setbacks will remain the same as approved under the original PUD. The GT County Metro Fire Department has reviewed and approved this layout and hydrant locations. The total improved space decreased from 79.8% to 59.9% which makes the new total open space to be 40.1% (20.39 acres) - see sheet 12.

Utilities

Municipal water and sanitary sewer service will continue to be provided to residential lots and commercial buildings. The only adjustment needed relates to storm water runoff and conveyance. The layout dictates where this water can be placed. We have attempted to keep the storm water handling items as low-impact as possible while still achieving proper infiltration for aquifer recharging and while increasing surface water quality.

Impact Statement

Peachtree has added strategically placed "pocket parks", sidewalks and interconnected, non-motorized trails throughout the entire development making it extremely pedestrian friendly. Pocket parks will be connected with either sidewalks or trails and will contain areas for small pets and benches. The areas will be kept tidy but will not have fences. There is also greater interconnectivity than before between the commercial and residential pieces of this development that emphasizes a sense of community interaction. All sidewalks will be a standard four feet in width and match the existing sidewalk construction as in Phase 1. The non-motorized trails will be dirt/grass trails maintained by mowing.

In following section SS423.E of the ordinance pertaining to Impact Statements, we provide the following:

1. The proposed use is consistent with the existing, approved PUD.
2. The proposed uses are consistent with those already approved and also consistent with that of the adjacent properties. The layout provides a harmonious transition from Ashland Park Phase 1 PUD to this one for both vehicular and pedestrian traffic.
3. This project will not be detrimental, hazardous, or disturbing to the existing of future adjacent uses. In fact, when compared to the already approved plan, this will lessen any burden to adjacent properties imposed by items such as noise, dust, smoke, vibration, odor, etc.
4. Adverse effects from the proposed use on neighboring properties have been minimized through the use of sidewalks, trails, pocket parks, adequate parking, traffic circulation, building placement, along with the use of landscaping, buffer areas and setbacks.
5. The project operation and maintenance will not be detrimental to the public health and welfare.
6. The public interest and welfare is benefiting from the proposed use through public space, and housing options and future commercial uses, all of which outweigh individual interests affected by the project.
7. Ingress and egress matches that which is already approved. The project will continue to provide continuity and adequate flow of traffic within the development and also to the adjacent Ashland Park Phase 1 development.
8. The proposed project seeks to add opportunities for pedestrian traffic flow with the use of sidewalks throughout the development along with trails within the development that will provide additional recreational opportunities.
9. Finally, this project will not impede or hinder any development on adjacent properties for uses within the zoning district.

Two (2) full sets of plans were submitted to the Township on March 13, 2019. 11 X 17 copies will be submitted once the Planning Commission date is set to review this proposed amendment.

Any questions, please contact Ben Brower, manager of Peachtree River, at 231-642-5096 or benb@jordanex.com

CIVIL CONSTRUCTION DOCUMENTS
 FOR PROPOSED
ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 GARFIELD TOWNSHIP
 GRAND TRAVERSE COUNTY, MICHIGAN



UTILITIES
 SHERIDY JONES, GAS WATER - GRAND TRAVERSE COUNTY, DOW
 JOHN DAVAZZA, DIRECTOR
 200 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 PHONE: (231)935-6039
 FAX: (231)935-6039
 EMAIL: JON.DAVAZZA@GTRC.COM

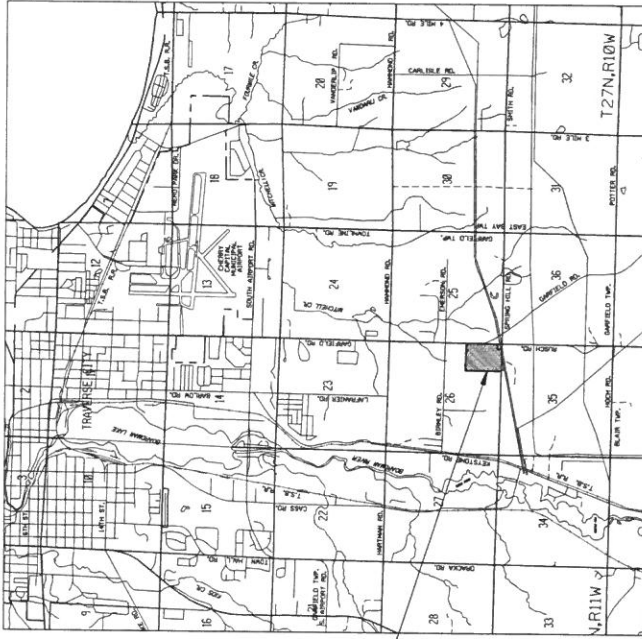
DAVID WILSON, NUMBERS, ENERGY
 857 HASTINGS STREET
 GRAND TRAVERSE CITY, MI 49830
 PHONE: (231)939-6228

GAS - DTE ENERGY
 MATT LOGAN, LANE
 444 KASSAFA, MI 49846
 GRAND TRAVERSE CITY, MI 49830
 EMAIL: LOGAN@DTEENERGY.COM

TELEPHONE - AT&T
 KARY DOWAL, BEEVER
 1000 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 PHONE: (231)941-2707
 FAX: (231)941-2708

EDSON NEWMAN, COMMUNICATIONS
 1000 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 PHONE: (231)932-8130
 FAX: (231)932-8130

DECON, REMEDIATION-WATER, COM
 JEFFREY W. DECON, JR.
 4077 SOUTH STREET
 GRAND TRAVERSE CITY, MI 49830
 PHONE: (616)333-0136, EXT. 114
 FAX: (616)333-0136
 EMAIL: JWD@WESTERTEL-COM.COM



SITE LOCATION

LOCATION MAP
 NOT TO SCALE

DEVELOPER
 PEACHTREE RIVER INVESTMENTS, LLC
 1000 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 BEN BRONER, PROJECT MANAGER
 (231)941-5698

CONTRACTOR
 T&B

DESIGNER
 WADSWORTH, INC.
 1000 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 BRIAN C. SOLIGA, PE
 (231)941-7400

CITY OF GRAND TRAVERSE
 1000 WEST WASHINGTON
 GRAND TRAVERSE CITY, MI 49830
 GRAND TRAVERSE COUNTY

ISSUED FOR:
 PUD AMENDMENT 05/20/19 DCC

GENERAL SHEETS	SHEET INDEX	SHEET NO.
COVER SHEET		1
NOTES & LEGEND SHEET		2
PROPERTY INFORMATION SHEET		3
EXISTING TOPS & DEMOLITION PLAN		4
OVERALL SITE PLAN		5
ON-SITE SANITARY SEWER, WATER SUPPLY, STORM WATER MANAGEMENT		6
SOIL EROSION & SEDIMENTATION CONTROL PLAN		7
SOIL EROSION & SEDIMENTATION CONTROL DETAILS		8
LANDSCAPING PLAN		10
TYPICAL LOT & PARKING DETAILS		11
OPEN SPACE AREAS		12
EXISTING APPROVED PUD OF ALL PHASES		P-3

PROJECT: WADSWORTH BRN C 2018, PE
 DATE: 05/20/19 09:31 AM BY: KALCY, MSJ
 FIELD BOOK INFORMATION

PROJECT NO: ASP3389-02C
 SHEET: 1

WADSWORTH
 1000 West Washington, Grand Traverse City, MI 49830
 (231)941-7400
 www.wadsworthinc.com

PREPARED UNDER THE SUPERVISION OF:

SPECIAL PROVISIONS & GENERAL NOTES

- THE FOLLOWING SPECIAL PROVISIONS ARE TO BE USED DURING THE CONSTRUCTION OF THE PROJECT WHERE THESE SPECIAL PROVISIONS ARE AT A VARIANCE WITH THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS. THESE SPECIAL PROVISIONS SHALL PREVAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
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- EXISTING HOUSE LEADS, SEPTIC TANK OVERFLOWS, STORM DRAIN TILES, AND IRRIGATION SYSTEMS DESTROYED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR RECONNECTED TO THEIR ORIGINAL LOCATION AND SHALL BE CONSIDERED INCLUDED IN OTHER ITEMS.
- ALL EXISTING UTILITY LOCATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNERS OF THE UTILITIES.
- COSTS FOR ANY WORK FOR WHICH THERE IS NO SPECIFIC PAY ITEM IN THE PROPOSAL SHALL BE INCLUDED IN THE PROPOSAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
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CONSTRUCTION NOTES

- REMAIN IN THE R.O.W. EASEMENTS, OWNER'S PROPERTY, OR DESIGNATED STORM SEWER RIGHT-OF-WAY (S.R.O.W.) THROUGHOUT THE CONSTRUCTION PROCESS. THESE ARE AFFECTED BY CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY UTILITY RELOCATIONS OR POLES THAT NEED TO BE HELD, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE INCLUDED IN OTHER ITEMS PER SPECIFICATION SECTION 01 8900 ARTICLE 3.10.
- EXISTING MONUMENT BOXES, WATER VALVES, SANITARY AND STORM MANHOLE COVERS, CATCH BASIN COVERS, AND ALL STRUCTURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. ANY NECESSARY ADJUSTMENTS TO ALL STRUCTURES SHALL BE INCLUDED IN THE PAYMENT FOR RETAINMENT FOR ADJUSTMENT REQUIRED AND REGARDLESS OF WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
- DATE ENERGY SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES. LOCATED WITHIN 15' OF EXISTING GAS MAIN, DATE REPRESENTATIVE TO BE PRESENT ONSITE DURING ALL UTILITY CROSSINGS OF S&W GAS MAIN.
- ALL SANITARY AND STORM SEWER MAINS SHALL BE MAINTAINED UNDER PROPER SEPARATION. ALL MAINS SHALL BE MAINTAINED UNDER PROPER SEPARATION. ALL MAINS SHALL BE MAINTAINED UNDER PROPER SEPARATION.
- ALL WATER MAIN PROFESSIONAL MANHOLE MANHOLES OR STORM SEWER PIPES SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE PIPE.
- ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE PIPE.
- ALL SANITARY SEWER STRUCTURES, AND STORM SEWER PIPES OR STRUCTURAL MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE PIPE.
- PROPER BOTTOM OF COVER OVER SANITARY SEWER AND WATER SERVICE LEADS MUST BE MAINTAINED UNDER PROPER SEPARATION. ALL MAINS SHALL BE MAINTAINED UNDER PROPER SEPARATION.
- WATER SERVICE LEADS SHALL BE MAINTAINED UNDER PROPER SEPARATION. ALL MAINS SHALL BE MAINTAINED UNDER PROPER SEPARATION.
- ALL EXCESSIVE GRADING WILL REQUIRE ADJUSTMENTS TO POSTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXCESSIVE GRADING WILL REQUIRE ADJUSTMENTS TO POSTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.

LEGEND

EXISTING	PROPOSED
--- BENCH MARK	--- BENCH MARK
--- CATCH BASIN	--- CATCH BASIN
--- CATCH MAN	--- CATCH MAN
--- STORM MANHOLE	--- STORM MANHOLE
--- END SECTION	--- END SECTION
--- ELECTRIC HAND HOLE	--- ELECTRIC HAND HOLE
--- GATE VALVE	--- GATE VALVE
--- GUY ANCHOR	--- GUY ANCHOR
--- GAS VALVE	--- GAS VALVE
--- FIRE HYDRANT	--- FIRE HYDRANT
--- IRON MANHOLE	--- IRON MANHOLE
--- LAMP POLE	--- LAMP POLE
--- POWER POLE	--- POWER POLE
--- SKIN	--- SKIN
--- SANITARY MANHOLE	--- SANITARY MANHOLE
--- STUMP	--- STUMP
--- TELEPHONE PEDESTAL	--- TELEPHONE PEDESTAL
--- UNDERGROUND UTILITY MARKER	--- UNDERGROUND UTILITY MARKER
--- WATER METER PIT	--- WATER METER PIT
--- WATER SHUT OFF	--- WATER SHUT OFF
--- CABLE TV PEDESTAL	--- CABLE TV PEDESTAL
--- MONUMENT (SURVEY)	--- MONUMENT (SURVEY)
--- TELEPHONE POLE	--- TELEPHONE POLE
--- BUILDING LINE	--- BUILDING LINE
--- OVERHEAD POWER LINE	--- OVERHEAD POWER LINE
--- EDGE OF GRAVEL	--- EDGE OF GRAVEL
--- WATER MAIN	--- WATER MAIN
--- GAS MAIN	--- GAS MAIN
--- UNDERGROUND TELEPHONE	--- UNDERGROUND TELEPHONE
--- ASPHALT	--- ASPHALT
--- CONCRETE	--- CONCRETE
--- AGGREGATE	--- AGGREGATE
--- TOP OF BERM	--- TOP OF BERM
--- BOTTOM OF BERM	--- BOTTOM OF BERM
--- GUARDRAIL	--- GUARDRAIL
--- CHECK DAM	--- CHECK DAM
--- SANITARY SEWER / DRAINAGE	--- SANITARY SEWER / DRAINAGE
--- STORM SEWER / DRAINAGE	--- STORM SEWER / DRAINAGE

STORM SEWER NOTES

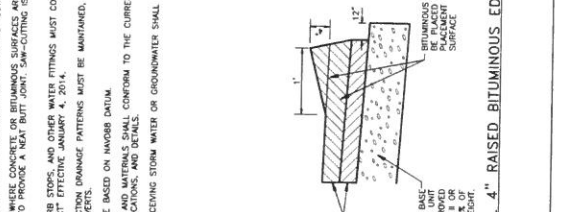
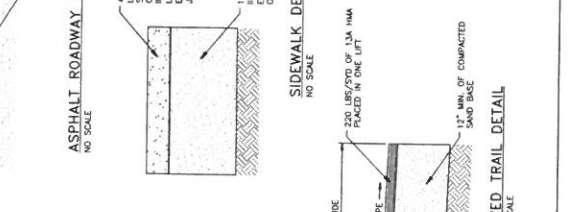
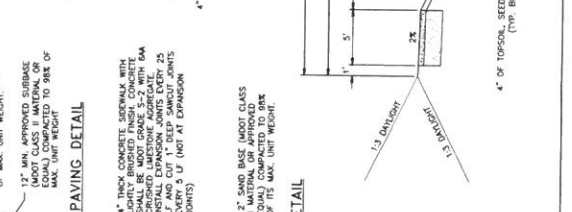
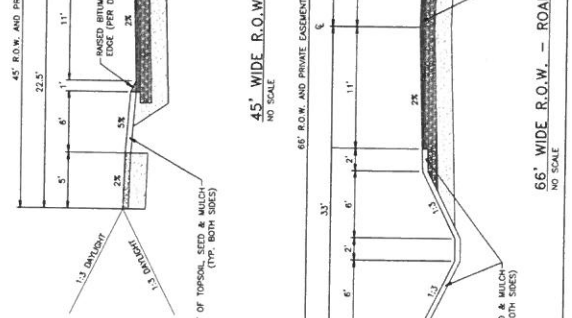
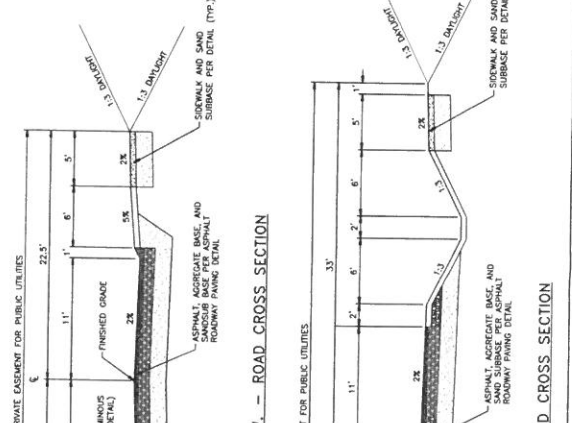
- STORM SEWER MATERIALS AND CONSTRUCTION SHALL FOLLOW CURRENT MOOT STANDARDS, SPECIFICATIONS, AND DETAILS.
- END SECTIONS SHALL BE MADE OF THE SAME MATERIAL AS THE PIPE TO WHICH THEY CONNECT (E.G. CONCRETE, HP STORM).
- FOR STORM SEWER PIPES WITH END SECTIONS, THE INDICATED PIPE LENGTH SHALL BE SHORTER, DEPENDING ON THE LENGTH OF THE END SECTION FOR THE INDICATED MATERIAL AND DIAMETER.
- END SECTIONS SHALL BE PLACED AT THE SAME SLOPE AS THE PIPE TO WHICH THEY CONNECT.
- ALL STORM SEWER PIPE SHALL BE HP STORM POLYPROPYLENE UNLESS INDICATED OTHERWISE.

REV#	DATE	DESCRIPTION

MADE WITH TRIM

2131 W. WASHINGTON
ANN ARBOR, MI 48104
734.769.3000

PROJECT MARKER BRONX C 505A, P 2 - PLOTED 5/20/2019 8:35 AM BY WHOLEY, N055
PROJECT MARKER BRONX C 505A, P 2 - PLOTED 5/20/2019 8:35 AM BY WHOLEY, N055



PEACHTREE RIVER INVESTMENTS, LLC
1503 NORTH GARFIELD ROAD
TRAVERSE CITY, MI 49696

ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
NOTES, LEGEND, ROAD DETAILS

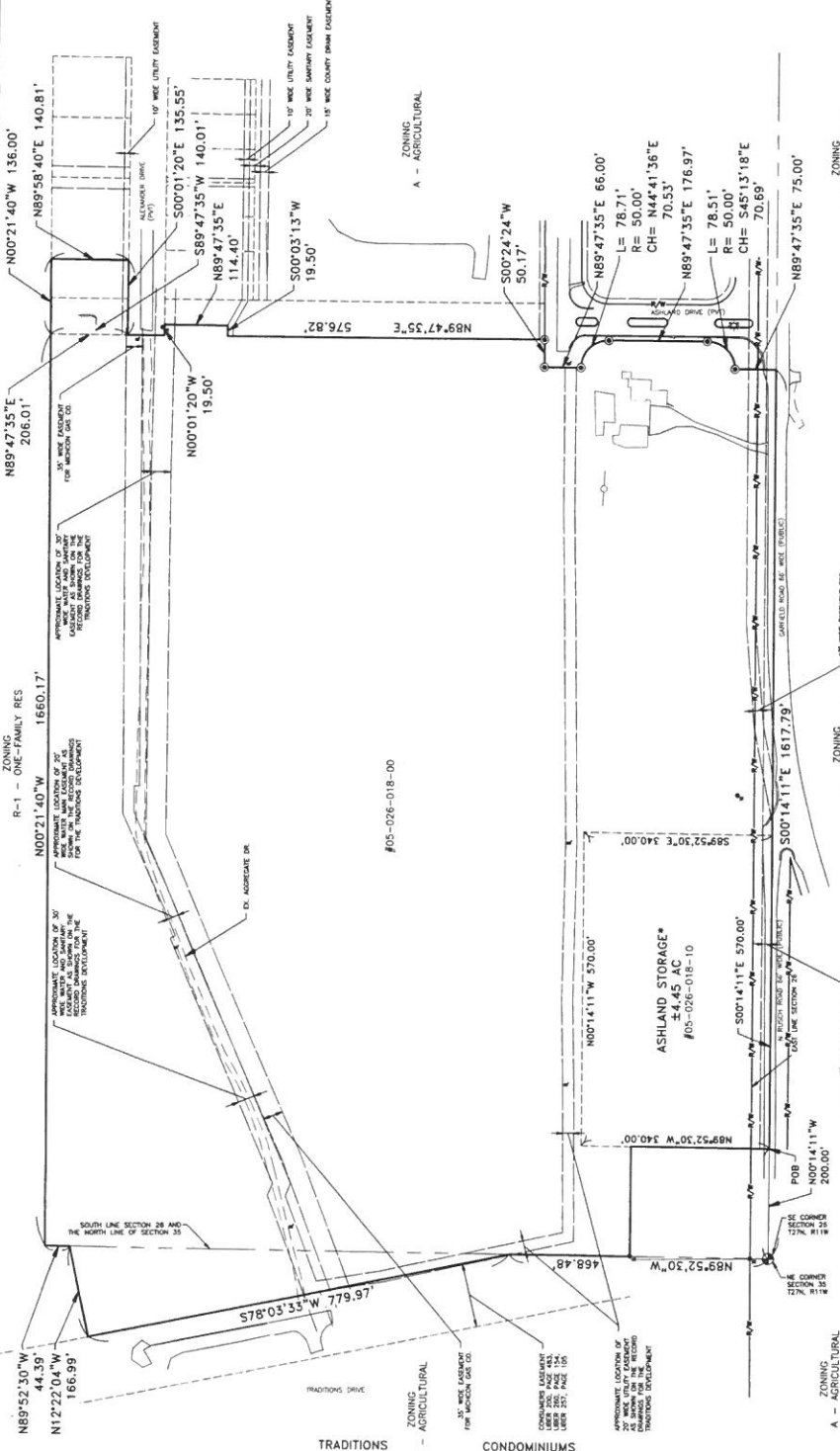
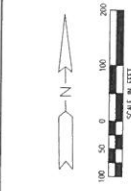
PROJECT MARKER BRONX C 505A, P 2 - PLOTED 5/20/2019 8:35 AM BY WHOLEY, N055

REV#	DATE	DESCRIPTION

1800 East Franklin Highway, Suite 200
Ann Arbor, MI 48106
313.747.7000
www.wadetrims.com

PROPERTY INFORMATION SHEET
 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 TRAVERSE CITY, MI 49696
 PEACHTREE RIVER INVESTMENTS, LLC

ASHLAND PARK P.U.D.
 FILED FOR: 06/27/18
 FILE NUMBER: 06/27/18-02C
 SHEET NO. 2
 SHEET ASP3389-02C



PROPERTY INFORMATION FOR ASHLAND STORAGE (SHOWN FOR CONCEPTUAL PURPOSES ONLY).
 PROPERTY DESCRIPTION
 PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 26; THENCE N89°52'30"W, 468.48 FEET ALONG THE SOUTH LINE OF SAID SECTION 26 TO THE POINT OF BEGINNING; THENCE S78°03'33"W, 779.97 FEET ALONG THE WEST LINE OF SAID SECTION 26 TO THE POINT OF BEGINNING; THENCE N12°22'04"W, 166.99 FEET ALONG SAID NORTHWEST CORNER OF SAID SECTION 26 TO THE POINT OF BEGINNING; THENCE N89°52'30"W, 44.39 FEET ALONG SAID SOUTH SECTION LINE TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION 26; THENCE S78°03'33"W, 166.99 FEET ALONG SAID WEST LINE OF SAID SECTION 26 TO THE POINT OF BEGINNING; THENCE N89°52'30"W, 468.48 FEET ALONG SAID WEST LINE OF SAID SECTION 26 TO THE POINT OF BEGINNING; THENCE N89°52'30"W, 19.50 FEET; THENCE N89°47'35"E, 114.40 FEET; THENCE S00°03'13"W, 19.50 FEET; THENCE N89°47'35"E, 576.82 FEET; THENCE N89°47'35"E, 176.97 FEET; THENCE S46°13'18"E, 70.89 FEET; THENCE S00°24'24"W, 50.17 FEET; THENCE N89°47'35"E, 66.00 FEET; THENCE S00'14'11"E, 1617.79 FEET; THENCE N007'14'11"W, 200.00 FEET; THENCE N007'21'40"W, 136.00 FEET; THENCE N89°47'35"E, 140.01 FEET; THENCE S89°47'35"E, 135.55 FEET; THENCE S89°47'35"E, 140.01 FEET TO THE POINT OF BEGINNING.
 CONTAINING 31.87 ACRES MORE OR LESS.
 SUBJECT TO THE RIGHT-OF-WAY OF NORTH GARFIELD ROAD OVER A PORTION THEREOF.
 SUBJECT TO THE RIGHT-OF-WAY OF NORTH GARFIELD ROAD OVER A PORTION THEREOF.
 SUBJECT TO A 35 FOOT EASEMENT AS RECORDED IN MASTER DEED FOR ASHLAND PARK NO. 1 AS RECORDED IN LIBER 1804, PAGE 7.
 SUBJECT TO AND TOGETHER WITH AGREEMENTS, COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD.

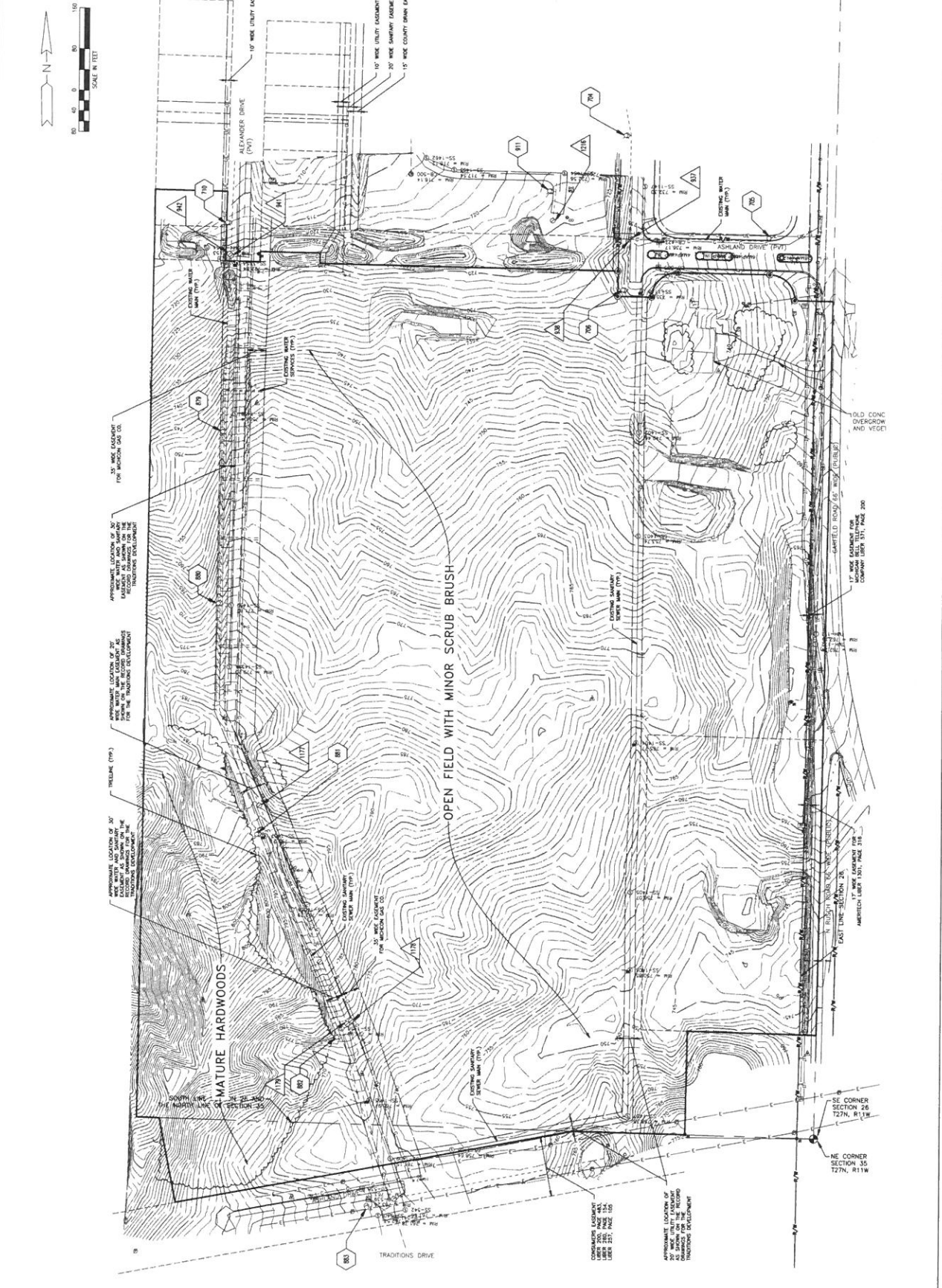
TOGETHER WITH A TRACT OF LAND BEGINNING AT THE NW CORNER OF THE PARCEL DESCRIBED ABOVE; THENCE N02°14'07"W, 136.00 FEET; THENCE N89°36'42"E, 162.81 FEET; THENCE S00°01'20"E, 135.55 FEET; THENCE S89°47'35"E, 140.01 FEET TO THE POINT OF BEGINNING.
 CONTAINING 31.87 ACRES MORE OR LESS.
 SUBJECT TO THE RIGHT-OF-WAY OF NORTH GARFIELD ROAD OVER A PORTION THEREOF.
 SUBJECT TO THE RIGHT-OF-WAY OF NORTH GARFIELD ROAD OVER A PORTION THEREOF.
 SUBJECT TO A 35 FOOT EASEMENT AS RECORDED IN MASTER DEED FOR ASHLAND PARK NO. 1 AS RECORDED IN LIBER 1804, PAGE 7.
 SUBJECT TO AND TOGETHER WITH AGREEMENTS, COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD.

PEACHTREE RIVER INVESTMENTS, LLC
1503 NORTH GARFIELD ROAD
TRAVERSE CITY, MI 49696
ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
EXISTING TOPO & DEMOLITION PLAN



1000 East Tenthers Highway, Suite 200
221 Park 7 West
Traverse City, MI 49606
www.wadetrim.com

REV#	DATE	DESCRIPTION



CONFORMANCE EASEMENT OF 30' WIDE UTILITY EASEMENT OVERGROW FOR THE TRADITIONS DEVELOPMENT

APPROXIMATE LOCATION OF 30' WIDE UTILITY EASEMENT OVERGROW FOR THE TRADITIONS DEVELOPMENT

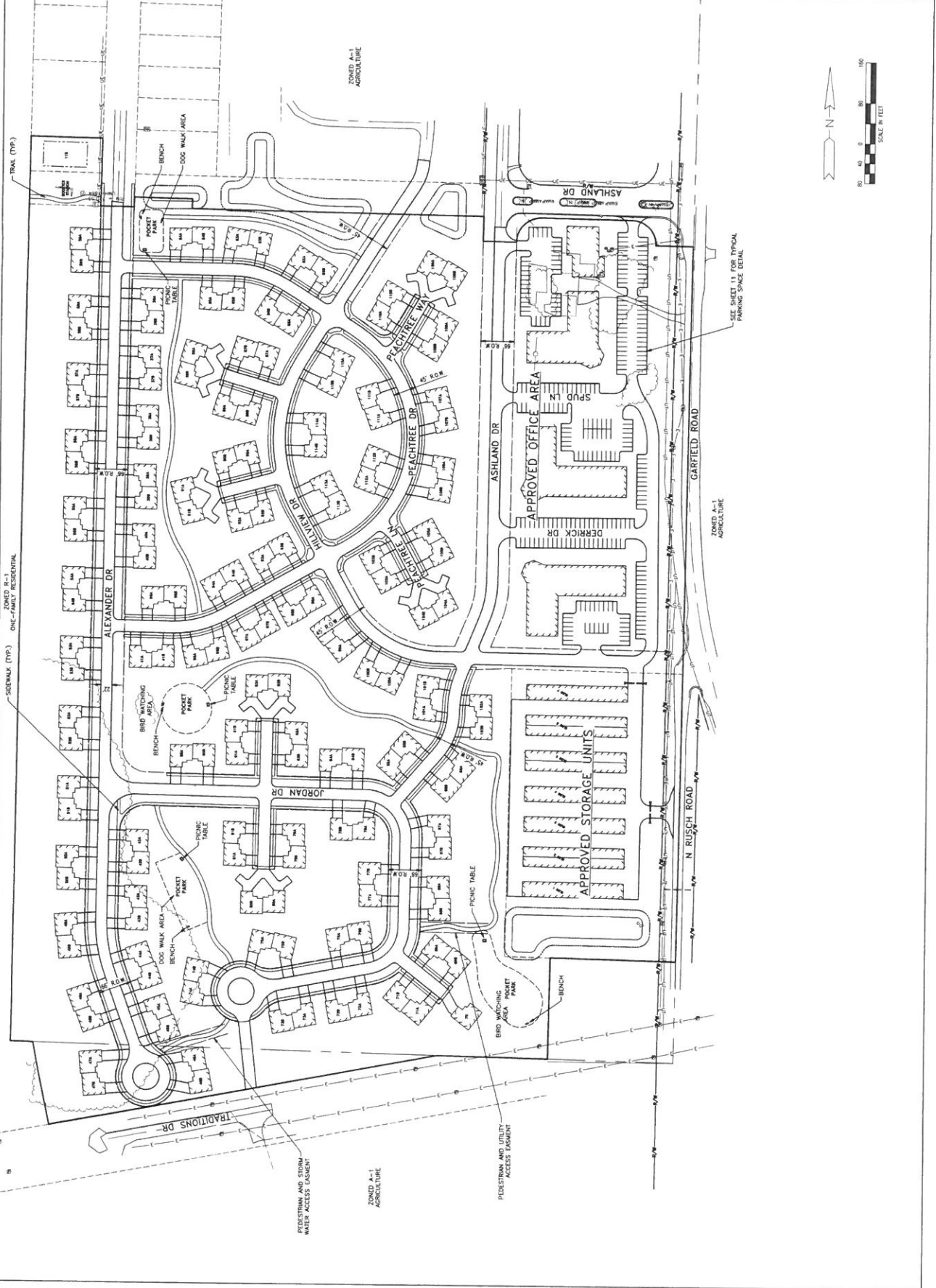
APPROXIMATE LOCATION OF 30' WIDE UTILITY EASEMENT OVERGROW FOR THE TRADITIONS DEVELOPMENT

PROJECT MANAGER: SHAWN C. SOUTER, PE
FIELD BOOK: 4/24/2018
PLOTTED: 5/10/2018 9:18 AM BY: WHALEY, R535
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PROJECT: 1503 NORTH GARFIELD ROAD TRAVERSE CITY, MI 49696 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT OVERALL SITE PLAN



REV#	DATE	DESCRIPTION



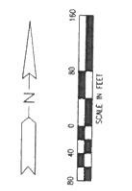
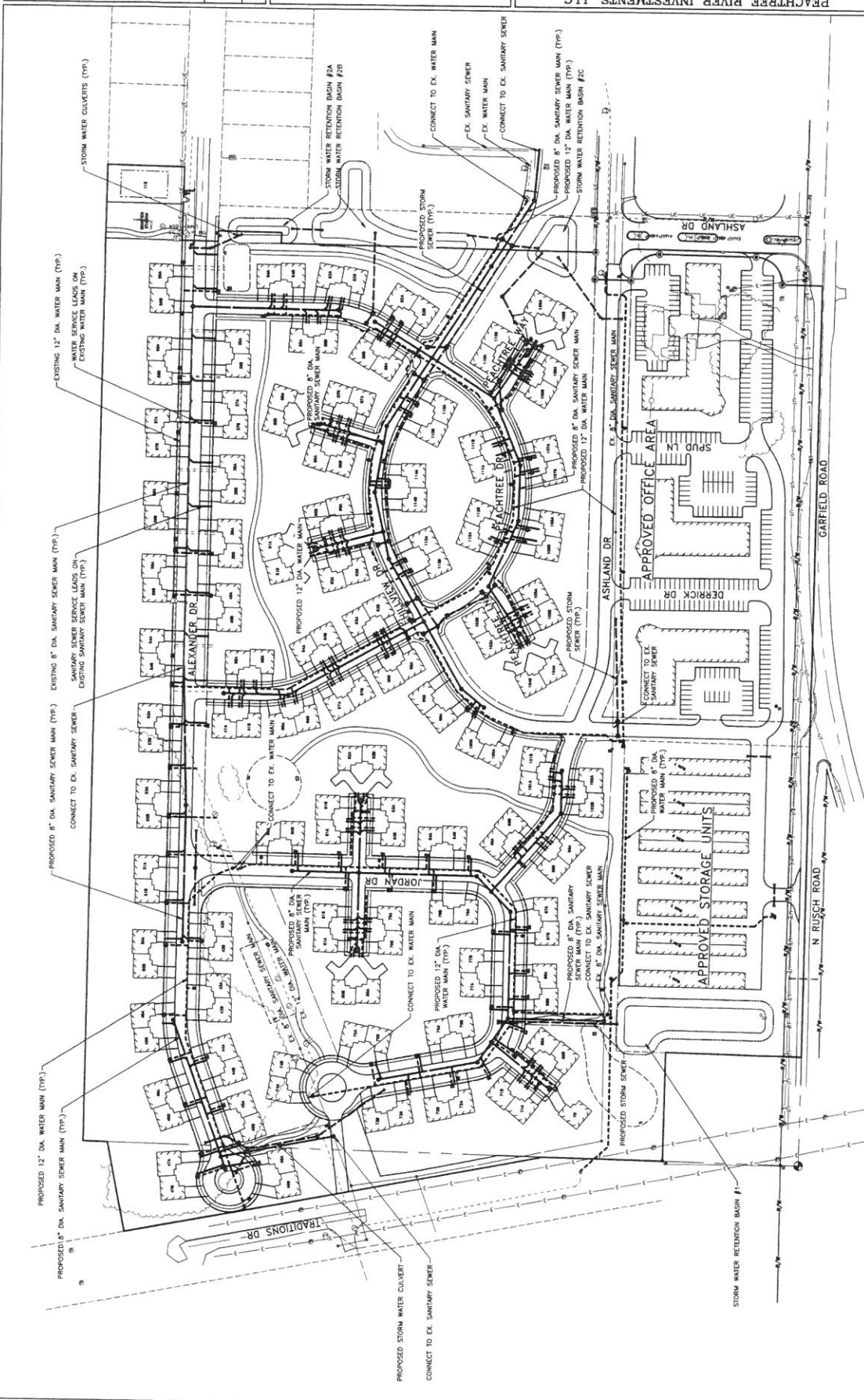
REV	DATE	DESCRIPTION



 1500 East Tropicana, Suite 2200
 Las Vegas, NV 89119
 (702) 438-7000
 www.made-trim.com

PEACHTREE RIVER INVESTMENTS, LLC
 1503 NORTH GARFIELD ROAD
 TRAVERSE CITY, MI 49696
 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 OVERALL SANITARY SEWER, WATER SUPPLY,
 STORM WATER MANAGEMENT
 ASHLAND PARK P.U.D.
 PREP NUMBER: 02/07/19 02C

SHEET
9
 ASP3389-02C

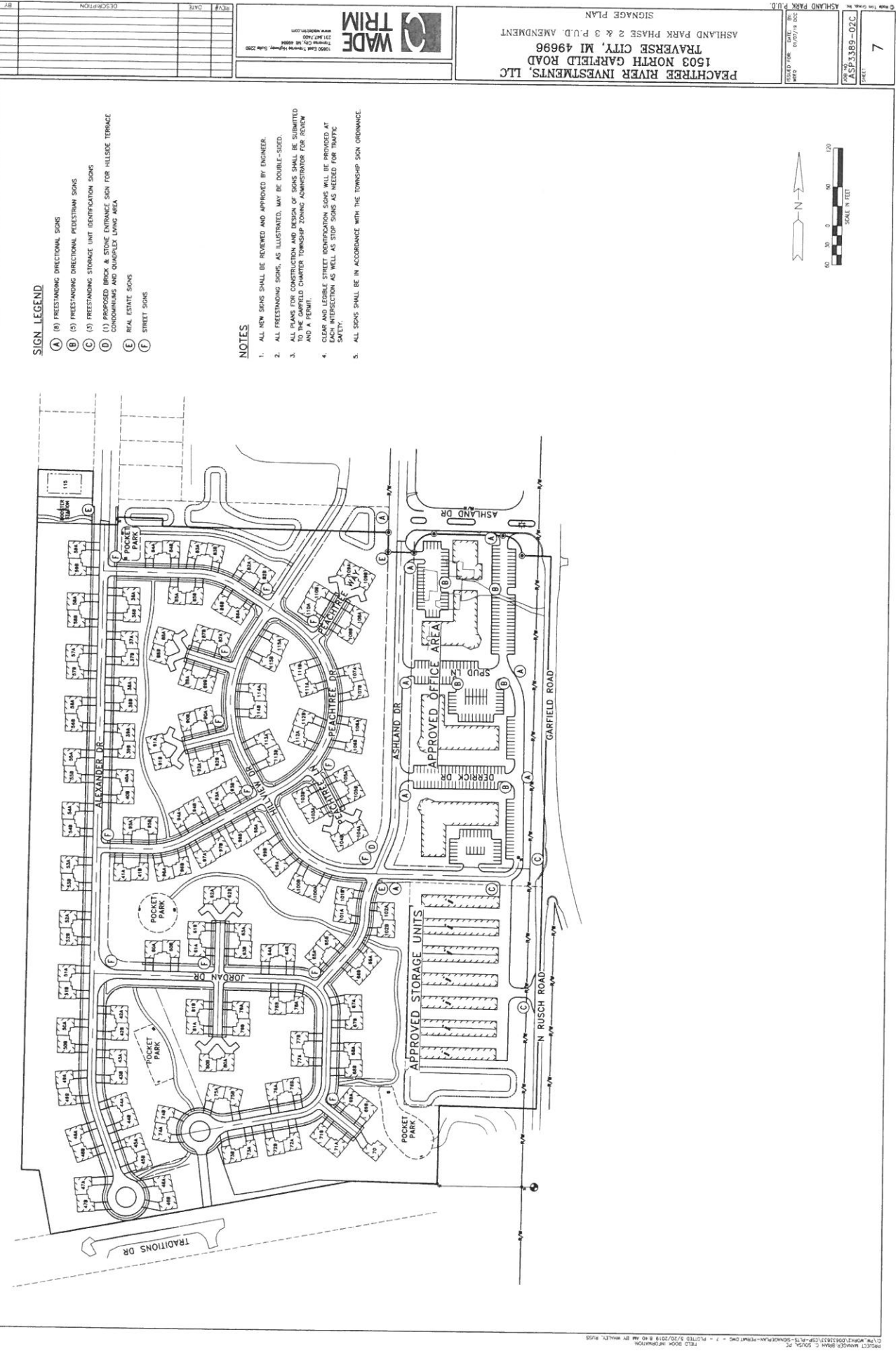


REV#	DATE	DESCRIPTION

PROJECT MANAGER: G. SPOCK, PE
 FIELD BOOK WORKBOOK
 THIS BOOK WORKBOOK
 DATE: 03/20/2018 8:49 AM BY: MUELK, MISS
 C:\WORK\1081831\3\PE\13-SIGNAGE\MAIN-TRIM.DWG - 7 - LITTED 3/20/2018 8:49 AM BY: MUELK, MISS

PEACHTREE RIVER INVESTMENTS, LLC
 1503 NORTH GARFIELD ROAD
 TRAVERSE CITY, MI 49696
 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 SIGNAGE PLAN

ASHLAND PARK P.U.D.
 SHEET
 ASP-3389-02C
 DATE: 03/27/18
 SCALE: AS SHOWN



- SIGN LEGEND**
- (A) FREESTANDING DIRECTIONAL SIGNS
 - (B) FREESTANDING DIRECTIONAL PEDESTRIAN SIGNS
 - (C) FREESTANDING STORAGE UNIT IDENTIFICATION SIGNS
 - (D) PROPOSED BRICK & STONE ENTRANCE SIGN FOR HOUSE TERRACE CONDOMINIUMS AND QUADPLEX LIVING AREA
 - (E) REAL ESTATE SIGNS
 - (F) STREET SIGNS

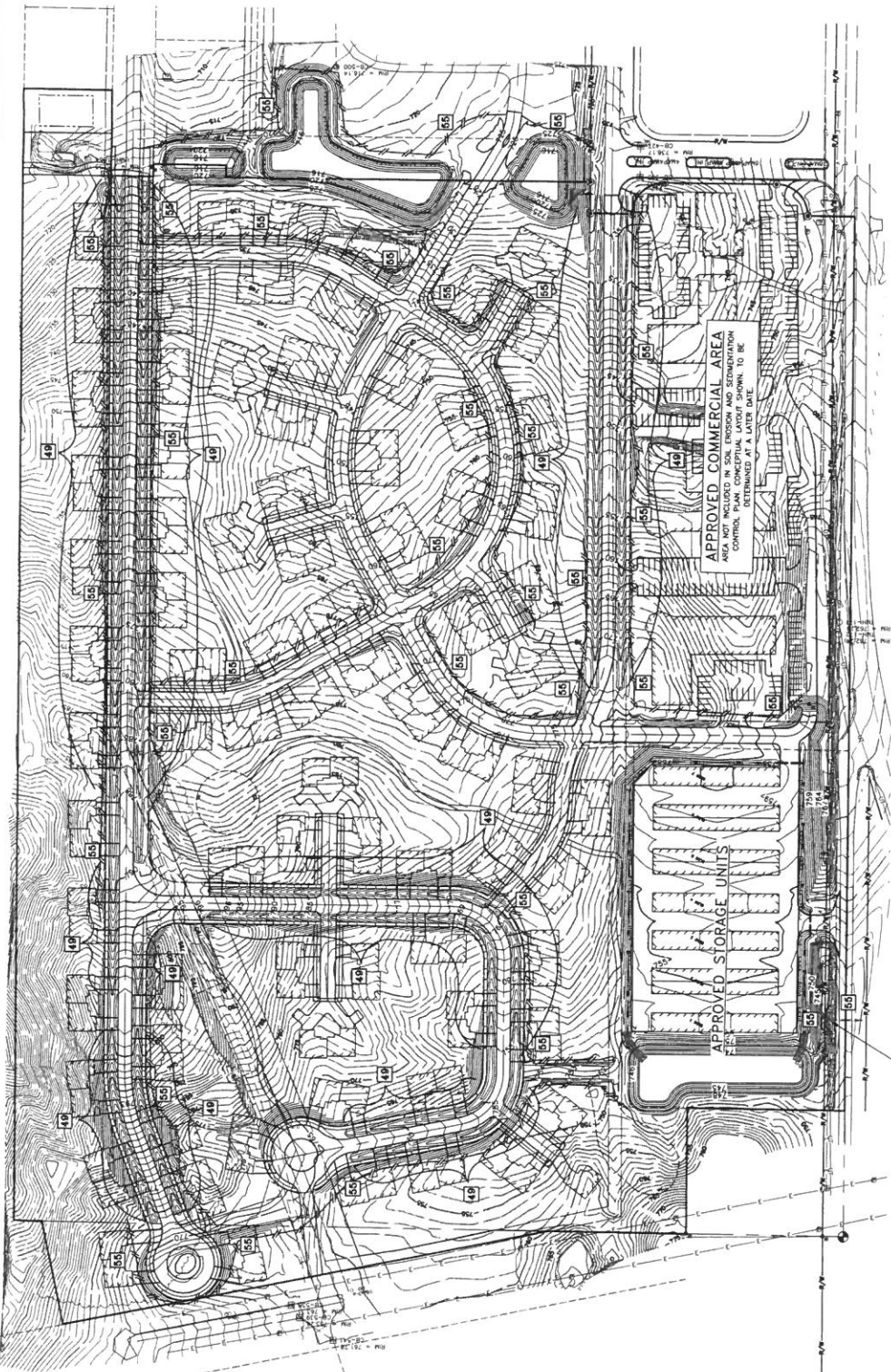
- NOTES**
1. ALL NEW SIGNS SHALL BE REVIEWED AND APPROVED BY ENGINEER.
 2. ALL FREESTANDING SIGNS, AS ILLUSTRATED, MAY BE DOUBLE-SIDED.
 3. ALL PLANS FOR CONSTRUCTION AND DESIGN OF SIGNS SHALL BE SUBMITTED TO THE TOWNSHIP ZONING ADMINISTRATOR FOR REVIEW AND A PERMIT.
 4. CLEAR AND LEGIBLE STREET IDENTIFICATION SIGNS WILL BE PROVIDED AT THE DISCRETION OF THE TOWNSHIP ZONING ADMINISTRATOR AS WELL AS STOP SIGNS AS NEEDED FOR TRAFFIC SAFETY.
 5. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE TOWNSHIP SIGN ORDINANCE.



3900 East Trimmer Highway, Suite 200
 Grand Rapids, MI 49508
 616.451.7400
 www.wadetrim.com



PROJECT MANAGER: BRUCE C. SOWS, PE
FIELD SUPERVISOR: JAMES J. WILSON, PE
DATE: 05/20/2019 8:40 AM BY: WILSON, JAMES



REV#	DATE	DESCRIPTION

WADE TRIM
 1980 East Trimmer Highway, Suite 200
 Troy, MI 48068
 248.447.7600
 www.wadetrim.com

PEACHTREE RIVER INVESTMENTS, LLC
 1503 NORTH GARFIELD ROAD
 TRAVERSE CITY, MI 49696
 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 SOIL EROSION & SEDIMENTATION CONTROL PLAN

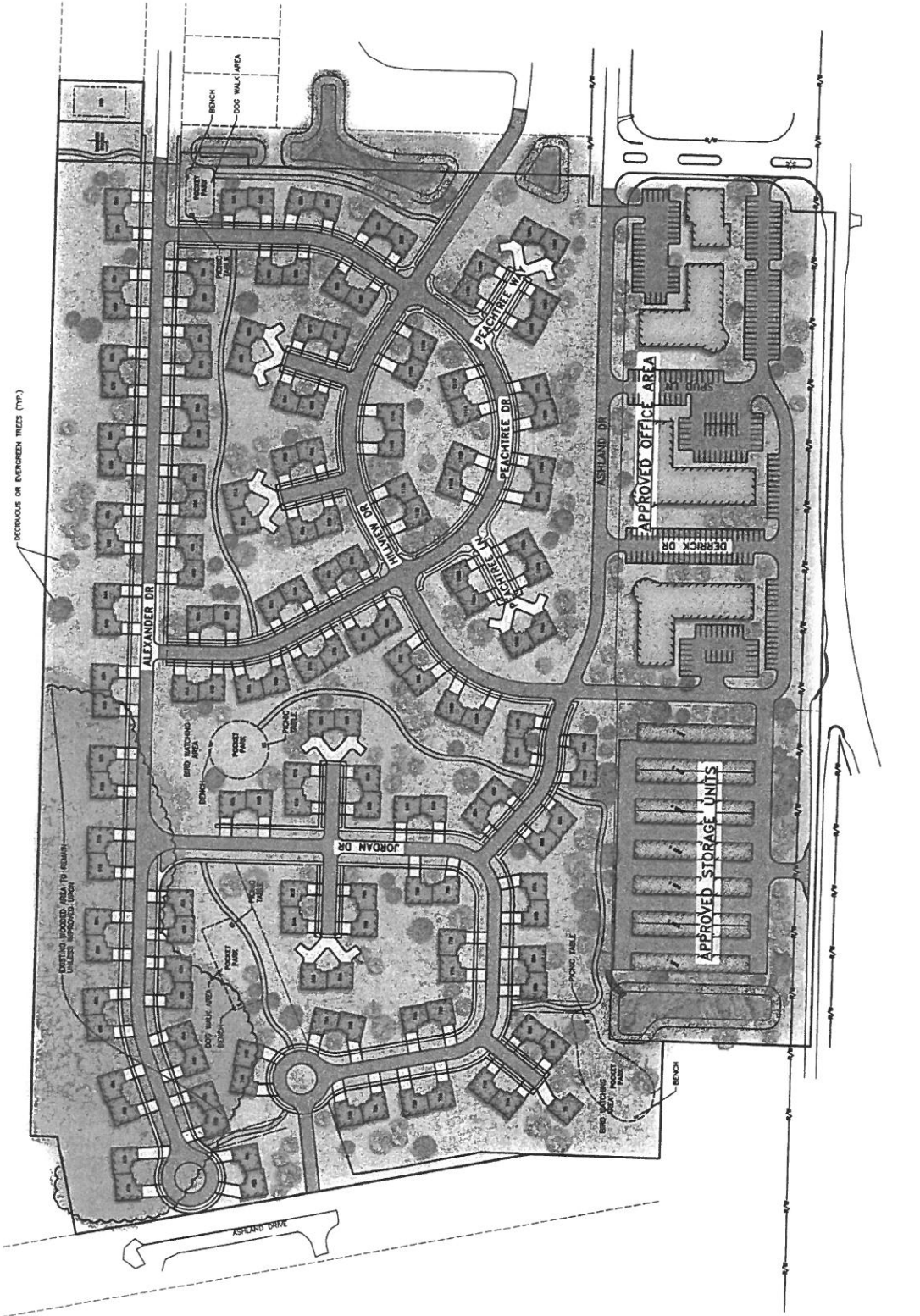
PROJECT NO: ASP-3-689-02C
 SHEET NO: 8
 DATE: 05/20/19
 BY: WILSON, JAMES

REV#	DATE	DESCRIPTION



PEACHTREE RIVER INVESTMENTS, LLC
1503 NORTH GARFIELD ROAD
TRAVERSE CITY, MI 49696
ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
LANDSCAPE PLAN

PROJECT: ASP3389-02C
SHEET: 10
DATE: 07/17/20
DRAWN BY: [Name]
CHECKED BY: [Name]



NOTE:
PLANTED TREES WILL BE TYPICAL SPECIES SUCH AS CHERRY, BIRCH, SPRUCE, BLUE SPRUCE, HONEY SPRUCE, ETC. SIZES WILL VARY.
The trails will be maintained and will be composed of mowed grass pathways

SCISSOR CUT EVERGREEN TREES (TYP.)

EXISTING WOODED AREA TO REMAIN
UNLESS IMPROVED (UPON)

BIRD WATCHING AREA

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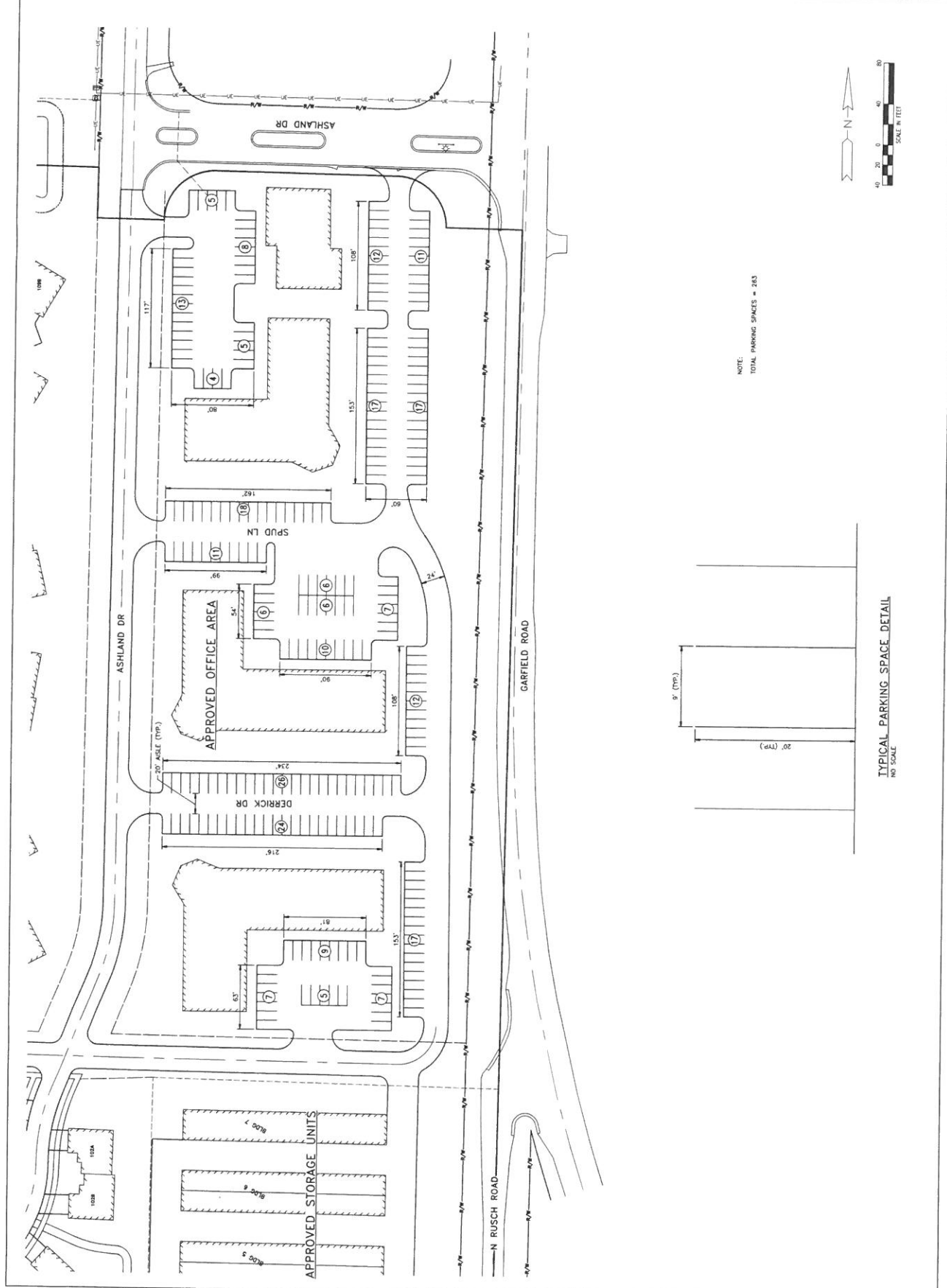
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REV	DATE	DESCRIPTION



TYPICAL PARKING SPACE DETAIL
 NOT SCALE

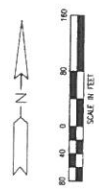
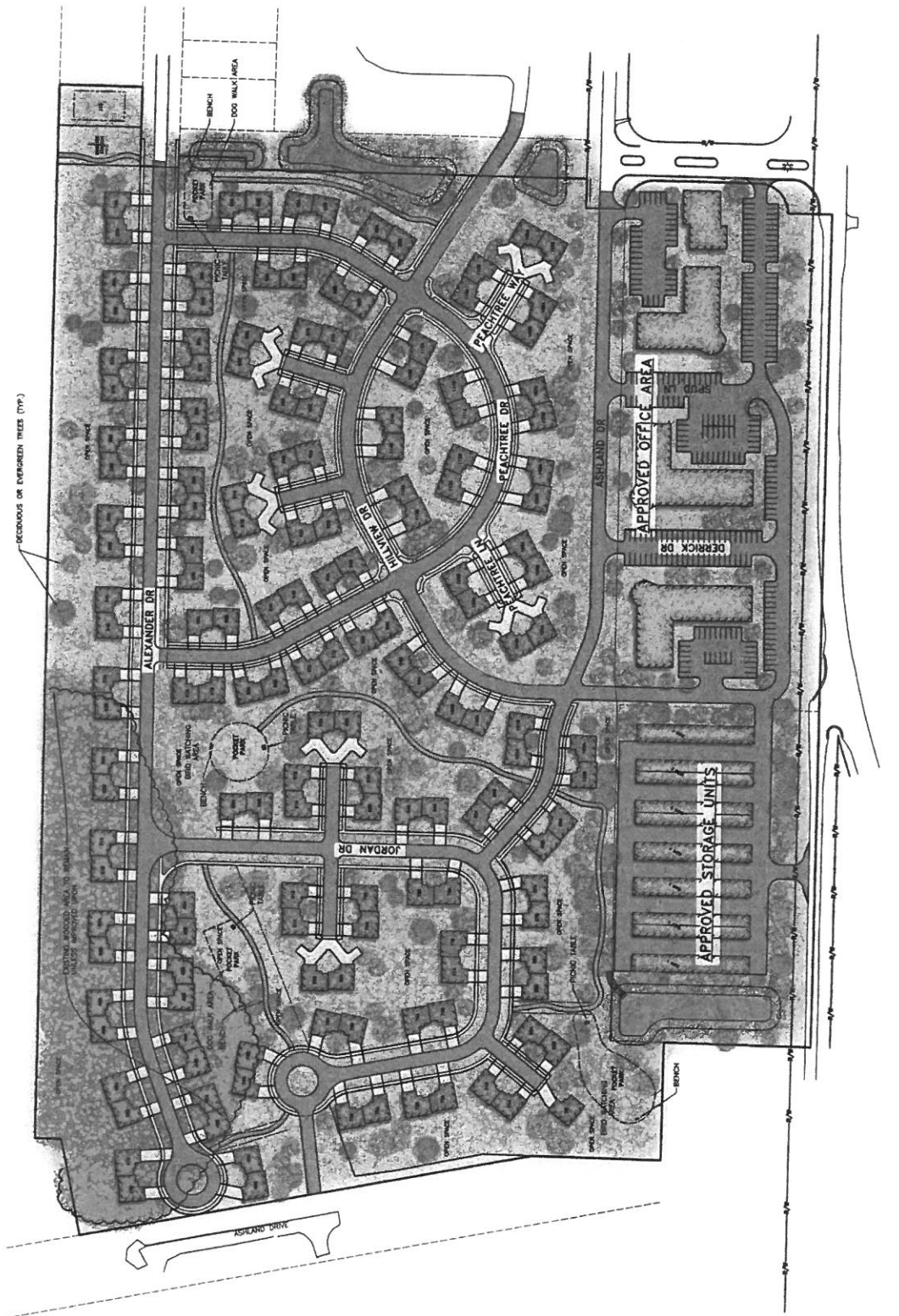
NOTE:
 TOTAL PARKING SPACES = 263

REV	DATE	DESCRIPTION




PEACHTREE RIVER INVESTMENTS, LLC
 1503 NORTH GARFIELD ROAD
 TRAVERSE CITY, MI 49696
 ASHLAND PARK PHASE 2 & 3 P.U.D. AMENDMENT
 OPEN SPACE AREAS

PROJECT NO. ASP3389-D2C
 SHEET 12



AREA CALCULATIONS:
 TOTAL ACRES: 50.82
 ACRES OF OPEN SPACE: 20.39
 PERCENTAGE OF OPEN SPACE: 40.1%

 Charter Township of Garfield Planning Department Report No. 2019-62			
Prepared:	June 5, 2019	Pages:	4
Meeting:	June 12, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	French Manor/Terra Energy PUD Major Amendment-Public Hearing		
Applicant:	Burdco, Inc.		
Owner:	Chartwell Properties, Inc.		
File No.	SUP-1995-03B		
Parcel No.	05-023-013-01		

PURPOSE OF APPLICATION:

A request to amend a Planned Unit Development (PUD) is being considered according to Section 423.G of the Zoning Ordinance. Staff has determined that this amendment constitutes a major amendment which requires a public hearing and Planning Commission approval. The application requests an amendment to the Terra Energy PUD to provide a single-story 80-unit assisted living facility. Phase I development consists of 30 units. Future phases of the development will expand to a total of 80 units for complete build-out of the facility. The majority of the future development will occur into the west half of the property with some amount of expansion to the east of the currently proposed facility.

SUBJECT PROPERTY:

The subject parcel is approximately 3.78 acres and located in the Terra Energy (PUD) east off LaFranier Road. Access to the parcel is from Terra Road which is east off LaFranier Road. Existing zoning of the parcel is R-3 Multiple Family Residential. The future land use designation of the parcel in accordance with the Master Plan is High Density Residential.

Aerial image of the subject property (property lines highlighted in blue):



Aerial image of the subject property (property lines highlighted in blue):



BACKGROUND:

The Terra Energy PUD was approved in 1995 and amended in 1997. The subject parcel was originally planned for “local business” use including retail establishments, restaurants, offices, etc.

1995 Terra Energy PUD

The project, approved in 1995, was a multiphase project that incorporated office, residential and commercial uses. The first phase only included the construction of an office building which is currently occupied by Grand Traverse County and functions as its Public Services Building.

1997 Terra Energy PUD Amendment

The project was amended in 1997 to accommodate 44-unit residential duplexes located at the east end of the PUD. There have been no other amendments since 1997.

60 Percent Requirement

With an application to amend an approved PUD, the application shall also include written consent to the application by the owner(s) of at least sixty (60) percent of approved development sites or land area within the planned development. In this case, the application has the consent of the owner of the subject site along with the consent of Grand Traverse County which owns a portion of the PUD. Together these two owners cover 65% of the PUD.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In the section that follows, staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress:

Ingress and egress is provided directly onto Terra Drive by two 20-foot wide driveways. A 20-foot wide gravel fire lane is being proposed along the north property line of the property off of LaFranier Road. An

emergency access gate with Knox box will be installed near the drive entrance at LaFranier Road and another emergency access gate with Knox box at the northeast corner of the site which abuts the Village Glen apartments to the north.

Vehicular and Bicycle Parking:

Parking areas for assisted living facilities are not clearly defined in the Zoning Ordinance. However, the Ordinance does provide the following similar parking requirements:

- Nursing, convalescent homes with a minimum required parking of 1 for each four (4) beds and a maximum parking of 1 for each two (2) beds
- Housing for the elderly with a required parking of 1 per dwelling unit and a maximum parking of 2.0 per dwelling unit

The Township Zoning Administrator has the ability to determine the appropriate number of spaces in the case where a use is not defined by the parking tables. In this case, the Zoning Administrator recommended a parking measure that is closer to the nursing, convalescent homes requirement. The overall plan meets the parking requirement for the facility. Twenty (20) parking spaces is sufficient for this phase with a total build-out of forty (40) parking spaces. In addition to vehicle parking, bicycle parking is provided.

Dumpster Enclosure:

The proposed dumpster enclosure is located on the east end of the proposed parking area.

Pedestrian Circulation:

A sidewalk six (6) feet in width is proposed along the entire frontage of the property on LaFranier Road and a sidewalk five (5) feet in width along Terra Road from LaFranier Road to about the middle of the lot (between the two driveways).

Landscaping:

The "Type C" buffers along the north, east, and west property lines meet the quantity requirements and intent of the Ordinance. The Type "B" along the south property line also meets the quantity requirements and intent of the Ordinance. Crediting of existing trees has been provided. As future phases are developed, the landscaping plan will have to be reviewed as it will be impacted by new building footprints.

As a Special Use Permit, the Planning Commission does have the authority to require additional landscaping at any location if determined to be necessary to meet the intent of the Ordinance.

Lighting:

Pursuant to Section 517 of the Ordinance, all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale. All proposed lamps are proposed at 3,000 K.

Sewer and Water:

Existing and proposed utilities are provided.

Stormwater:

Parking lot stormwater runoff will be managed completely onsite via a storm basin located at the east side of the parking lot.

Snow Storage:

Snow storage is provided at the east edge of the parking lot.

RECOMMENDATION:

The purpose of this item being placed on tonight's agenda is to hold a public hearing on the major amendment application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application:

MOTION TO direct Staff to prepare Findings of Fact for application SUP-1995-03B for consideration at the July 10, 2019 Regular Meeting of the Planning Commission.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Public Hearing notice dated May 26, 2019
2. Project Narrative and Impact Statement dated April 29, 2019
3. 11" X 17" plan set provided by applicant dated April 29, 2019

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231) 946-2000
Fax (231) 946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/15/19 10:40 by dling

Acct #: 5508

Ad #: 519953

Status: New WHOLD WHOI

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN

NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on June 12, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Peninsula Construction & Design on behalf of Living Hope Church requesting a Special Use Permit for a proposed 13,500 square foot addition to the Living Hope Church located at 3050 W South Airport Road, Parcel ID # 28-05-105-001-00.
2. Consideration of an application received from Munson Healthcare Children's Center for approval of a Special Use Permit ("SUP") to use an existing 9,256-square foot building for a proposed employer supported Child Development Center for Munson Staff. The property is located at 5222 North Royal Drive, Parcel ID # 05-347-008-00.
3. Consideration of an application received from Burdco, Inc. on behalf of Chartwell Properties, LLC requesting a major amendment to a Planned Unit Development for a proposed 80 unit Assisted Living Facility to be located in the Terra Energy PUD which is east off of Lafranier Road, parcel ID# 05-023-013-01.
4. Consideration of an application received from Peachtree River Investments, LLC requesting a major amendment to Phase 2 and Phase 3 of the Ashland Park Planned Unit Development by replacing the 2001 original approved mix of 124 quadplex residential units, 42 duplex residential units, and 21 single-family residential units with a proposed new pattern consisting of 158 duplex residential units. The property is located at the intersection of Birmley Road and Garfield Road, parcel ID# 05-026-018-00.
5. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

May 26, 2019-1T

519953

French Manor - Terra

Assisted Living Facility

An 80-Unit Assisted Living Facility

PUD Amendment and Special Use Permit Application

Submitted to
The Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684
231-941-1620

Mansfield
Land Use Consultants

830 Cottageville Drive
Traverse City, MI 49684
P: 231-946-9300
F: 231-946-8025
T: www.mansfieldps.com

4/29/2019

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Project Team	pg. 2
Impact Assessment	pg. 3
Regulations Summary	pg. 4
Vicinity Maps	pg. 7
Basis for Determination	pg. 9

Project Team

Property Owner:

Chartwell Properties, LLC
121 E. Front St.
Traverse City, MI 49684

Applicant:

Burdco, Inc.
Mike Brown
1222 Veterans Dr., Suite A
Traverse City, MI 49684
Phone: (231) 941-9074
Email: mbrown@burdco.com

Planning and Engineering Consultant:

Mansfield Land Use Consultants
Dusty Christensen, LLA
PO Box 4015
Traverse City, MI 49685
Phone: (231) 946-9310 x 1008
Email: dusty@maaeps.com

Impact Assessment

The applicant is proposing to construct a single-story 80-unit assisted living facility and related site improvements. The first phase of the project incorporates 30 units. The first phase of the facility consists of primarily shared, public spaces in the western portion of the proposed building and residents' quarters in the two wings extending towards the east of the property. Future project phases would incorporate two new residents' wings on the west side of the building and extensions of the two eastern wings. The total number of assisted living units upon complete build-out of the facility is 80.

The 3.78-acre project site is located on Terra Road, at the northeast corner of Terra and LaFranier Road. The area is an established corridor with public utilities and a mix of residential, institutional, and utility uses.

Surrounding land uses include existing single-family, duplex, and multiple-family residential uses to the north and east, and mobile home, multiple-family residential, assisted living, and governmental office uses to the west and south.

The project site is a vacant parcel. The ground is relatively flat with excellent draining Rubicon sandy soils. The site has scattered trees and trees of good quality will be preserved during construction where feasible. The project will be served by municipal sewer and water. Stormwater will be managed on site per the standards of the ordinance.

The proposed facility will employ 6 caretakers on a maximum shift and 2 kitchen staff for meal preparation and service. Maximum anticipated visitor traffic is 6-8 at any one time.

The project site was included in the existing Terra Energy Planned Unit Development (PUD) that was approved in the mid 1990's. That PUD identified the project site as the location of "local business" uses. In the current Zoning Ordinance, the closest correlation to "local business," (a zoning district in the previous Zoning Ordinance) is the Local Commercial zoning district. This district allows Adult Care Facilities and Institutional uses by Special Use Permit. A copy of the originally approved PUD plan is included in this submission.

Regulations Summary

Project Address:

Terra Road
Traverse City, MI 49686

Project Parcel:

Part of Tax ID 28-05-023-013-01

Project Size:

3.78 acres

Legal Description:

A certain parcel of land in part of the North ½ of the Southwest ¼ of the Northeast¼, Section 23, T27N, R11W, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

Commencing at the North ¼ corner of said Section 23, thence along the North-South ¼ line of said Section, S 00°40'32" E, 1320.98 feet to the POINT OF BEGINNING; thence continuing along said North-South¼ line and the centerline of La Franier Road, S 00°40'32" E, 287.49 feet; thence N 89°23'04" E, 416.03 feet; thence Northeasterly along a curve to the left, a distance of 108.19 feet with a radius of 247.00 feet and a long chord of N 76°50'09" E, 107.33 feet; thence continuing Northeasterly on a curve to the right a distance of 174.82 feet with a radius of 465.00 feet and a long chord of N 75°03'28" E, 173.80 feet to the centerline of a 75 foot wide Michigan Consolidated Gas Company pipeline easement (as recorded in Liber 656, Pages 871-873, Grand Traverse County Register of Deeds), thence along said centerline (the easement limits being 37.5 feet left and 37.5 feet right) N 28°34'26" W, 243.80 feet, thence S 89°57'52" W, 575.22 feet to the POINT OF BEGINNING.

Subject to the right of way of La Franier Road over the West 33.00 feet of above said parcel.

Subject to Michigan Consolidated Gas Company pipeline easement over the East 37.5 feet of the above said parcel (as recorded in Liber 656, Pages 871-873, Grand Traverse County Register of Deeds).

Subject to a pedestrian walk and landscape easement in the Southwesterly corner of said parcel, more fully described as follows:

Commencing at the North ¼ corner of said Section 23, thence along the North-South ¼ line of said Section, S 00°40'32" E, 1551.47 feet (recorded as 155.47 feet on Liber 1128, Page 756) to the POINT OF BEGINNING; thence continuing S 00°40'32" E 57.00 feet; thence N 89°23'04" E, 93.00 feet; thence N 47°06'46" W, 82.80 feet; thence S 89°23'04" W, 33.00 feet to the POINT OF BEGINNING.

Together with a non-exclusive 66 foot wide easement for ingress and egress, and public and private utilities adjacent to the South line of above said parcel, more fully described as follows:

Commencing at the North ¼ corner of said Section 23; thence along the North-South ¼ line of said Section, S 00°40'32" E, 1608.47 feet to the POINT OF BEGINNING; thence continuing along said North-South ¼ line S 00° 40'32" E, 66.00 feet; thence N 89°23'04" E, 415.96 feet; thence Northeasterly on a curve to the left a distance of 137.10 feet, with a radius of 313.00 feet and a long chord of N 76°50'09" E, 136.01 feet; thence continuing Northeasterly on a curve to

French Manor - Terra

PUD Amendment / Special Use Permit Application

the right a distance of 180.05 feet, with a radius of 399.00 feet and a long chord of N 77°14'52" E, 178.98 feet; thence N 28°34'26" W, 73.75 feet; thence Southwesterly on a curve to the left a distance of 175.82 feet with a radius of 465.00 feet and a long chord of S 75°03'28" W, 173.80 feet; thence continuing Southwesterly on a curve to the right a distance of 108.19 feet with a radius of 247.00 feet and a long chord of S 76°50'09" W, 107.33 feet; thence S 89°23'04" W 416.03 feet to the POINT OF BEGINNING.

Subject to and together with an easement for the installation and maintenance of a remote equipment enclosure and related buried cables in part of the Northeast quarter of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as:

Commencing at the North quarter corner of said Section 23; thence S 00° 40'32" E, 1608 .47 feet, along the North and South quarter line of said Section 23; thence N 89° 23'04" E, 416.03 feet, along the Northerly right-of-way line of Terra Road, a 66 foot wide easement road as described in Quit Claim Deed recorded in Uber 1128, Page 756, Grand Traverse County records to the POINT OF BEGINNING ; thence Northeasterly, 30.00 feet, along the arc of a 247.00 foot radius curve to the left, the central angle of which is 06° 57'31" and the long chord of which bears N 85° 54'23" E, 29.98 feet; thence N 00° 37'05" W, 20.00 feet; thence S 85° 54'26" W, 30.00 feet; thence S 00° 40'32" W, 20.00 feet to the POINT OF BEGINNING.

Existing Zoning:

R-3 Multiple Family Residential

Existing Land Use:

Vacant land

Proposed Land Use:

Institutional – Assisted living facility

Use Permitted by Special Use Permit:

Institutional

The project site was included in the existing Terra Energy Planned Unit Development (PUD) that was approved in the mid 1990's. That PUD identified the project site as the location of "local business" uses. In the current Zoning Ordinance, the closest correlation to "local business," (a zoning district in the previous Zoning Ordinance) is the Local Commercial zoning district. This district allows Adult Care Facilities and Institutional uses by Special Use Permit. A copy of the originally approved PUD plan is included in this submission.

Township Comprehensive Master Plan, Future Land Use:

High Density Residential

"This designation provides areas for medium- to high-density single- and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development." (*Garfield Township Master Plan 2018*, p. 33)

The proposed use meets the desire for a variety of multi-family dwelling types and complies with zoning as a use that is allowed in the R-3 district as a special use.

Regulations Summary *continued*

	R-3 zoning	proposed
Minimum Lot Size:	32,000 sf	164,753 sf
Minimum Lot Width:	250ft (max.)	287ft
Height:	3 stories / 40ft	1 story / 19.25'
Front Yard Setback:	25ft	25ft
Side Yard Setback:	20ft	20ft
Rear Yard Setback:	20ft	20ft
Maximum Lot Coverage:	35%	12.47%
Min. Building X-Section:	24ft	40ft

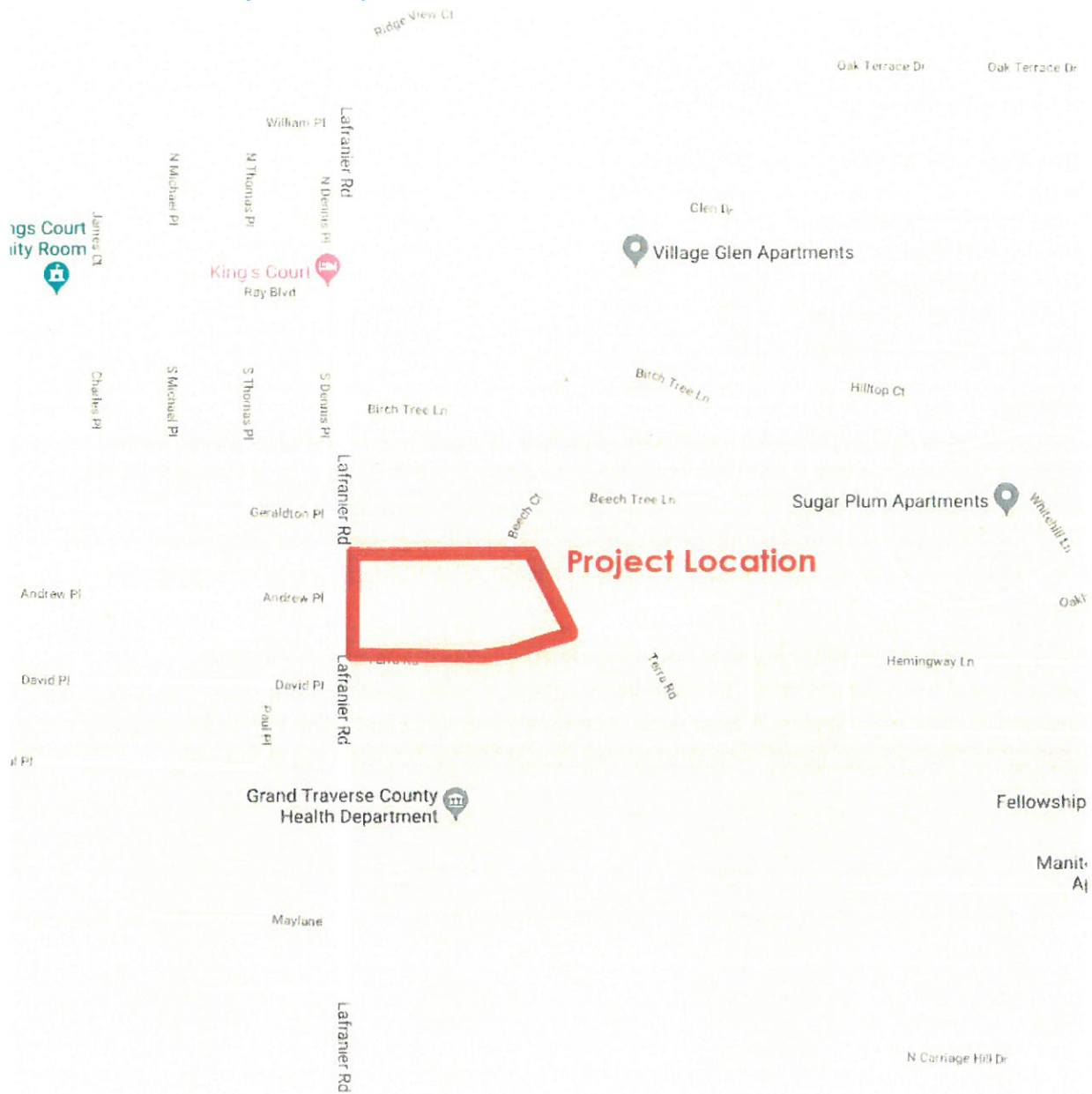
Parking

20 first-phase parking spaces are proposed. Assisted living is not a use that is listed in the parking requirement table within the Ordinance. Based on the developer's knowledge of the parking needs at these types of facilities, 20 spaces are deemed to be more than sufficient for the facility's first phase day to day needs. An additional 20 parking spaces are anticipated for the future phases of the development of the facility. Please refer to the proposed site plans for parking locations.

It is requested that the Planning Commission use the flexibility granted to them by the PUD and Special Use Permit standards of the Ordinance to approve the proposed number of spaces. The proposed facility will employ 6 caretakers on a maximum shift and 2 kitchen staff for meal preparation and service. Maximum anticipated visitor traffic is 6-8 at any one time.

French Manor - Terra PUD Amendment / Special Use Permit Application

MAP -Street Map vicinity



MAP -Air Photo vicinity



BASIS FOR DETERMINATION

Section 8.1.3

1. GENERAL STANDARDS

- a) Be designed, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The proposed assisted living facility is designed to be harmonious with the existing and intended character of the general vicinity. The character and scale of the building are similar to those of the existing governmental office and assisted living facilities in the immediate vicinity of the subject site.

- b) Not be hazardous or disturbing to existing or future uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.

The proposed use is consistent with the existing residential and institutional uses in the immediate vicinity and as allowed per the surrounding zoning.

- c) Be served adequately by essential facilities and services, such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, or schools.

The project is served by existing County and Private Roads, Rubicon sandy soils provide for excellent stormwater drainage and constructability, the site meets standards for accessibility of emergency vehicles to maneuver, and the site is serviced by municipal sewer and water with two proposed fire hydrants located on the property.

- d) Not create excessive additional requirements at public cost for public facilities and services.

The proposed use of this project is allowed per zoning and will not require additional municipal services beyond the infrastructure currently in place.

- e) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by fumes, glare or odors.

The proposed residential use is consistent with zoning and the existing surrounding uses.

2. SPECIFIC STANDARDS

- a) That the applicant may legally apply for site plan review.

The applicant has an option to buy the project parcel.

- b) That all required information has been provided.

This application is complete with the pending some preliminary reviews by regulatory agencies.

- c) That the proposed development conforms to all regulations of the zoning district in which it is located.

The proposed use is allowed by SUP within the R-3 Zoning District and conforms to the standards of the ordinance.

- d) That the plan meets the requirements of Garfield Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.

The plan was developed to meet the published standards for municipal services. Proposed plans have been submitted to local agencies for their review and comments will be provided upon receipt.

- e) That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.

The plan was developed to meet the published standards for regulatory agencies. Proposed plans have been submitted to local agencies for their review and comments will be provided upon receipt.

- f) That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.

The project site is flat with excellent draining soils, and is partially wooded. Existing trees of good quality will be preserved as feasible. See proposed plans for details.

- g) That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property and open space areas as designated on the future land use map of Garfield Township.

There are no flood planes or floodways on or near the project parcel.

French Manor - Terra

PUD Amendment / Special Use Permit Application

- h) That the soil conditions are suitable for excavation and site preparation, and that organic, wet or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.

The site consists entirely of Rubicon sands which provides for excellent drainage, excavation and site preparation.

- i) That the proposed development will not cause soil erosion or sedimentation problems.

The project site does not contain slopes or soils prone to erosion. Soil erosion permitting and associated prevention measures per published standards will be implemented at construction.

- j) That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff, and will not cause undue runoff onto neighboring property or overloading of water courses in the area.

The site consists entirely of Rubicon sands which provides for excellent drainage. Drainage plans are designed and permitted per the Township's published standards and will not impact neighboring properties.

- k) That grading or filling will not destroy the character of the property or the surrounding area, and will not adversely affect the adjacent or neighboring properties.

The project site is relatively flat, as is the surrounding area. The proposed site plan maintains grades similar to those existing on site.

- l) That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage or erosion control.

This project will be completed in one phase. Any future expansion phases will return to the Planning Commission for approval.

- n) That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

The project is located on an established corridor with all utilities existing along the street frontage. Site soils are Rubicon sand which provides for excellent drainage.

- o) That landscaping fences or walls may be required by the Planning Commission in pursuance of the objectives of this Ordinance.

Landscape plantings meet the standards for buffer requirements within the Ordinance.

French Manor - Terra

PUD Amendment / Special Use Permit Application

- p) That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

The parking lot layout has been designed per the published dimensional standards of regulatory agencies to accommodate internal flow and site access.

- q) That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

Sidewalks are provided within the project with connections to the structures on the site.

- r) That outdoor storage of garbage and refuse is contained, screened from view and located so as not to be a nuisance to the subject property or neighboring properties.

The site plan provides for a screened dumpster enclosure adjacent to the proposed parking lot.

- s) That the proposed site is in accord with the spirit and purpose of this Ordinance and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.

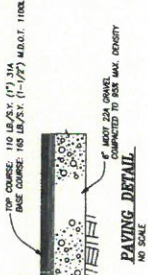
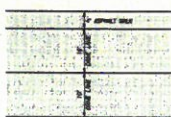
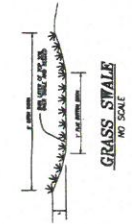
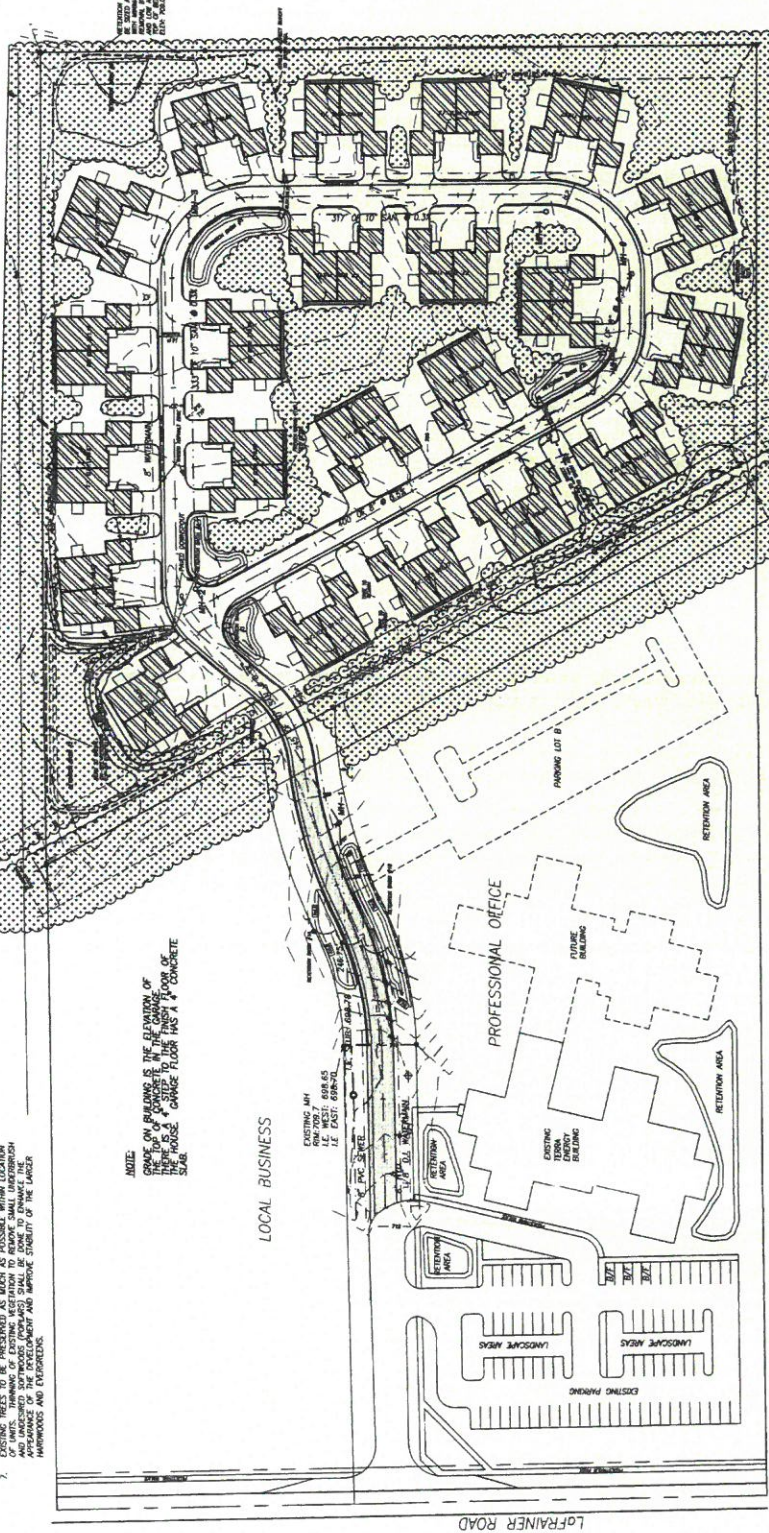
The proposed assisted living facility meets the standards of the Township Ordinance in both land use type and intensity.

GENERAL NOTES

1. ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED.
2. ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED BY THE GRAND TRAVERSE COUNTY SOIL EROSION OFFICE.
3. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
4. SET FENCE SHALL BE PLACED AS REQUIRED PRIOR TO CONSTRUCTION.
5. RETENTION BASIN AREAS TO BE SEED TO BEYOND A HOUSE OF PINE-OFT FROM THE APERTURES AREAS FOR A 100 YEAR STORM EVENT.
6. LIGHTING SHALL BE BUILDING MOUNTED FOR PARKING AND SECURITY AREAS.
7. EXISTING TREES TO BE PRESERVED AS MUCH AS POSSIBLE WITHIN LOCATION OF DISTURBED AREAS. TREES TO BE REMOVED SHALL BE REPLACED WITH AN EQUAL OR GREATER SIZE AND SPECIES. (FOR TREES TO BE REMOVED, THE CONTRACTOR SHALL OBTAIN AND OBTAIN APPROVAL FROM THE GRAND TRAVERSE COUNTY FOREST AND WILDLIFE DEPARTMENT AND APPROVE STABILITY OF THE BARBERS, HANDWOODS AND UNDERSTANDS.

RETENTION BASIN TABLE

NO.	AREA	DEPTH	VOLUME	VEGETATION
	SQ. FT.	FEET	C.F.	PROVIDED
1	AS ABOVE	2.0'	11100 C.F.	1120 C.F.
2	AS ABOVE	2.0'	4700 C.F.	5807 C.F.
3	AS ABOVE	2.0'	1300 C.F.	1672 C.F.
4	AS ABOVE	2.0'	2600 C.F.	2608 C.F.
5	AS ABOVE	2.0'	3700 C.F.	3907 C.F.
6	AS ABOVE	2.0'	10700 C.F.	10800 C.F.
7	AS ABOVE	2.0'	10700 C.F.	10800 C.F.



SITE DATA
 PROPERTY OWNER & DEVELOPER
 MR. RICHARD STEVENS
 1670 RIVER DRIVE
 TRAVERSE CITY, MICHIGAN 49684
 PARCEL ZONING - P-1M MULTIPLE FAMILY RESIDENTIAL
 AREA: 8.3 ACRES
 PROPERTY TAX NO. 28-05-051-013-00
 8000 S.F. FOR 1ST DWELLING
 4500 S.F. ADDITIONAL FOR EACH ADDITIONAL 2 BEDROOM UNIT
 22 - DUPLEX UNITS TOTAL OF 44 UNITS

LAYOUT FOR MR. RICHARD STEVENS
 CHESTNUT HILLS CONDOMINIUM DEVELOPMENT
 PART OF THE TERRA ENERGY P.U.D.
 LaFRANIER ROAD, GARFIELD TOWNSHIP
 GRAND TRAVERSE COUNTY



Approved: *[Signature]*

James J. Stevens
 ENGINEERING - SURVEYING - INSPECTION - TESTING
 2600 RICHARD SCHOOL ROAD
 TRAVERSE CITY, MI 49684
 P.O. BOX 1150
 FAX (616) 842-5443
 TEL (616) 842-5443

MR. RICHARD STEVENS
 1670 RIVER DRIVE
 TRAVERSE CITY, MI 49686

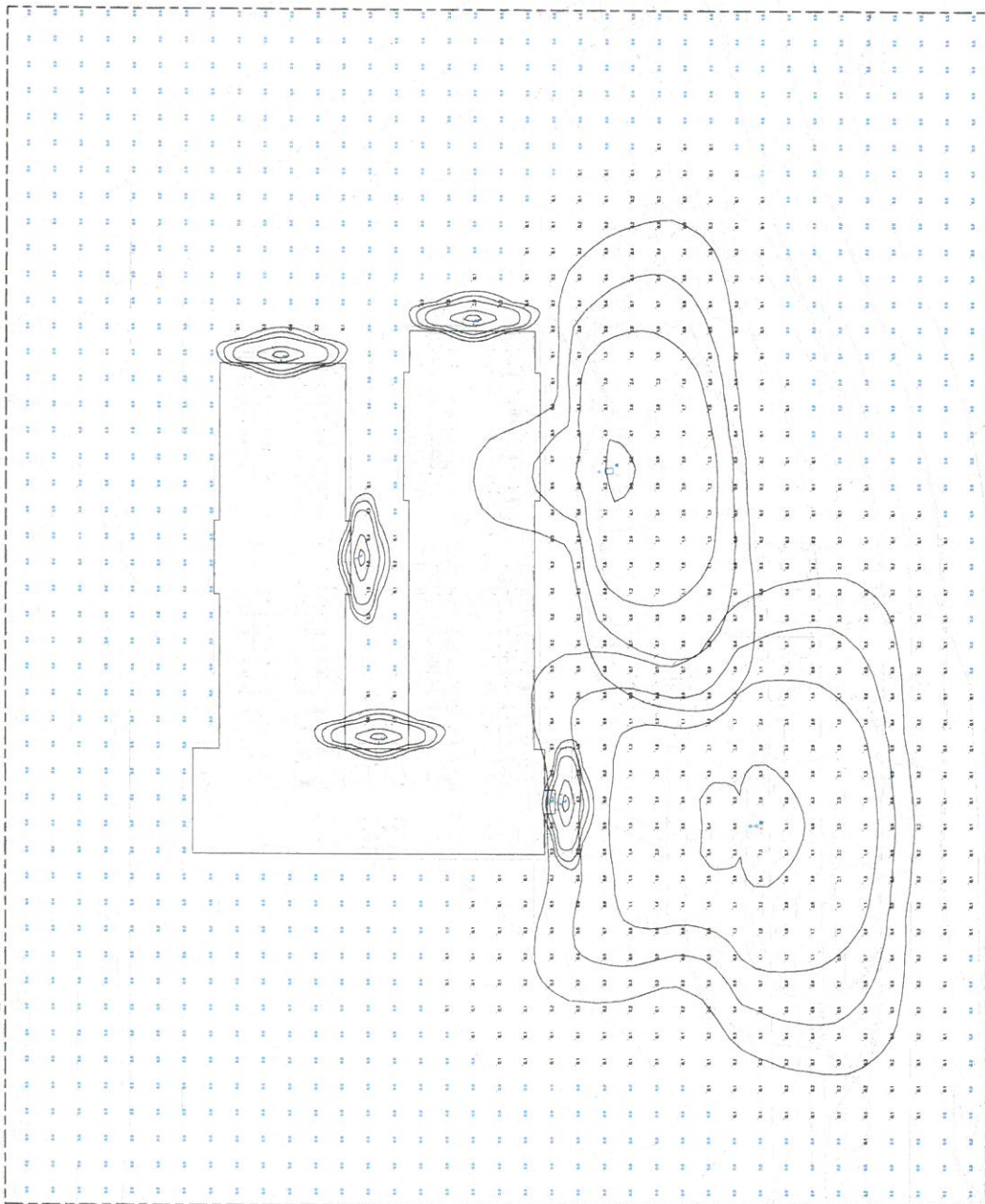
DESIGN BY: WLC
 DRAWN BY: BAC
 DATE: 07-17-97
 FILE: 970145
 SHEET 1 OF 1



Michigan
Lighting
Systems

Burdco
Proposed Senior Living Facility
LED Site Lighting
Garfield Township, Grand Traverse County, MI.

Designer:
Date:
4/7/2019
Proj. No.: 18-046
Drawing No.:
Revision No.:
Scale:



Schedule	Item	Quantity	Manufacturer	Category	Model	Description	Footcandle	Beam Diameter	Mounting Height	Notes	Group	Area	Footcandle
A	1	1	HARBELL OUTDOOR	ASL	ASL-3000-700H	ASL 3000W	18515	18515	18515	18515	18515	224.5	0.95
B	1	1	HARBELL OUTDOOR	ASL	ASL-3000-700H	ASL 3000W	18515	18515	18515	18515	18515	449.1	0.95
C	5	5	COMPASS	ASL	ASL-3000-700H	ASL 3000W	18515	18515	18515	18515	18515	224.5	0.95

Luminaire Locations		Location			Altitude		
No.	Label	X	Y	Z	MH	Orientation	Alt
1	A	10491.29	8481.04	30.00	30.00	175.14	0.00
1	B	10356.11	8421.43	30.00	30.00	179.38	0.00
1	C	10364.33	8495.06	8.00	8.00	360.00	0.00
2	C	10546.09	8529.01	8.00	8.00	270.00	0.00
3	C	10533.65	8602.24	8.00	8.00	270.00	0.00
4	C	10387.87	8564.60	8.00	8.00	270.00	0.00
5	C	10458.27	8573.01	8.00	8.00	0.00	0.00

Plan View

LA

PROJECT NO. 14-252

FRENCH MANOR TERRA
APARTMENT BUILDING

CITY, STATE, ZIP

STREET ADDRESS



SEIDELL
ARCHITECTS

COMMERCIAL
INDUSTRIAL

114 COLLETT AVE. 2ND
FLOOR, CHICAGO, ILL. 60601
PHONE (312) 731-0272
FAX (312) 731-0222

DATE 3/23/78

REVISED DATE

T.S. CHECKED

T.S. APPROVED BY

OWNER REVIEW

DATE 3/23/78

DATE



FLOOR PLAN
SCALE: 1/8"=1'-0"

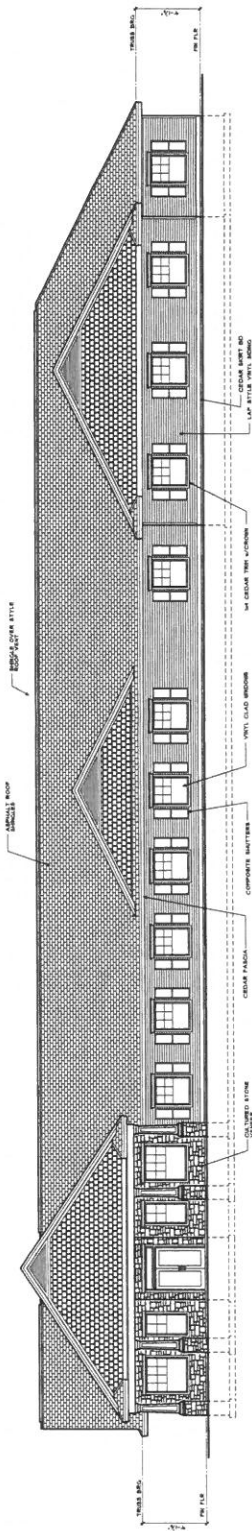
PROJECT NO. FRENCH MANOR TERRA

CITY, STATE ZIP

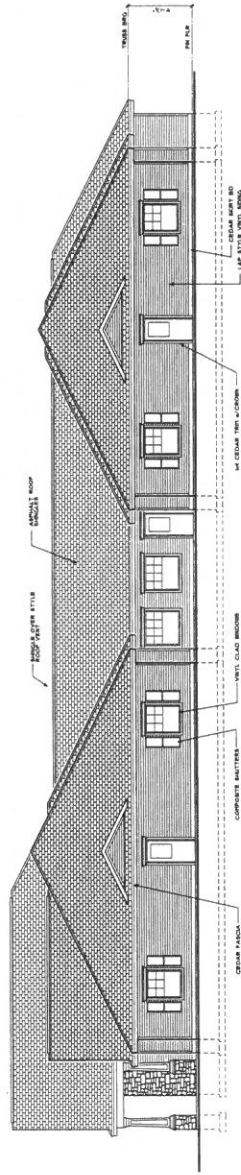
ARCHITECTS
COMMERCIAL
111 N. COURT AVE., STE. 201
MCKEY PARK, MOBILE, AL 36688
PHONE (904) 724-0272
FAX (904) 724-8823

DATE 3/23/19
DRAWN BY T.L.S.
CHECKED T.L.S.
OWNER REVIEW 3/23/19

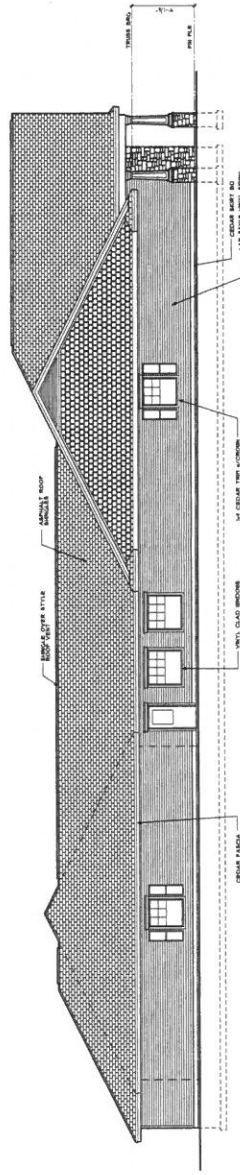
DATE
REVISION
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SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

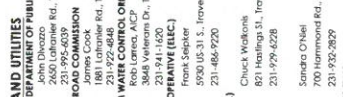


WEST ELEVATION
SCALE: 1/8"=1'-0"

Public Agencies and Utilities
Grand Traverse County Department of Public Works (DPW)
 Telephone: 231-946-4039
 Address: 2450 Lakeview Rd., Traverse City, MI 49686
Grand Traverse County Road Commission
 Telephone: 231-946-4039
 Address: 2450 Lakeview Rd., Traverse City, MI 49686
Garfield Township
 Telephone: 231-946-4039
 Address: 1881 Lathrop Rd., Traverse City, MI 49686
Garfield Township Board of Ordinance
 Planning Director: 3845 Veterans Dr., Traverse City, MI 49684
 Address: 3845 Veterans Dr., Traverse City, MI 49684
Cheridian Electric Cooperative (ELEC)
 Engineer: 231-941-1020
 from dispatcher: 231-941-1020
 Address: 231-941-1020
 Telephone: 231-486-9220
Consumers Energy (ELEC)
 Engineer: 231-947-3000
 Address: 871 Hocking St., Traverse City, MI 49686
 Telephone: 231-947-3000
DTE Energy (GAS)
 Manager: 231-947-4228
 Address: 871 Hocking St., Traverse City, MI 49686
 Telephone: 231-947-4228
Charter Communications (T.V.)
 Manager: 231-941-3266
 Address: 231-941-3266
Police Agencies
 911
 Michigan State Police: 231-946-6446
 Grand Traverse County Sheriff: 231-995-5001
 Garfield Twp. Community Police Officer: 231-941-9222
Fire Departments
 911
 Grand Traverse Metro: 231-943-3000
 Grand Traverse Rural: 231-943-9721
 Garfield Township: 231-941-6852

Standard Plan Legend

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	605	617
SPOT ELEVATION	613.2	613.3
CONTOUR FROM USGS TOPOGRAPHIC MAP	613.0	613.0
TOP OF CURB ELEVATION	613.0	613.0
PAVEMENT (OR CENTER FROM ELEVATION	613.0	613.0
DIRECTION OF SURFACE LOW		
DRAINAGE HIGH POINT		
DRAINAGE LOW POINT		
WATER MAIN		
SANITARY FORCE MAIN		
SANITARY SEWER		
STORM SEWER		
GAS MAIN		
OVERHEAD ELECTRIC		
PROPERTY LINE		
TREE LINE		
POLE LINE		
EDGE OF WETLAND		
EDGE OF WATER		
C/L OF DRAINAGE DITCH OR WATER LINE		
SET FENCE		
DEFINITION MARK BERM		
MANHOLE (M)		
CATCH BASIN (CB)		
CLEAN OUT (CO)		
IRE HYDRANT ASSEMBLY		
GATE VALVE		
NER		
ICE STORAGE & BOX		
POLE POWER OR ELECTRIC		
LIGHT POLE		
SO		
RENCH MARK (RM)		
W/UTILEY SIGN		
GUY ANCHOR		
SOLE EXPOSURE COVERS, UTASIBLE (M)		
PERMANENT T-TEMPORARY		
BOX FOUND / IRON SET		
CONCRETE MONUMENT		
GOVERNMENT CORNER		
MAIL TOWER / MAIL SET		
RECORD / MEASURED		
FENCE		
WOOD STAKE		



Mansfield Land Use Consultants

830 College Dr., Ste. 201
 Traverse City, MI 49685
 Phone: 231-946-9110
 Fax: 231-946-9110
 Email: info@mansfield.com

Proposed Senior Living Facility

Burdco

COVER SHEET

Section 23, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DATE: 10/23/20

PROJECT NO: 19052

C10

PLAN INDEX

C10 COVER SHEET
 C11 NOTES SHEET
 C12 CIVIL DETAILS - SITE
 C13 CIVIL DETAILS - SANITARY
 C14 CIVIL DETAILS - SANITARY
 C20 EXISTING CONDITIONS & DEMOLITION PLAN
 C21 EXISTING CONDITIONS & DEMOLITION CORRECT PLAN
 C30 SITE & DIMENSION PLAN
 C31 GRADING & STORM PLAN
 C32 LANDSCAPE PLAN

PROJECT DATA

Owner: 1809 S. 30th Street, Grand Traverse City, MI 49604

Site: 1809 S. 30th Street, Grand Traverse City, MI 49604

Parcel Zoned: R-3 Multiple Family Residential District

Project Description: 1.8 Story, 30 Unit Senior Living Facility

Site Area: 1.80 Acres

Lot Area: 77,720 sq. ft.

Setback: 25'

Side Setback: 25'

Front Setback: 25'

Back Setback: 25'

Lot Coverage (Leasing): 30%

Lot Coverage (Residential): 12.5%

Lot Coverage (Retail): 25.0%

Lot Coverage (Office): 25.0%

Lot Coverage (Industrial): 25.0%

Lot Coverage (Agriculture): 25.0%

Lot Coverage (Forest): 25.0%

Lot Coverage (Water): 25.0%

Lot Coverage (Wetland): 25.0%

Lot Coverage (Other): 25.0%

Parcel Zoned: R-3 Multiple Family Residential District

1.8 Story, 30 Unit Senior Living Facility

Site Area: 1.80 Acres

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Lot Coverage (Forest): 25.0%

Lot Coverage (Water): 25.0%

Lot Coverage (Wetland): 25.0%

Lot Coverage (Other): 25.0%

Funding and Loading

Category	Provided	Requested	Net Available	Precedence	Accumulated	Minimized Expense
Vehicle	30	1	29	1	0	18
Delivery	2,300	2,300	0	1	0	0
Construction	2,300	2,300	0	1	0	0
Other	2,300	2,300	0	1	0	0
Total	7,200	7,200	0	4	0	18

Snow Storage Calculations

Category	Required	Provided	Net Available
Storage Area	1,100 sq. ft.	1,100 sq. ft.	0
Storage Area	1,100 sq. ft.	1,100 sq. ft.	0
Storage Area	1,100 sq. ft.	1,100 sq. ft.	0
Total	3,300	3,300	0

VICINITY MAP

SCALE: 1" = 1,000' (11.444 METERS)

MICHIGAN LOCATION MAP

PROJECT LOCATION

FRENCH MANOR - TERRA

Garfield Township, Grand Traverse County, Michigan

GENERAL CONSTRUCTION NOTES:

- MISCELLANEOUS UTILITIES:** ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED AS EXISTING UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- EXISTING UTILITIES:** ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED AS EXISTING UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- PROTECTING UTILITIES:** SPECIAL CARE SHALL BE TAKEN BY EXCAVATING IN THE VICINITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- SAFETY:** THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- SOIL EROSION & SEDIMENTATION CONTROL:** THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES (S.E.C.M.) AS REQUIRED TO PREVENT SOIL EROSION AND SEDIMENTATION FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- PROPERTY CORNERS:** EXISTING KNOWN PROPERTY CORNERS ARE SHOWN ON THIS PLAN. IF A PROPERTY CORNER IS DISTURBED OR LOST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING IT WITH A PROFESSIONAL LAND SURVEYOR.
- SURVEY DATUM:** ALL ELEVATIONS ARE BASED ON THE ORIGINAL SURVEY, COMPLETED ON THE HAVO-BE DATUM.
- RESTORATION WORK:** ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDING, FERTILIZED AND MULCHED. MULCH BLANKETS SHALL BE APPLIED TO ALL DISTURBED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- REMOVAL ITEMS:** THE CONTRACTOR SHALL REMOVE ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- CONSTRUCTION SIGNAGE & TRAFFIC CONTROL:** LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES ACCORDING TO THE APPROVED PERMIT BY A.D.O.T. AND ANY ASSOCIATED PERMIT CONDITIONS.
- DUST CONTROL:** THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EXCESSIVE DUST FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- PROTECTIVE FENCE:** THE CONTRACTOR SHALL MAINTAIN A TEMPORARY PROTECTIVE FENCE AROUND ALL OPEN EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- EXCESS MATERIALS:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS MATERIALS FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- SAWCUTTING PAVEMENT:** SAWCUTTING PAVEMENT SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- DEWATERING:** ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.
- UTILITY SEPARATION:** ALL PUBLIC WATER MAIN SHALL BE WITHIN ITS OWN 20' WIDE EASEMENT CENTERED ON THE UTILITY. ALL OTHER UTILITIES SHALL BE WITHIN THEIR RESPECTIVE EASEMENTS.
- RECYCLING:** THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

GENERAL GRADING CONSTRUCTION NOTES:

- QUALITY OF WORK:** ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE SPECIFIED.
- SUBGRADE PREPARATION:** THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A 10% WASH, 20% FINER INCH, GRANULAR SUBGRADE. A.D.O.T. CLASS FOR FORWARD PREPARED SUBGRADE WORK. DEPTH AND WIDTH SHALL BE AS SHOWN ON THE DRAWINGS.
- AGGREGATE BASE MATERIAL:** ALL AGGREGATE BASE MATERIAL SHALL MEET SPECIFICATIONS FOR M.D.O.T. 291 AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 301 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND APPROVED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.
- BITUMINOUS PAVEMENT (HMA):** ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDING, FERTILIZED AND MULCHED. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING GRADING COVER ON AREAS DESIGNED BY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN THE OWNER'S REPRESENTATIVE'S SIGNATURE PRIOR TO PLACEMENT OF THE BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- REMOVAL OF ORGANICS:** ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- SITE GRADING:** ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDING, FERTILIZED AND MULCHED. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING GRADING COVER ON AREAS DESIGNED BY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN THE OWNER'S REPRESENTATIVE'S SIGNATURE PRIOR TO PLACEMENT OF THE BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- FIELD CHANGES:** ALL FIELD CHANGES SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER. ALL FIELD CHANGES SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER.
- DRAINAGE:** EXISTING DRAINAGE DITCHES SHALL BE REBUILT OR REMOVED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- ADJUSTMENTS:** THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE FINALS TO THE FINISH GRADES PRIOR TO PAVING.

GENERAL SANITARY SERVICE CONSTRUCTION NOTES:

- STANDARDS:** ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND DETAILS OF EAST LANSING TOWNSHIP AND THE GRAND TRAVERSE COUNTY D.P.W.
- CONNECTIONS:** NO CONNECTIONS TO EXISTING STORM WATER OR CIRCUMFERENTIAL SHALL BE MADE TO SANITARY SERVICES.
- DATUM:** ALL ELEVATIONS ARE BASED ON THE ORIGINAL SURVEY, COMPLETED ON THE HAVO-BE DATUM.
- DETAILS:** ALL DETAILS SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.

GENERAL STORM SEWER CONSTRUCTION NOTES:

- CONSTRUCTION STANDARDS:** ALL MATERIALS, CONSTRUCTION METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE SPECIFIED.
- CONNECTIONS:** NO CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.
- STRUCTURE ADJUSTMENTS:** ALL STRUCTURE ADJUSTMENTS SHALL BE DONE IN ACCORDANCE WITH THE CURRENT MOST STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE SPECIFIED.

GENERAL WATER SERVICE CONSTRUCTION NOTES:

- STANDARDS:** ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (GRAND TRAVERSE COUNTY TECHNICAL SPECIFICATIONS).
- DATUM:** ALL ELEVATIONS ARE BASED ON THE ORIGINAL SURVEY, COMPLETED ON THE HAVO-BE DATUM.
- DETAILS:** ALL DETAILS SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO UTILITIES AND STRUCTURES TO REMAIN ON THE SITE.
- UTILITY SEPARATION:** ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM SANITARY AND STORM SEWERS.
- PUBLIC EASEMENTS:** ALL PUBLIC WATER MAIN SHALL BE WITHIN ITS OWN 20' WIDE EASEMENT CENTERED ON THE UTILITY.

Mansfield
Land Use Consultants
1825 Conant Street, Suite 201
Livonia, MI 48150
Phone: 248-945-9310
www.mansfield.com
info@mansfield.com

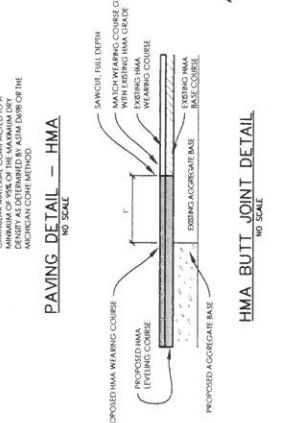
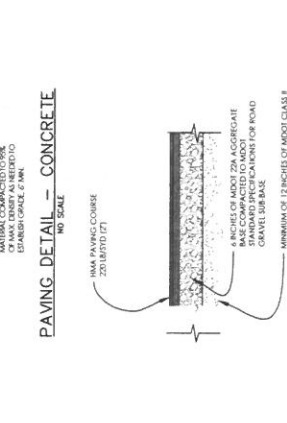
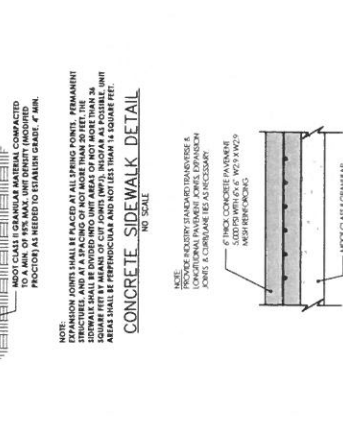
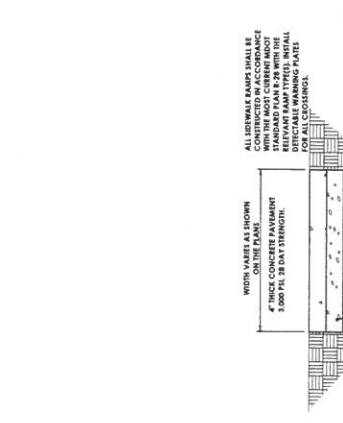
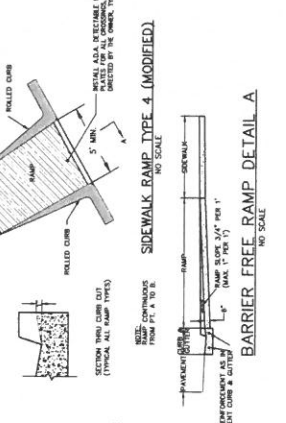
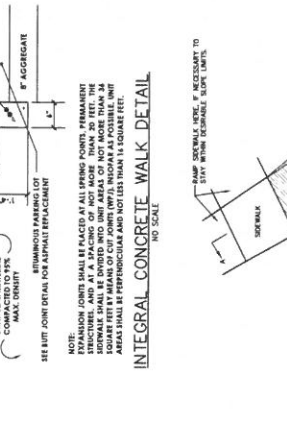
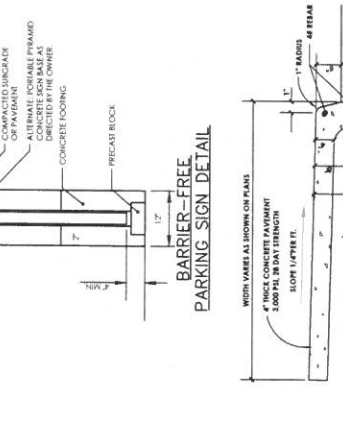
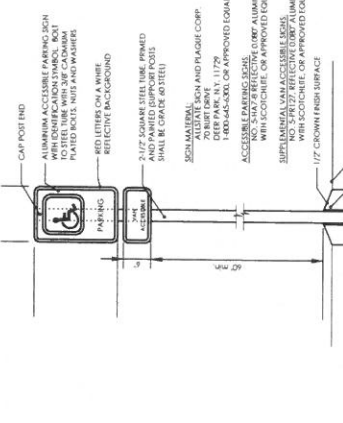
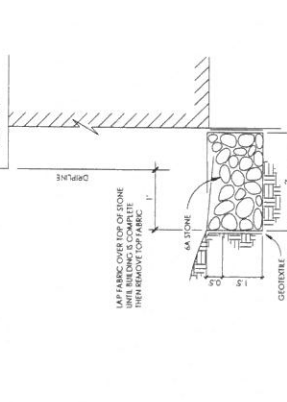
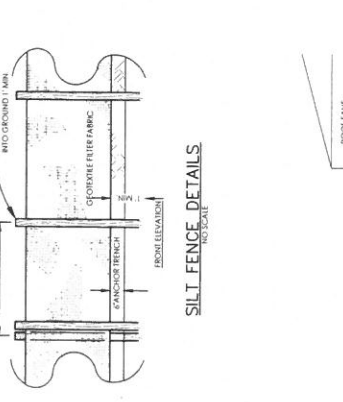
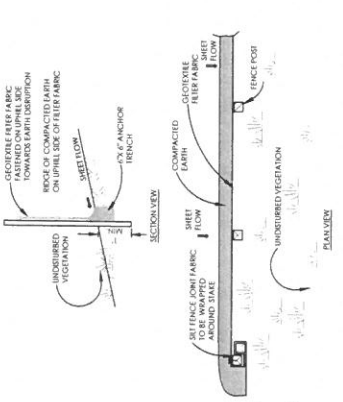
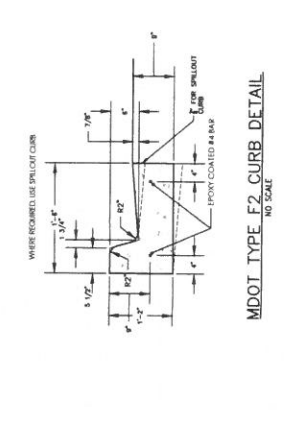
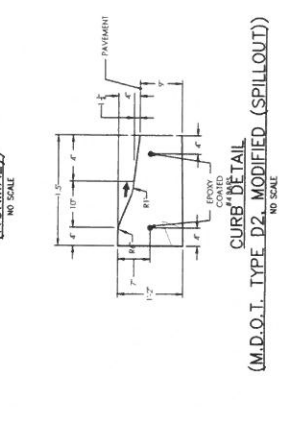
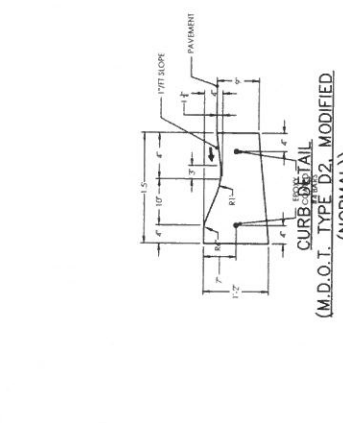
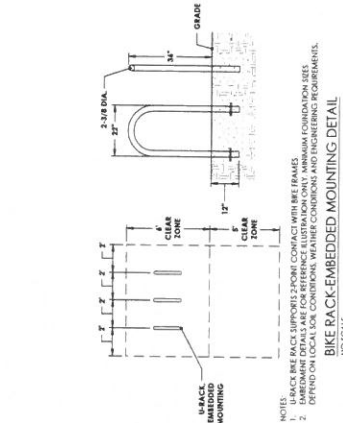
DATE	BY	DESCRIPTION
02/04/19	DFH	Original Design
02/04/19	DFH	Design Submission

Burdco
Proposed Senior Living Facility
Section 23, Town 27 North, Range 11 West
Gorfield Township, Grand Traverse County, Michigan
PRELIMINARY
19052
C1.1

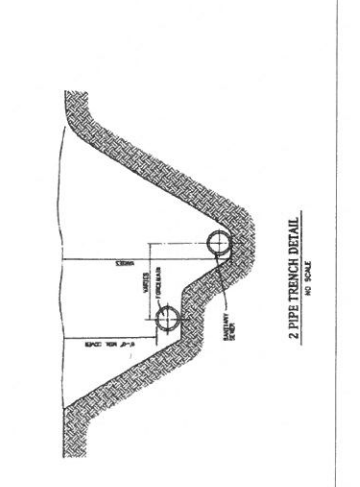
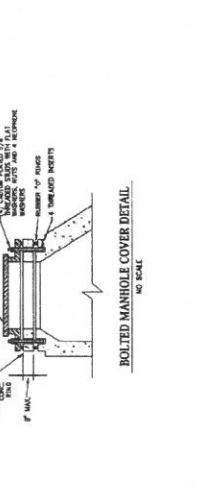
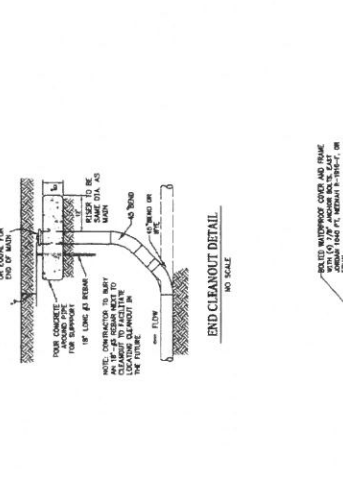
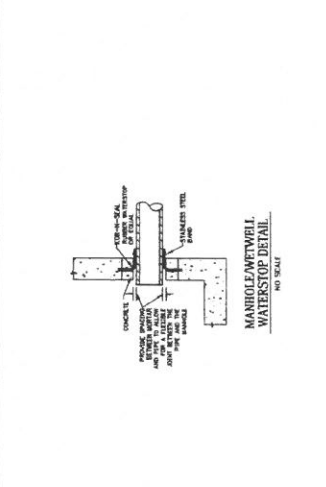
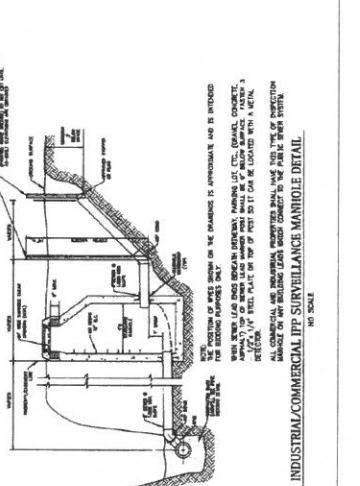
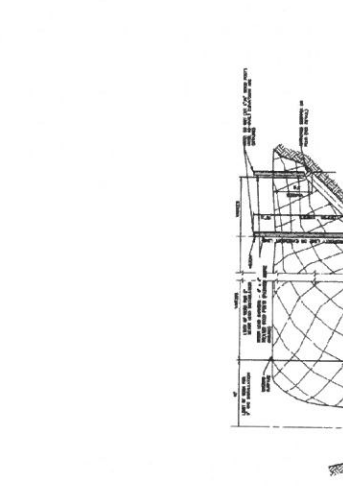
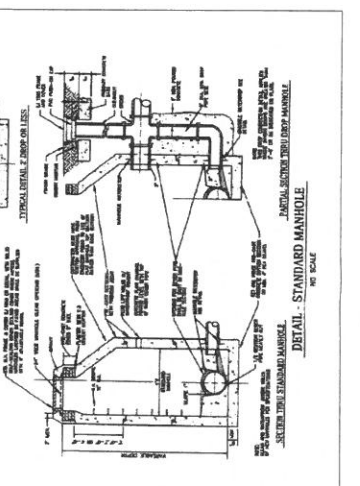
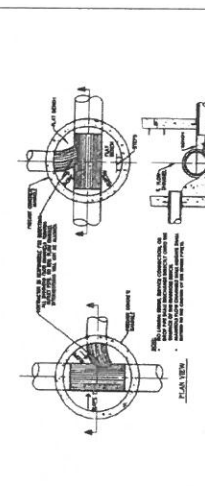
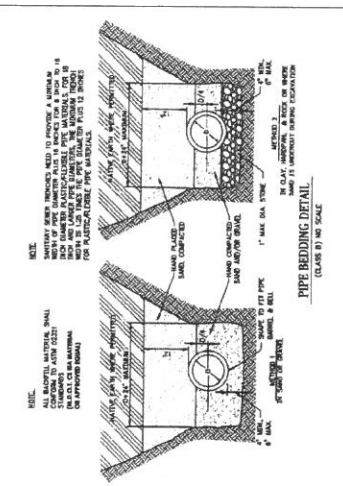
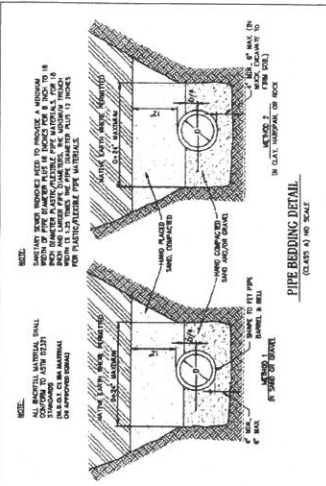
NO.	DATE	BY	DESCRIPTION
01	04/11/19	PHC	CONCEPT DESIGN
02	04/22/19	PHC	CONCEPT DESIGN
03	04/22/19	PHC	CONCEPT DESIGN
04	04/22/19	PHC	CONCEPT DESIGN
05	04/22/19	PHC	CONCEPT DESIGN
06	04/22/19	PHC	CONCEPT DESIGN
07	04/22/19	PHC	CONCEPT DESIGN
08	04/22/19	PHC	CONCEPT DESIGN
09	04/22/19	PHC	CONCEPT DESIGN
10	04/22/19	PHC	CONCEPT DESIGN

Burdco
Proposed Senior Living Facility
CIVIL SITE DETAILS
Section 23, Town 27 North, Range 11 West
Genesee Township, Grand Traverse County, Michigan

PRELIMINARY
DATE: 04/11/19
BY: PHC
SCALE: 1/8" = 1'-0"
PROJECT: 19052
C1.2

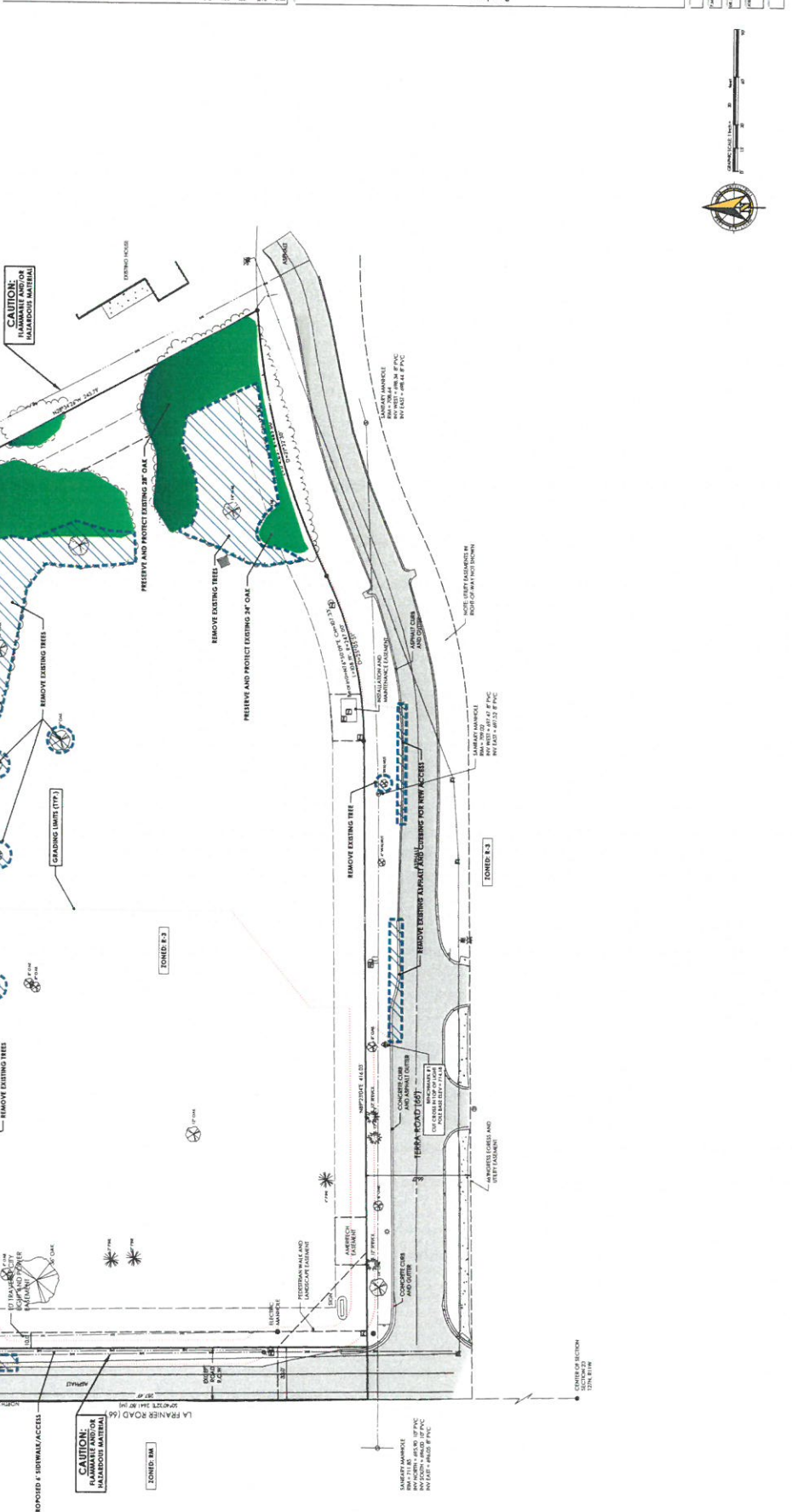


NO.	DATE	DESCRIPTION
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03	04/21/11	CONCEPT DESIGN
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05	04/21/11	CONCEPT DESIGN
06	04/21/11	CONCEPT DESIGN
07	04/21/11	CONCEPT DESIGN
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17	04/21/11	CONCEPT DESIGN
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19	04/21/11	CONCEPT DESIGN
20	04/21/11	CONCEPT DESIGN



DATE	DESCRIPTION	BY
04/27/18	Final Design	Chris Johnson
04/27/18	Final Design	Chris Johnson
04/27/18	Final Design	Chris Johnson
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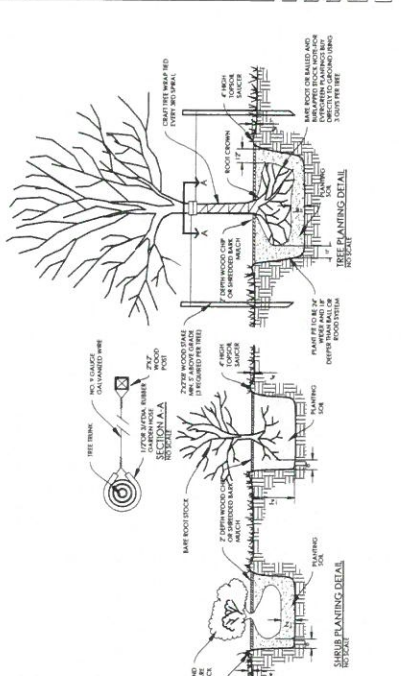
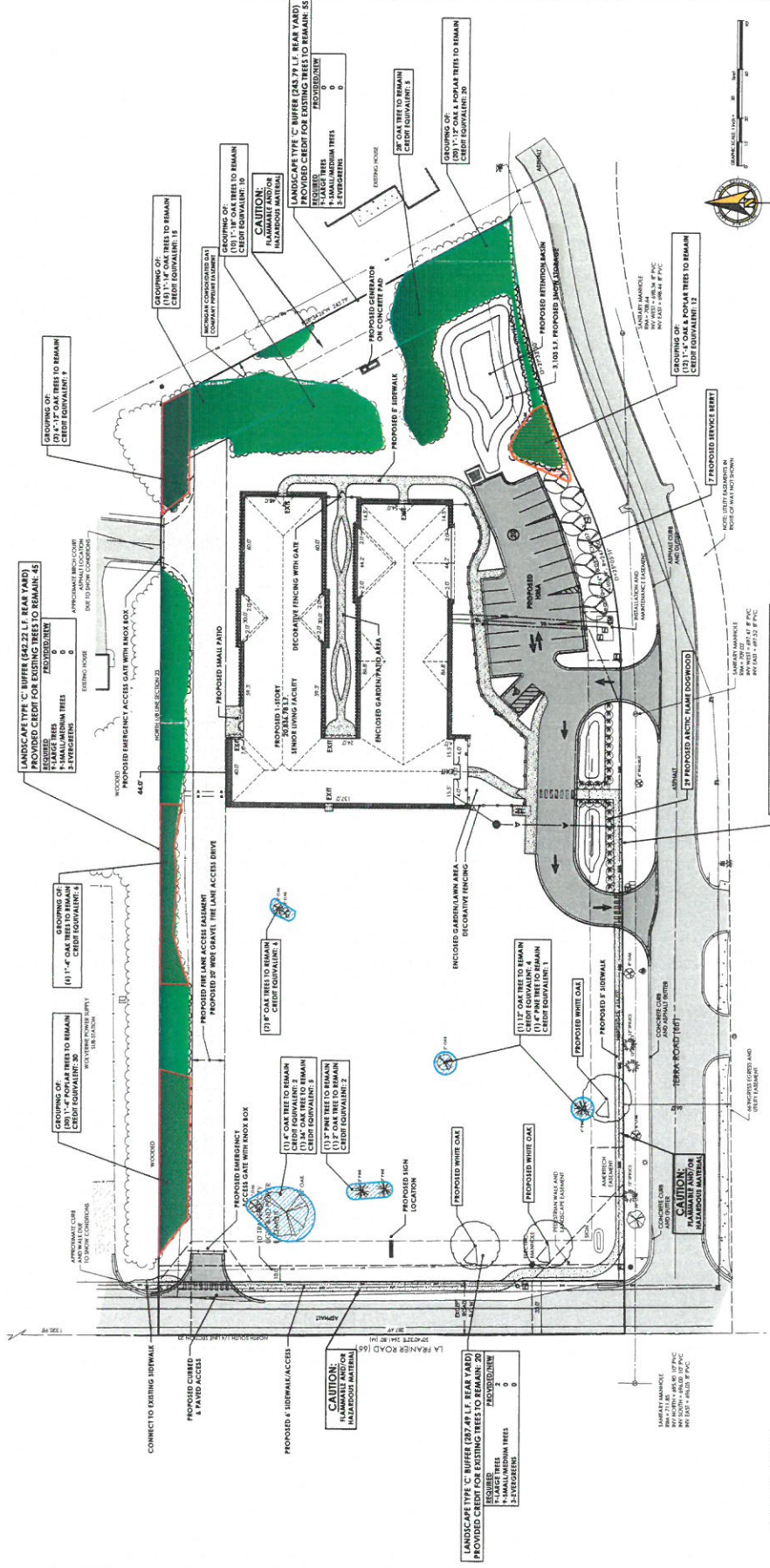
- GENERAL CONSTRUCTION NOTES:**
1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED DEMOLITION PERMIT FROM THE CITY OF GRAND RAPIDS.
 2. ALL DEMOLITION AND THE TRANSPORTATION OF THE DEMOLISHED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND RAPIDS.
 3. ALL DEMOLITION SHALL BE COMPLETED TO THE LIMITS AS SPECIFIED. ALL REMOVALS SHALL BE INCLUDED IN ANY SCHEDULED ITEMS UNLESS OTHERWISE NOTED BY THE OWNER.
 4. THE CONTRACTOR SHALL VERIFY AND REPAIR THE ENTIRE SITE TO MEET ALL APPLICABLE REGULATIONS AND ALL SURFACE FEATURES (VALVES, POLES, CROSS SIGNALS, ETC.) OF EXISTING UTILITIES THAT ARE CALLED OUT ON THIS PLAN SHALL BE MAINTAINED OR REPAIRED TO MEET ALL APPLICABLE REGULATIONS. ALL OTHERS SHALL BE ADJUSTED TO THE PROPOSED GRADING CONDITIONS AS REQUIRED.
 5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO DISCONNECTING, REMOVING, OR REPAIRING ANY UTILITIES.
 6. SAW CUT ALL PAVEMENTS FULL DEPTH AT THE CONSTRUCTION LIMITS PRIOR TO DEMOLITION AND REMOVAL OF ALL PAVEMENTS AND REPAIR TO MEET ALL APPLICABLE REGULATIONS.
 7. DEMOLITION AND BE RESPONSIBLE FOR SEE SAFETY ACCESS THROUGHOUT THE SITE PERMETER PRIOR TO DEMOLITION.
 8. AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATELY MARKED AND/OR PROTECTED PRIOR TO DEMOLITION.
 9. THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN AND SANITARY SEWER SERVICE TO THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF GRAND RAPIDS FOR THE PROTECTION AND MAINTENANCE OF EXISTING UTILITIES AND THE PROTECTION OF EXISTING TREES AND LANDSCAPE FEATURES.
 10. RECOMMENDATIONS: MATERIALS THAT ARE GENERALLY GENERATED AND MANAGED BY THE CITY OF GRAND RAPIDS AND RETURNED TO THE CITY AND RETURNED TO THE CITY AND RETURNED TO THE CITY SHALL PROTECT EXISTING MATERIALS. THE CONTRACTOR SHALL PROTECT EXISTING MATERIALS.



DATE	DESCRIPTION	BY	CHKD
02/14/17	PRELIMINARY DESIGN	AMC	AMC
02/14/17	PRELIMINARY DESIGN	AMC	AMC
02/14/17	PRELIMINARY DESIGN	AMC	AMC
02/14/17	PRELIMINARY DESIGN	AMC	AMC

Proposed Senior Living Facility
LANDSCAPE PLAN
Burdco
Section 23, Town 27 North, Range 11 West
Genesee Township, Grand Traverse County, Michigan

DATE	DESCRIPTION
02/14/17	PRELIMINARY
02/14/17	PRELIMINARY
02/14/17	PRELIMINARY
02/14/17	PRELIMINARY
02/14/17	PRELIMINARY




PLANT LIST

TREE	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPACING	QUANTITY	REMARKS
TREES	Oak, White	<i>Quercus alba</i>	2' - 12'	10' x 10'	7	28 TREESGREENS
	Red Maple	<i>Acer rubrum</i>	7' - 8'	10' x 10'	3	
	Red Maple	<i>Acer rubrum</i>	7' - 8'	10' x 10'	3	
SHRUBS	Red Maple	<i>Acer rubrum</i>	3' - 4'	10' x 10'	3	
	Red Maple	<i>Acer rubrum</i>	3' - 4'	10' x 10'	3	

PLANTING NOTES:
Check to ensure removal from the planting area weeds and grasses, including root, and any other accumulated debris and...
Remove all tags, labels, nursery plastic and ties from all plant material only after the approval of the Owner.
All plants shall be guaranteed for a period of one year. The guarantee period commences from the time of final acceptance by the Owner. Replanting on poor weather permits, all dead plants and in-vegetative condition or needed during the maintenance replacement shall be done at the original spacing. They shall be furnished, planted and fully irrigated as specified and guaranteed.

IRRIGATION NOTE:
Landscape to be irrigated. Irrigation to be performed by a reputable irrigation contractor.

LANDSCAPING PREPARED BY:
Burdco
383 Congress St., Ste. 201
Troy, MI 48068
Phone: 248-946-9310
www.burdco.com

 Charter Township of Garfield Planning Department Report No. 2019-63			
Prepared:	June 3, 2019	Pages:	4
Meeting:	June 12, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Living Hope Church Special Use Permit-Public Hearing		
File No.	SUP-2019-02	Parcel No.	28-05-105-001-00
Applicant/Owner:	Living Hope Church		
Agent:	Peninsula Construction & Design		

BRIEF OVERVIEW:

- 3050 W. South Airport Road (between Day Dr and Marmac Ave)
- 3.20 acres in area
- Existing Living Hope Church and parking area
- R-1 One-Family Residential District

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for a proposed 13,500-square foot addition to an existing 7,296-square foot church, with an associated 134-space parking area. Institutional uses are permitted via Special Use Permit in the R-1 One-Family Residential District. This application was conceptually reviewed by the Planning Commission at its February 13, 2018 Regular Meeting, and it appears that Commissioners generally viewed the conceptual proposal in a favorable light.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In the section that follows, Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress:

For access directly onto South Airport Road, the existing driveway has been reconfigured as a new 24-foot wide driveway with right in only ingress and right out only egress. On the revised Sheet C2 Site Plan – Proposed, directional signage will be provided at this location per County Road Commission specifications.

On March 20, 2019, the applicant sought a variance from 40 feet to 10 feet to allow for an existing section of asphalt parking located on the south side of the property along Day Drive. Zoning Board of Appeals approval was obtained for this variance request.

Vehicular and Bicycle Parking:

Parking areas for churches or temples have a minimum parking requirement of 1 for each six (6) seats and a maximum parking requirement of 1 for each three (3) seats in the main unit of worship. 400 seats are proposed for the new sanctuary. 134 parking spaces are provided onsite which meets the maximum parking requirement.

Pursuant to Section 522 of the Ordinance, bicycle parking spaces are required. Bicycle parking spaces have been provided.

Dumpster Enclosure:

The proposed dumpster enclosure is located on the north side of the existing church building. An updated dumpster enclosure design has been provided on Sheet C5 Site Details.

Pedestrian Circulation:

A sidewalk six (6) feet in width is proposed along the entire frontage of the property on South Airport with a sidewalk six (6) feet in width along Day Drive. Pedestrian access is provided along the edge of the parking area from the sidewalk to the main entrance of the church. All pedestrian crossings must be striped.

Landscaping:

The "Type C" buffers along the north, west, and south property lines meet the quantity requirements and intent of the Ordinance. The Type "D" along the east property line also meets the quantity requirements and intent of the Ordinance. Crediting of existing trees along the north, west, and south property lines has been provided. The applicant has provided additional trees along the west property line to screen the parking area. The additional trees have been specified on Sheet C4 Landscape Plan as eight 2-inch Arborvitae evergreens to be 6-foot tall at time of planting. Mature height of the trees is expected to be 15 to 20 feet tall and 5 to 6 feet round.

As a Special Use Permit, the Planning Commission does have the authority to require additional landscaping at any location if determined to be necessary to meet the intent of the Ordinance.

Lighting:

Pursuant to Section 517 of the Ordinance, all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale. All lights and lighting pole heights meet zoning requirements.

Accessory Buildings:

There are two existing buildings located along the north setback area of the subject site. The building at the middle of the north property line will be removed. The building at the northwest corner of the subject site is an AT&T utility building and cannot be removed.

Sewer and Water:

Since the existing church building is located within 200 feet of an existing sanitary sewer main, a connection will be made to the sewer main located on the east side of South Airport Road. The applicant has been working with the County Public Works Department and the County Health Department regarding sanitary sewer access and will be updating the plans to reflect changes. Currently, the plan shows the sewer extending north out of the new addition then heading east along the edge of the driveway. The revision will show it extending straight east out of the northeast corner of the addition and intersect the sewer coming out to the septic system. From there, it will then go east under South Airport Road and connect with the sewer main. These changes replace the comments made in the Project Narrative and Impact Statement dated April 17, 2019 regarding septic system.

Stormwater:

Parking lot stormwater runoff will be managed completely onsite via two (2) retention basins located at the east side of the site and an underground retention area at the west side of the site. The underground retention area is correct. The applicant is in the process of finalizing the parking lot grades and engineering the underground retention.

Snow Storage:

Snow storage is provided at the east and north edges of the parking lot, which appear to be a logical place considering the proposed site layout.

ACTION REQUESTED:

The purpose of this agenda item is to hold a public hearing on the application. If, following an opportunity for applicant presentation and Commissioner discussion, the Commission is prepared to direct Staff to prepare Findings of Fact, the following motion is offered for consideration:

MOTION TO direct Staff to prepare Findings of Fact for application SUP-2019-02, submitted by Living Hope Church, for a Special Use Permit for a church addition at 3050 W. South Airport Road.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Public Hearing notice dated May 26, 2019
2. Project Narrative and Impact Statement dated April 17, 2019
3. 11" X 17" plan set provided by applicant dated April 18, 2019

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231) 946-2000
Fax (231) 946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/15/19 10:40 by dling

Acct #: 5508

Ad #: 519953

Status: New WHOLD WHOI

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN

NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on June 12, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Peninsula Construction & Design on behalf of Living Hope Church requesting a Special Use Permit for a proposed 13,500 square foot addition to the Living Hope Church located at 3050 W South Airport Road, Parcel ID # 28-05-105-001-00.
2. Consideration of an application received from Munson Healthcare Children's Center for approval of a Special Use Permit ("SUP") to use an existing 9,256-square foot building for a proposed employer supported Child Development Center for Munson Staff. The property is located at 5222 North Royal Drive, Parcel ID # 05-347-008-00.
3. Consideration of an application received from Burdco, Inc. on behalf of Chartwell Properties, LLC requesting a major amendment to a Planned Unit Development for a proposed 80 unit Assisted Living Facility to be located in the Terra Energy PUD which is east off of Lafranier Road, parcel ID# 05-023-013-01.
4. Consideration of an application received from Peachtree River Investments, LLC requesting a major amendment to Phase 2 and Phase 3 of the Ashland Park Planned Unit Development by replacing the 2001 original approved mix of 124 quadplex residential units, 42 duplex residential units, and 21 single-family residential units with a proposed new pattern consisting of 158 duplex residential units. The property is located at the intersection of Birmley Road and Garfield Road, parcel ID# 05-026-018-00.
5. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

May 26, 2019-1T

519953

April 17, 2019

Garfield Township
3848 Veterans Drive
Traverse City, MI 49684

RE: 3050 W. South Airport Road Living Hope Church Impact Assessment

The subject site is already mostly developed with an existing church and paved parking. The site is surrounded by a mix of uses with residential to the north and west of the site, and commercial to the south and across South Airport Road. The topography is flat where the proposed addition and new parking is planned with some slope coming down into the site from the south along Day Drive and the west neighboring residential lot. The vegetative cover is grass and numerous mature canopy and evergreen trees along the border of the property. There is also existing landscaping around the existing church as well as a couple mature trees that will remain. There are no streams, rivers, or ponds on this site.

The existing use is institutional. There are currently 10-15 full time and part time employees at this site. The proposed addition may result in a couple part time employees being added.

The proposed project would start this summer with the final landscaping and stabilization being finalized the following spring. The building is planned to be completed early spring.

There are no natural features in the area of the proposed addition and parking as this site has been cleared and leveled in the past. The existing mature trees along the border of this property will remain.

Municipal water already services site. A new lead will be required for the new fire suppression system that is required for this addition. The existing building is on a septic system that will remain for the existing building. The building addition will have a sanitary lead as there is no room to upgrade the existing septic and drainfield. }

The existing storm water basins will be used to manage storm water runoff both during and after construction. Temporary soil erosion control measures in both basins until grass is established and construction is complete. The new underground retention system will handle the addition and new parking and once installed and base coat of asphalt is installed. Temporary soil erosion control measures will be in place to prevent clogging up catch basins and pipes.

Silt fence will be installed along the north property line and part of the west property line as this is the only area where possible soil erosion could go onto neighboring property. The rest of the property slopes into itself and is already stabilized.

The revised exterior lighting will be new LED fixtures on poles (5). They will be shielded and facing down. The layout of the lights was to minimize the amount of light on the site and reduce any possible glare or light pollution onto neighboring sites. There will be wall pack LED fixtures at the exterior doors of the addition as required by code.

There will be no increase in emissions or noise compared to the existing use.

The existing church has been around for many years and provides a good buffer between the residential and commercial uses. This addition and site remodel will improve the flow of the site, improve the beauty of the immediate area, as well as better serve the community.

Sincerely,

A handwritten signature in black ink, appearing to read "Steven J. Richardson", written over a white background.

Steven J. Richardson



11133 BROADVIEW PARK, TRAVERSE CITY, MI 49684
 P (231) 947-7951
 WWW.PENNINSULACONSTRUCTION.COM

JOB NAME: LIVING HOPE CHURCH
 LOCATION: TRAVERSE CITY, MI 49684
 3050 W SOUTH AIRPORT RD.

BUILDING ADDITION AND SITE REMODEL: LIVING HOPE CHURCH

PROJECT ADDRESS: 3050 W. SOUTH AIRPORT ROAD
 TRAVERSE CITY, MI 49684

Structural Notes:

1. One inch build-up earth retaining walls until concrete or grade has reached (lower and upper floors).
2. All work shall be performed in accordance with the specifications and contract drawings. Prior to implementation, any discrepancies between the specifications and the contract drawings shall be reported to the engineer for clarification.
3. In the event that certain details of construction are not indicated or shown on the contract drawings, details for similar conditions that are indicated or shown on other drawings shall be reported to the engineer for clarification.
4. The structure engineer prior to fabrication, erection, and/or combination shall be indicated in the structural drawing.
5. Materials or equipment shall not be placed on surfaces, floors, or roofs in excess of 20 psi or on finished forms or rods in excess of the design live loads that are indicated in the structural drawings. Impact loading shall be avoided.
6. The structure has been designed for the in-service loads only. The contractor shall be responsible for the design of the temporary structure during the construction process to maintain and ensure the integrity of the structure at all times. The contractor shall immediately notify the structural engineer of any conditions which may affect the stability or the stability of the structure, or cause distress in the structure.
7. Erection is to provide temporary bracing sufficient to hold frame a position until all construction necessary for building stability is complete.
8. All existing conditions and all related dimensions indicated in the contract documents should be field verified prior to fabrication, erection, and/or combination. Any condition that differs from that indicated in the contract documents shall be reported to the engineer for review prior to fabrication, erection, and/or combination.
9. Cold Weather concrete shall conform to ACI-308.02 guidelines.

General Notes:

- BUILDING DESCRIPTION**
1. WIDESPAN, as manufactured by Butler Manufacturing Company.
 2. Building height: 40 ft. 0 in. total snow load: $C_s = 1.0$
 3. Building height: 15 ft. 0 in. ground snow load: $C_s = 1.0$
 4. Building height: 28 ft. 0 in. $C_s = 1.0$
 5. Existing Building Height: 30'
 6. Proposed Building Height: 40'
 7. Proposed Building Area: APPROX. 311,000 SF
 8. Proposed Building Area (HOTEL): 13,500 SF
- CONCRETE DESCRIPTION**
1. Concrete footings are designed for a soil bearing pressure of 2,000 psf. Vertical reinforcement shall be provided below foundations and below slabs with staggered lap and lapped reinforcement. Depth of embedded fill shall be determined by geotechnical site conditions.
 2. All reinforcement shall consist of deformed bars, grade 60 ksi, conforming to ASTM A63. Fabrication shall consist of welded, smooth wire fabric, conforming to ASTM A185.
 3. All rebar shall be set by means of chairs. Rebar shall be ASTM grade A601, hot type steel and/or hot rolled. DO NOT HAND SET!
 4. Reinforcement layout reinforcement through column foundations. Do not break continuity at column locations. Mats in column foundations shall be set on brick chairs to assure placement in mats as shown in footing details.
 5. All required bar laps shall be continued in adjacent floor slabs. Tieback the reinforcement at all bar locations to provide minimum 3' cover at all barpin locations.
 6. All concrete material and installation shall conform to ACI 318, Building Code Requirements for Structural Concrete.
 7. **DO NOT SCALE POINTS:** Contact the design department if there is a reference change.

Concrete Masonry Units (CMU):

Field construction shall conform to the requirements of the Building Code Requirements for Masonry Structures (ACI 530.02).

All hollow, load bearing concrete masonry units (CMU) shall conform to ASTM C-90 Class 1 (nominal weight), Type I (moisture controlled), (f'm = 1,500 psi) for all bearing walls, unless specified otherwise on the drawings.

Mortar in non-reinforced and reinforced concrete masonry unit walls shall conform to ASTM C-270, Type S, unless specified otherwise on the drawings.

Grout in non-reinforced and reinforced concrete unit walls shall conform to ASTM C-1107, Type I, unless specified otherwise. Minimum compressive strength shall be 2,500 psi unless specified otherwise.

Cold weather construction shall follow referenced specifications.

Concrete Specifications:

Footings	3000 psi
lc	
Foundation & Retaining Walls	
lc	3500 psi
Foundation	
lc	3500 psi
Reinforced Concrete	
lc	6% +/-, 1%

Sheet Index

- C1: SITE PLAN - EXISTING
- C2: SITE PLAN - PROPOSED
- C3: SOIL EROSION/STORM WATER - PROPOSED
- C4: LANDSCAPE - PROPOSED
- C5: SITE DETAILS
- 1: PHOTOGRAPHIC PLAN (BY OTHERS)
- A1: EXISTING FLOOR PLAN
- A2: EXISTING ELEVATIONS
- A3: PROPOSED FLOOR PLAN
- A4: PROPOSED BASINMENT / MEZZANINE
- A5: PROPOSED ELEVATIONS

CONTRACTOR/APPLICANT:

PENNINSULA CONSTRUCTION AND DESIGN
 1125 BUSINESS PARK DRIVE
 TRAVERSE CITY, MI 49684
 (231) 947-7951

ENGINEER:

CHRIS DITENBER, PE
 1125 BUSINESS PARK DRIVE
 TRAVERSE CITY, MI 49684

REVISIONS:	
NO.	DATE

COORDINATOR:	
DATE	11/18/2018
TIME	11:18:20 AM
PROJECT	PERSONAL
DATE	11-18-2018
USER	

CVR



www.FENINSUACONSTRUCTION.COM
 P (231) 947-7951
 11100 BURNING TREE LN. WALKER, MI 49891

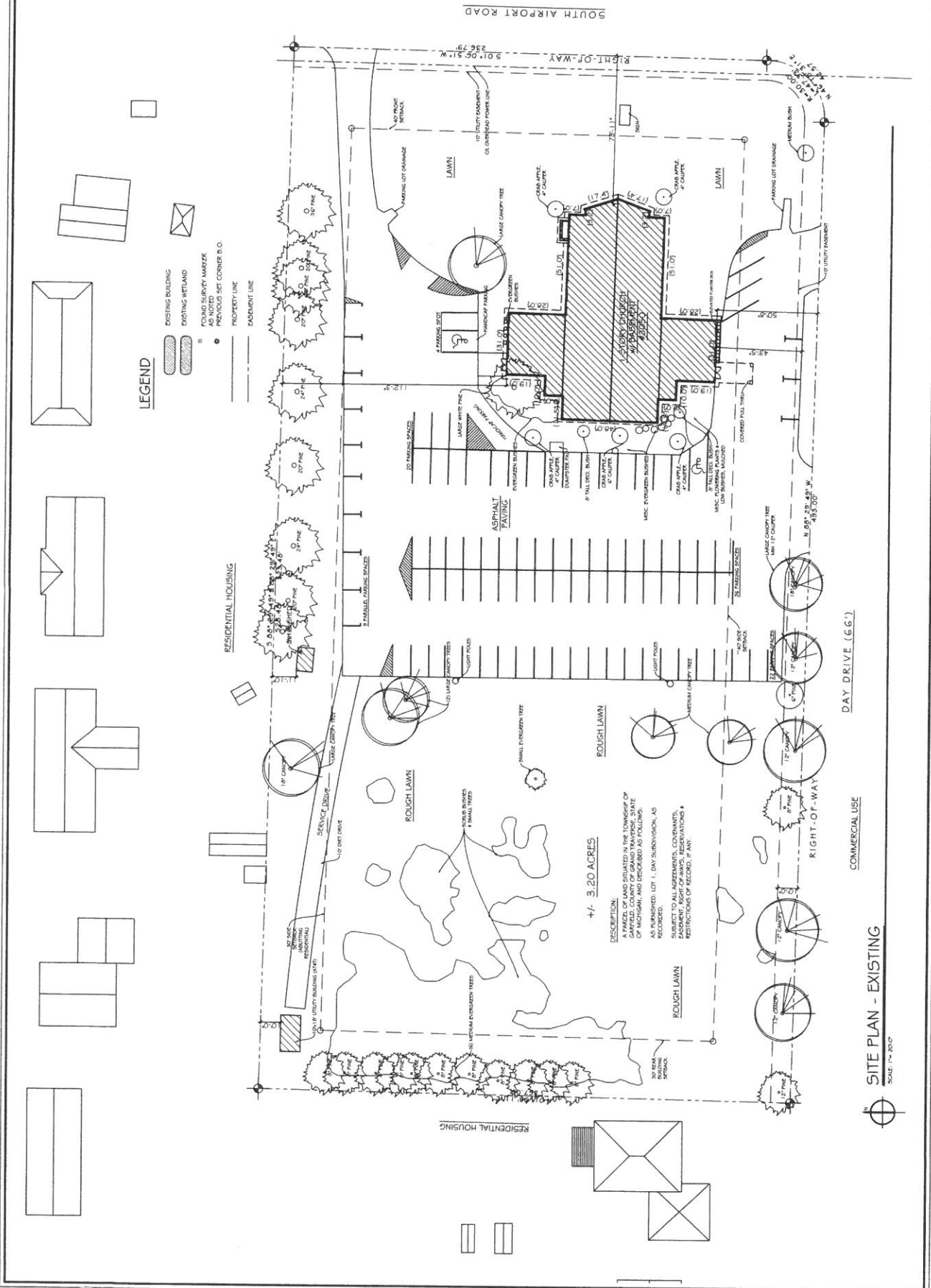
LIVING HOPE CHURCH

3050 W South Airport Rd.
 Traverse City, MI 49684

CONTRACT: 2008 FENINSUA CONSTRUCTION & DESIGN, LLC
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DATE	BY	REVISED
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	

DATE	BY	REVISED
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	
11-20-07	KEVIN REFFERTI	



LEGEND

- EXISTING BUILDING
- EXISTING WETLAND
- FOUND SURVEY MARKER AS NOTED
- PREVIOUS SET CORNER P.O.
- PROPERTY LINE
- EASEMENT LINE

± 3.20 ACRES

DESCRIPTION:
 A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF...
 AS SUBDIVIDED, LOT 1, DAY SUBDIVISION, AS RECORDED.
 SUBJECT TO ALL AGREEMENTS, COVENANTS, EASEMENTS, RIGHTS OF WAY, RESERVATIONS, RESTRICTIONS OF RECORD, IF ANY.

DAY DRIVE (66')

SITE PLAN - EXISTING
 SCALE: 1" = 20'-0"



11



JOB NAME: LIVING HOPE CHURCH
LOCATION: 3050 W. South Airport Road
 Traverse City, MI 49684

REVISIONS:
 1. 11/20/17
 2. 11/20/17
 3. 11/20/17

DATE	BY	DESCRIPTION
11/20/17	KEVIN HESTITT	INITIAL DESIGN
11/20/17	KEVIN HESTITT	REVISED DESIGN
11/20/17	KEVIN HESTITT	FINAL DESIGN

PROPOSED LOT COVERAGE CALC.
 LOT SIZE: 3.20 Acres (139,392 Sq. Ft.)
 EXISTING BUILDING: 7,296 Sq. Ft.
 PROPOSED ADDITION: 13,500 Sq. Ft.
 NEW BUILDING TOTAL: 20,796 Sq. Ft.
 LOT COVERAGE: 20,796 SF / 139,392 SF = .1491 = 14.9%
 MAX 30% - O.K.

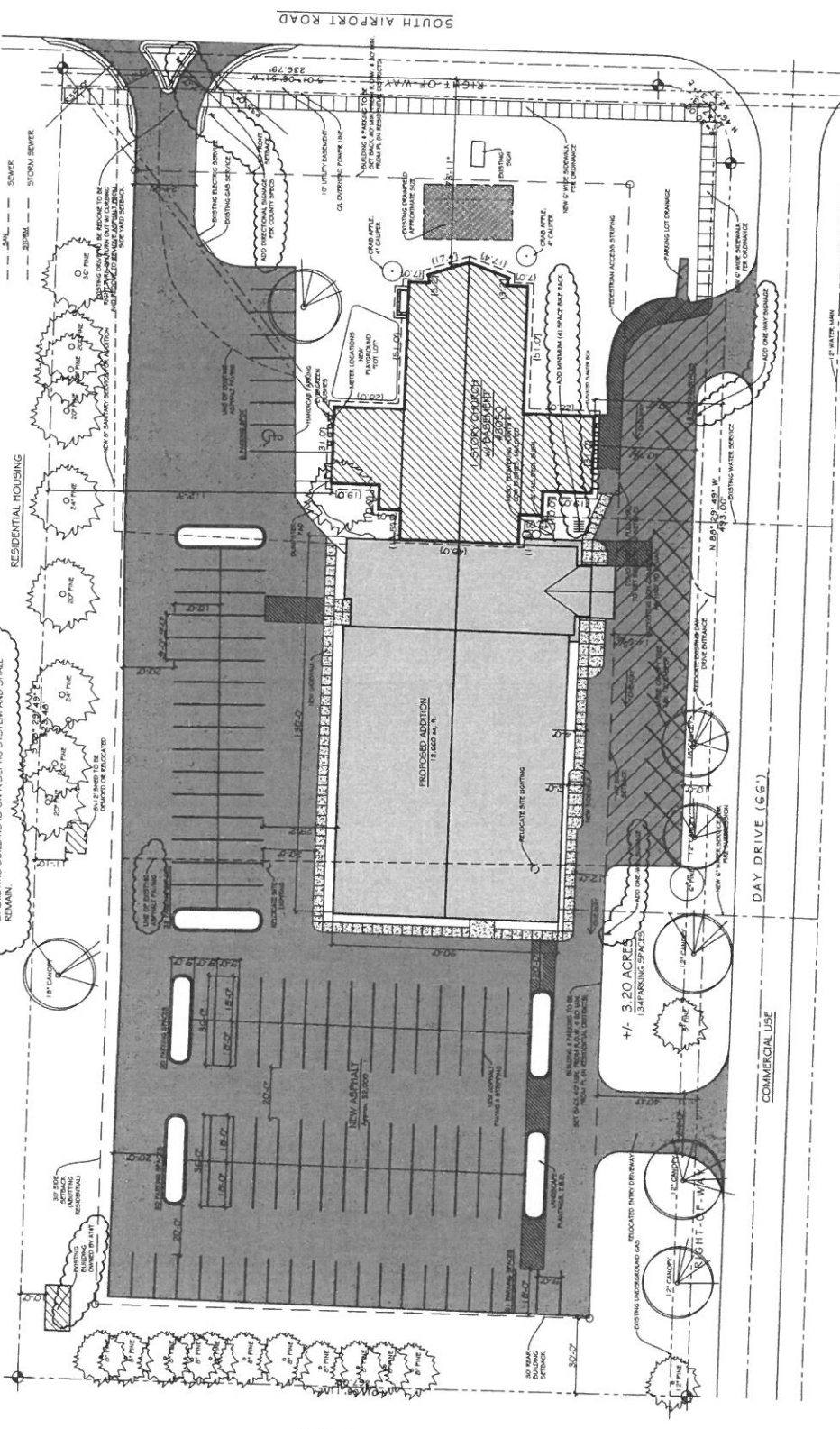
ZONING DESIGNATION: R-1 (ONE FAMILY RES.)
 MINIMUM LOT DIMENSIONS: 15,000 SF * 100' WIDTH
 MINIMUM YARD SETBACK: 1/2 STORES, OR 35'-0"
 FRONT - 30'
 SIDE - 10'
 REAR - 20'
 MAXIMUM LOT COVERAGE: 30%
 MINIMUM BUILDING CROSS SECTION: 24'
 NOTE:
 1. ALL EXISTING ASPHALT THAT WILL REMAIN WILL BECOME NEW TOP COAT TO MATCH NEW PARKING AREA. PLEASE SEE SHEET 'C1' FOR EXISTING SITE LAYOUT.
 2. EXISTING BUILDING IS ON A SEPTIC SYSTEM AND SHALL REMAIN.

PARCEL NO.: 05-105-001-00
JURISDICTION: GAMFRED TOWNSHIP
OWNER NAME: LIVING HOPE ASSEMBLY OF GOD CHURCH
PROPERTY ADDRESS: 3050 W. SOUTH AIRPORT RD.
 TRAVERSE CITY, MI 49684-6553
TAX DESCRIPTION: LOT 1, DAY SUBD.

DESCRIPTION:
 A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF GAMFRED, COUNTY OF GRAND TRAVERSE, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
 AS FURNISHED: LOT 1, DAY SUBDIVISION, AS RECORDED.
 SUBJECT TO ALL AGREEMENTS, COVENANTS, EASEMENTS, RIGHTS-OF-WAYS, RESERVATIONS & RESTRICTIONS OF RECORD, IF ANY.

LEGEND

- EXISTING BUILDING
- EXISTING YARDLAND
- NEW SIDEWALK/CONCRETE PAD
- NEW BUILDING
- NEW PAVED SURFACE
- CATCH BASIN
- PROPERTY LINE
- EASEMENT LINE
- WATER
- SEWER
- STORM SEWER



SITE PLAN
 SCALE: 1" = 20'-0"

NO.	DATE	DESCRIPTION
1	11-20-07	ISSUED FOR PERMITS
2	11-20-07	ISSUED FOR PERMITS
3	11-20-07	ISSUED FOR PERMITS

DESIGNER:	DATE:
DRAWN BY:	SCALE:
CHECKED BY:	PROJECT:
CLIENT:	JOB #:
CONTRACT:	DATE:
PROJECT:	PROJECT:
DATE:	PROJECT:
SCALE:	PROJECT:
JOB #:	PROJECT:
DATE:	PROJECT:
PROJECT:	PROJECT:

C3
SHEET #

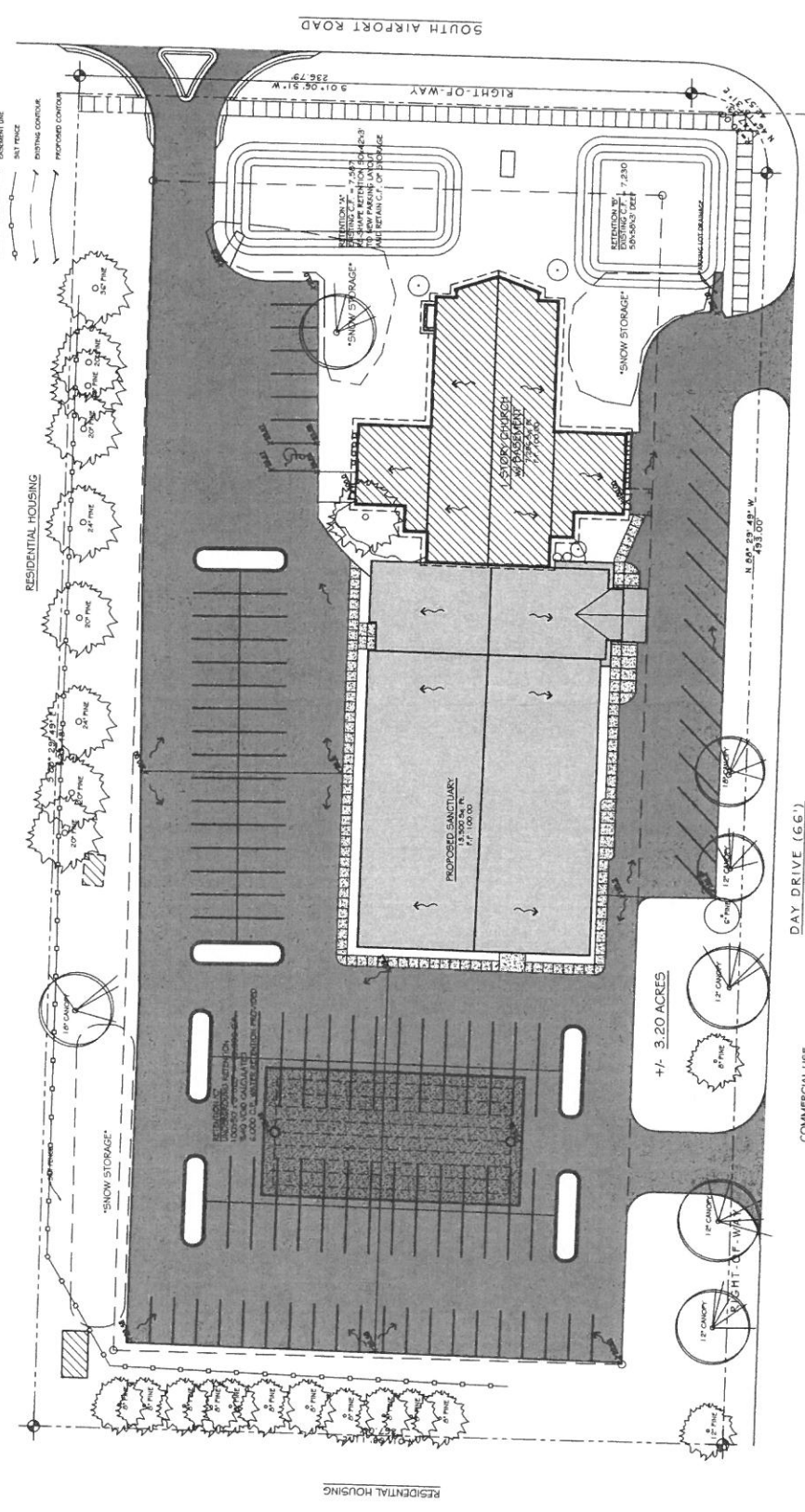
LEGEND

- EXISTING BUILDING
- EXISTING ASPHALT
- NEW ASPHALT/CONCRETE PAD
- NEW BUILDING
- NEW PAVED SURFACE
- EXISTING GRADE
- NEW PROPOSED GRADE
- WATER DIRECTION
- GATED RAIN
- PROPERTY LINE
- EXISTING USE
- EXISTING CONTROL
- PROPOSED CONTROL

SNOW STORAGE:
SNOW STORAGE REQUIRED = 10% OF TOTAL PARKING LOT AREA
TOTAL PARKING LOT AREA (PROPOSED) = 61,300 Sq. Ft.
REQUIRED SNOW STORAGE AREA = 61,300 Sq. Ft. x (.10) = 6,130 Sq. Ft.
TOTAL SNOW STORAGE AREA SHOWN = 6,257 Sq. Ft.

PROPOSED LOT COVERAGE CALC:
LOT SIZE: 5.20 Acres (139,392 Sq. Ft.)
EXISTING BUILDING: 7,296 Sq. Ft.
PROPOSED ADDITION: 13,500 Sq. Ft.
NEW BUILDING TOTAL: 20,796 Sq. Ft.
LOT COVERAGE: 20,796 SF / 139,392 SF = .1481 = 14.8%
MAX 30% - O.K.

RETENTION CALCULATIONS:
TOTAL RETENTION REQUIRED
TOTAL BUILDING AREA = 20,796 Sq. Ft.
TOTAL ASPHALT / SIDEWALK = 61,300 Sq. Ft.
20,796 + 61,300 = 82,096 Sq. Ft. x 3" RAINFALL = 20,524 Cu. Ft. REQUIRED
TOTAL RETENTION PROVIDED
RETENTION A - EXISTING (RE-SHAPED) = 7,567 Cu. Ft.
RETENTION B - NEW UNDERGROUND = 7,230 Cu. Ft.
TOTAL RETENTION NEW & EXISTING = 20,317 Cu. Ft.

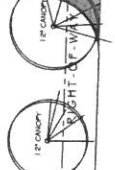
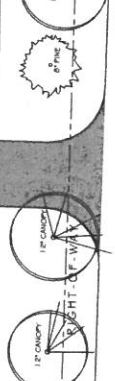


STORM WATER / SOIL EROSION PLAN
SCALE: 1" = 20'-0"



DAY DRIVE (66')

+/- 3.20 ACRES



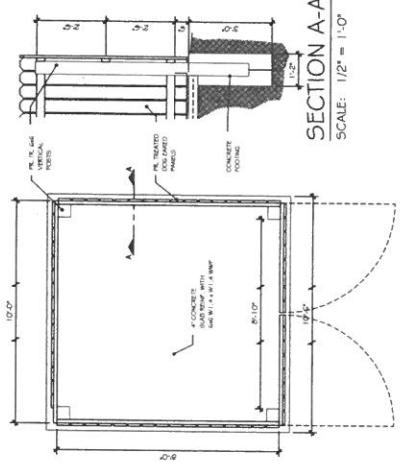
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NO.	DATE	DESCRIPTION
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2	08/22/2017	ISSUED FOR PERMITS

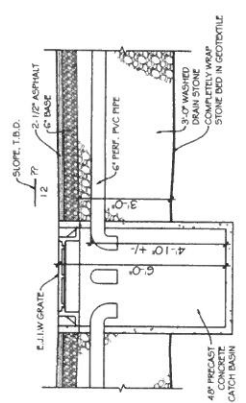
REVISIONS:

NO.	DATE	DESCRIPTION
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2	08/22/2017	ISSUED FOR PERMITS

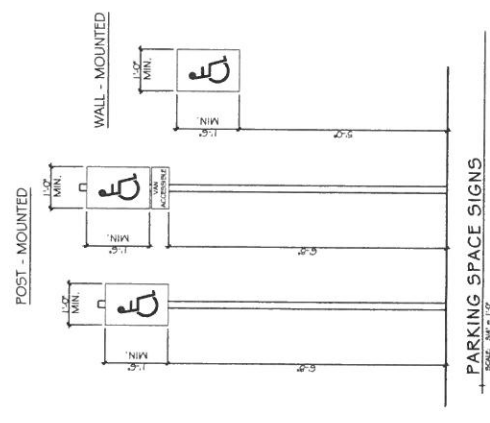
DESIGNER: KEVIN REFFERTI
SCALE: 3/4" = 1'-0"
DATE: 08/15/2017
PROJECT: LIVING HOPE CHURCH
SHEET # 1 OF 5
C5



PROPOSED DUMPSTER ENCLOSURE DESIGN
SCALE: 1/2" = 1'-0"



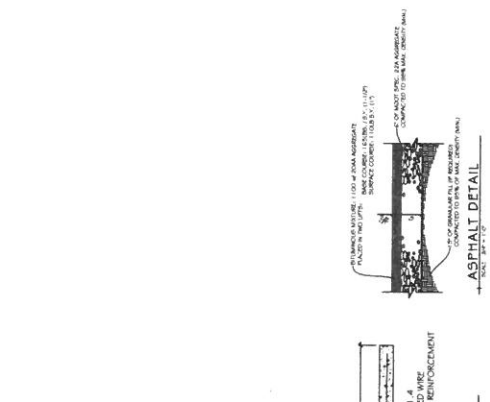
CATCH BASIN / RETENTION DETAIL
SCALE: 1/2" = 1'-0"



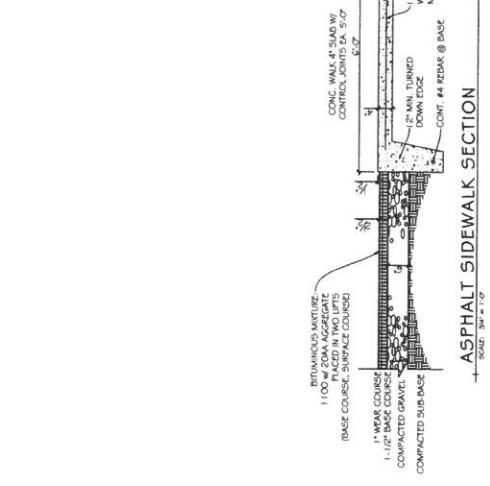
PARKING SPACE SIGNS
SCALE: 3/4" = 1'-0"



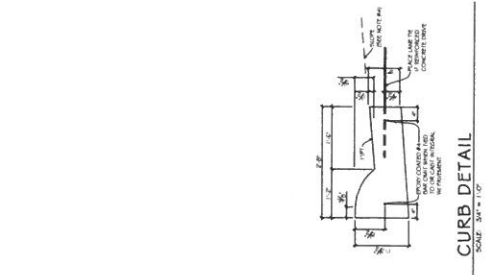
CURB DETAIL
SCALE: 3/4" = 1'-0"



ASPHALT DETAIL
SCALE: 3/4" = 1'-0"



ASPHALT SIDEWALK SECTION
SCALE: 3/4" = 1'-0"

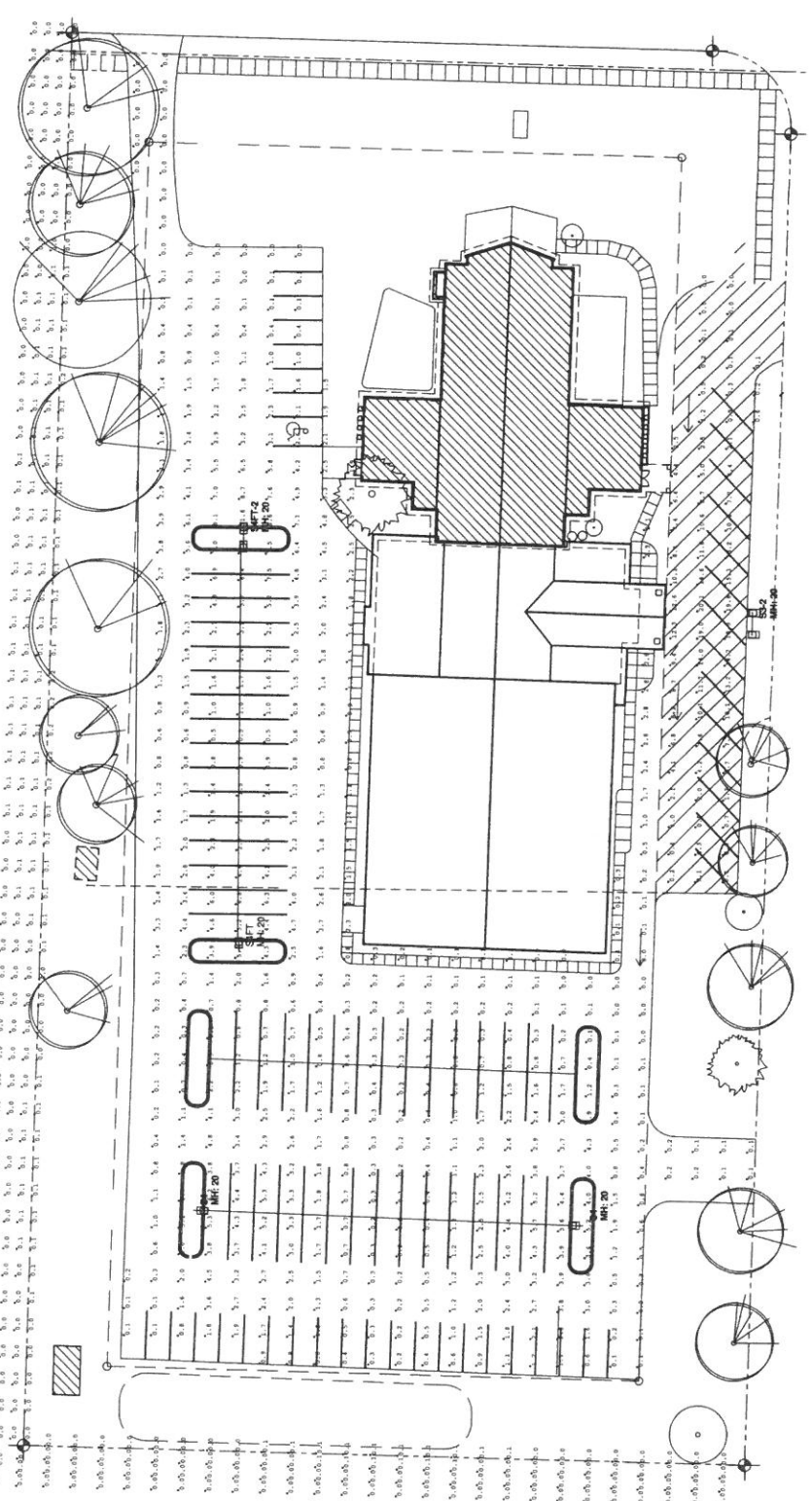


SECTION A-A
SCALE: 1/2" = 1'-0"

SITE PHOTOMETRIC PLAN 1"

CHL Church

Date: 03/07/19
 Drawn By: Alan Searcy
 Scale: 1"=20'



Calculation Summary			Footcandle		Footcandle	
Room	Area (sq ft)	Footcandle	Area (sq ft)	Footcandle	Area (sq ft)	Footcandle
CHURCH	1,000	100	1,000	100	1,000	100
REAR PORCH	200	20	200	20	200	20
FRONT PORCH	200	20	200	20	200	20
REAR PORCH	200	20	200	20	200	20
FRONT PORCH	200	20	200	20	200	20
REAR PORCH	200	20	200	20	200	20
FRONT PORCH	200	20	200	20	200	20
REAR PORCH	200	20	200	20	200	20
FRONT PORCH	200	20	200	20	200	20
REAR PORCH	200	20	200	20	200	20
FRONT PORCH	200	20	200	20	200	20
REAR PORCH	200	20	200	20	200	20

CRITICAL PATH METHOD
 990C West River Center Dr
 Crittes, Tiley & Assoc., Inc.
 616-647-2400
 www.crittes.com

DISCLAIMER
 The design is based on the information provided by the client. The design is not intended to be used for any other purpose. The design is not intended to be used for any other purpose. The design is not intended to be used for any other purpose.



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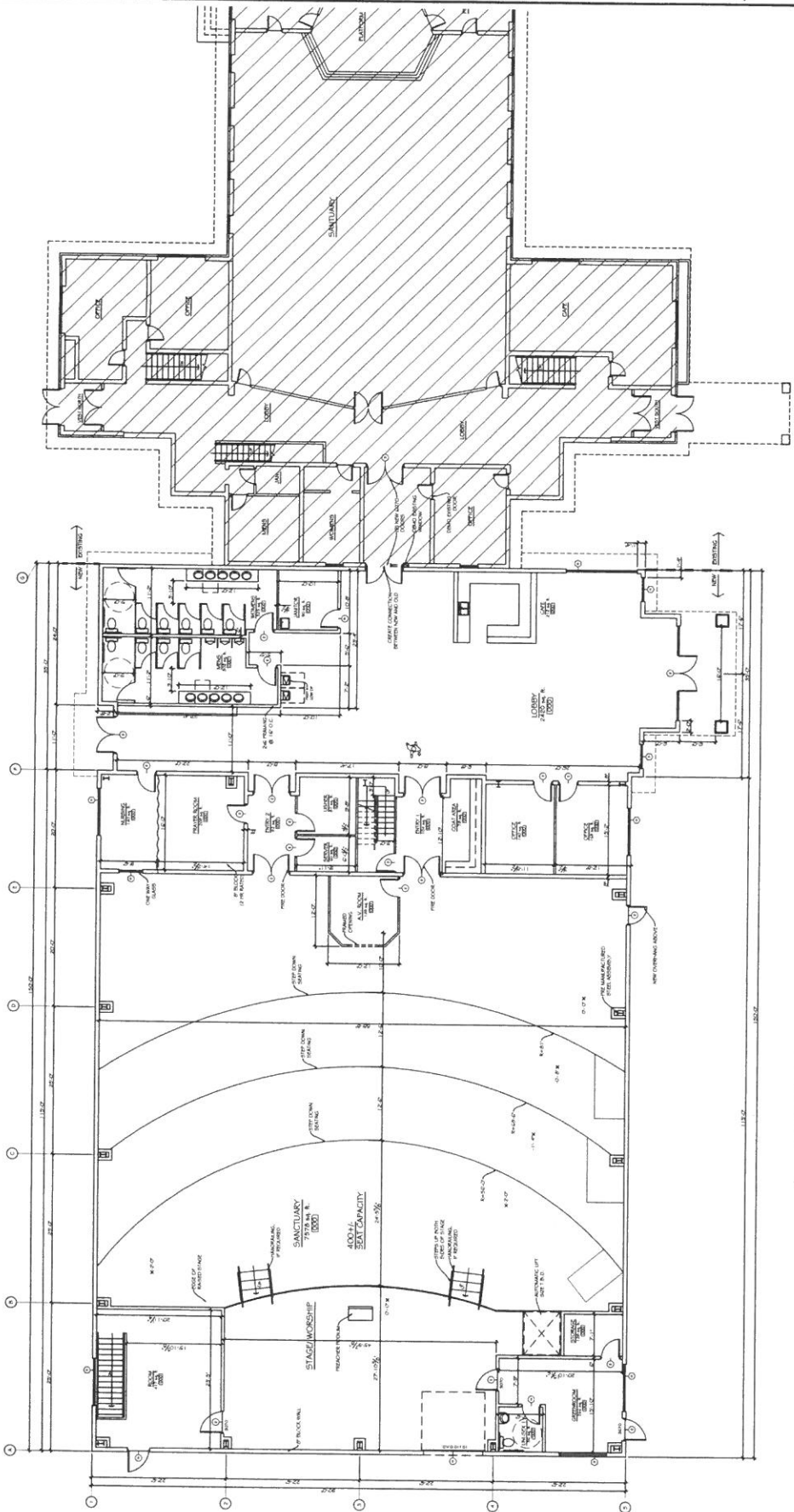
REVISIONS

NO.	DATE	DESCRIPTION

OWNER:	CHL
DESIGNER:	PERKINS
DATE:	04.18.2017
PROJECT:	PERKINS
SCALE:	1/8" = 1'-0"
JOB #:	1000
DATE:	04.18.2017

KEVIN PERKINS
 ARCHITECT

SHEET:	A3
DATE:	04.18.2017
PROJECT:	PERKINS
SCALE:	1/8" = 1'-0"
JOB #:	1000
DATE:	04.18.2017



FIRST FLOOR PLAN - PROPOSED
 SCALE 1/8" = 1'-0"





WWW.PENNINGTONCONSTRUCTION.COM
 P. (201) 947-7351
 1175 BROADWAY, SUITE 100, TRUSTEES CITY, NJ 07084

TRUSTEES CITY, NJ 07084

LOCATION:
CHL

JOB NAME:

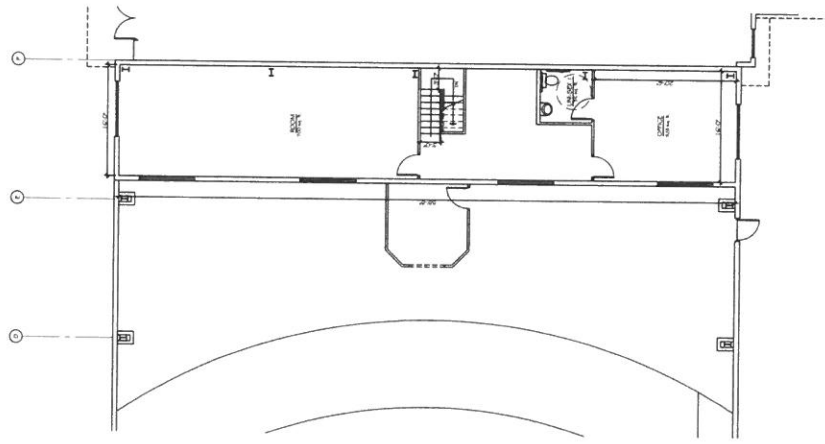
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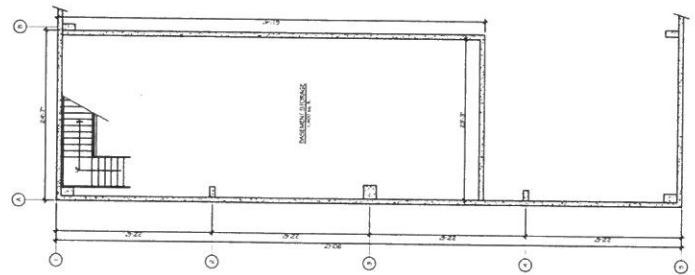
NO.	DATE	DESCRIPTION

DATE:	04.18.2019
PROJECT:	PROVISION
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DRAWN BY:	0000
CHECKED BY:	0000
DATE:	04.18.2019
PROJECT:	PROVISION
SCALE:	1/8" = 1'-0"
DRAWN BY:	0000
CHECKED BY:	0000

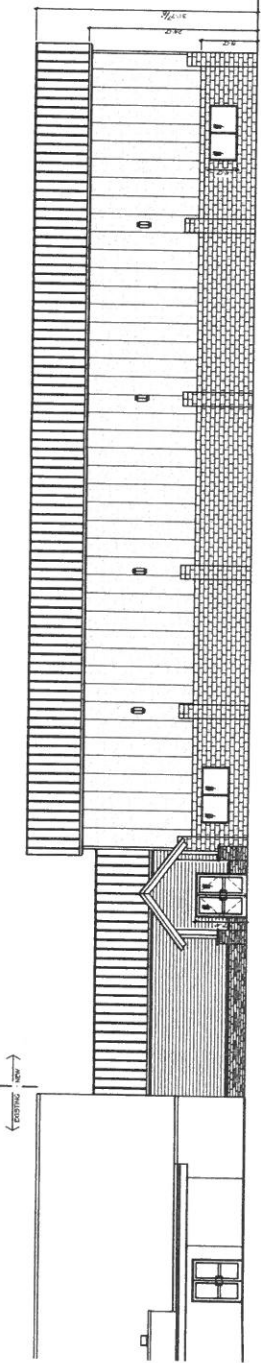
A4



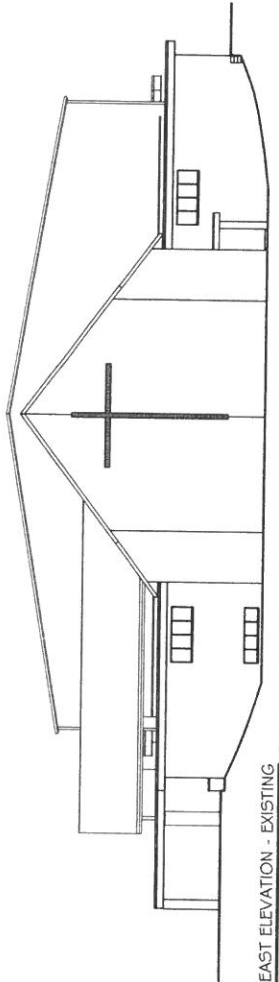
MEZZANINE PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



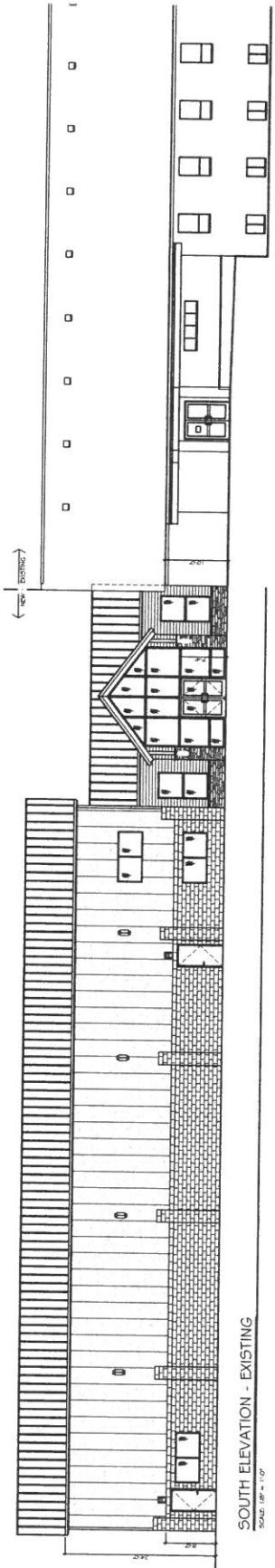
BASEMENT PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



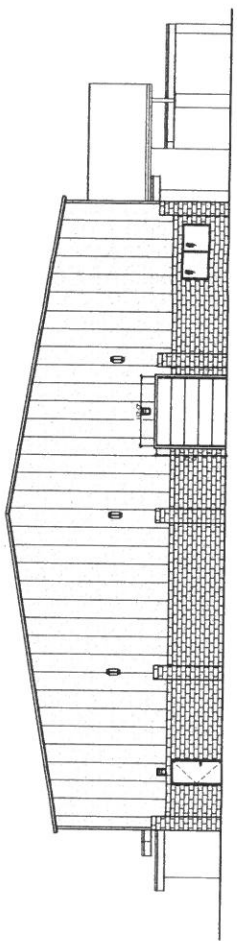
NORTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



EAST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"

BUILDING ADDITION AND SITE REMODEL: LIVING HOPE CHURCH

PROJECT ADDRESS: 3050 W. SOUTH AIRPORT ROAD
TRAVERSE CITY, MI 49684



WWW.PENINSULA-CONSTRUCTION.COM
P. (231) 947-7951

JOB NAME:
LIVING HOPE CHURCH
LOCATION:
3050 W South Airport Rd,
TRAVERSE CITY, MI 49684

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE:
SITE PLAN 1/8" = 1'-0"
SECTIONAL 1/8" = 1'-0"
ELEVATIONS 1/8" = 1'-0"

CVR:
SHEET 0000

Sheet Index

- C1: SITE PLAN - EXISTING
- C2: SITE PLAN - PROPOSED
- C3: SOIL EROSION STORM WATER - PROPOSED
- C4: LANDSCAPE - PROPOSED
- C5: SITE PLAN - CONCEPT
- C6: PHOTOGRAPHIC PLAN (BY OTHERS)
- A1: EXISTING FLOOR PLAN
- A2: EXISTING ELEVATIONS
- A3: PROPOSED FLOOR PLAN
- A4: PROPOSED BASEMENT / MEZZANINE
- A5: PROPOSED ELEVATIONS

Concrete Masonry Units (CMU):

Field construction shall conform to the requirements of the Building Code Requirements for Masonry Structures (ACI 530.02).

All hollow, load bearing concrete masonry units (CMU) shall conform to ASTM C90 (Type S) or ASTM C90 (Type N) (measure controlled). (Pm = 1,500 psi for all bearing walls, unless specified otherwise in the drawings).

Masonry shall be laid in alternate courses and shall conform to the drawings in accordance with ASTM C-270, Type S, unless specified otherwise on the drawings.

Concrete masonry units and reinforced concrete masonry walls shall be reinforced with 4# steel reinforcement. Vertical reinforcement shall conform to ASTM C-270, Type S, unless specified otherwise on the drawings.

Minimum compressive strength shall be 2,000 psi unless specified otherwise.

Cold weather construction shall follow referenced specifications.

General Notes:

- #### BUILDING DESCRIPTION
- 1. WIDESPAN, as manufactured by Budur Manufacturing Company.
 - 2. Building height: 30'0"
 - 3. DO NOT SCALE FROM ANY DRAWING.
 - 4. Building Type: 2017
 - 5. Existing Building Height: 30'
 - 6. Proposed Building Height: APPROX. 31'0"
 - 7. Proposed Building Area (NOTEL): 13,500 SF
- #### CONCRETE DESCRIPTION
- 1. Concrete footings are designed for a soil bearing pressure of 2,000 psf. All concrete shall be cast in place and shall be placed in a single lift. If a lift is necessary, the lift shall be placed below the footing and below walls with embedded fill and the lift shall be determined by the contractor. Depth of embedded fill shall be determined by the contractor.
 - 2. All reinforcement shall consist of deformed bars, grade 60 ksi, conforming to ASTM A603, for bars and stirrups. All bars shall be fabricated in accordance with ASTM A603, for bars and stirrups. All bars shall be grade 60 ksi, conforming to ASTM A603.
 - 3. All anchor bolts shall be set by the contractor. All bolts shall be ASTM grade A307, for type and anchor bolt details. DO NOT HAND SET.
 - 4. Run continuous footing reinforcement through column foundations. Do not break continuity at column locations. Min in column foundation shall be set on brick, chert or stone placement in pads as shown in footing details.
 - 5. All reinforcement shall be placed in pairs to provide minimum 3" cover at all herring locations.
 - 6. All concrete material and installation shall conform to ACI 310, Building Code Requirements for Structural Concrete.
 - 7. DO NOT SCALE PRINTS. Contact the design department if there is a dimensional conflict.

Structural Notes:

- 1. Do not backfill earth retaining walls until concrete or grout has reached lower and upper floors.
- 2. All work shall be performed in accordance with the specifications and contract drawings. Prior to commencement of construction, the contractor shall submit shop drawings and the contract drawings shall be reported to the engineer for clarification.
- 3. In the event that certain details of construction are not indicated or noted in the drawings, details for similar conditions that are indicated or noted shall be reported to the engineer for clarification.
- 4. The structural engineer, prior to fabrication, erection, and/or construction of any structural elements, shall verify the strength of structural elements that are not indicated in the structural drawings.
- 5. Materials or specimens shall not be fabricated from or made of materials in excess of 20' or on finished floors or roofs, except for the precast or cast-in-place concrete elements. Impact loading shall be avoided.
- 6. The structure has been designed for the intended loads only. The contractor shall not be responsible for any additional loads, including but not limited to, snow loads, wind loads, or other loads. The contractor shall be responsible for all other loads that are indicated in the structural drawings. Impact loading shall be avoided.
- 7. Erection of any temporary bracing sufficient to hold the structure in position until all construction necessary for loading stability is complete.
- 8. All working conditions and all related drawings shall be included in the contract documents. Any condition that differs from that stated in the contract documents shall be submitted to the engineer for review prior to fabrication, erection, and/or construction.
- 9. Cold Weather concrete shall conform to ACI-308.02 guidelines.

CONTRACTOR/APPLICANT:

PENINSULA CONSTRUCTION AND DESIGN
1125 BUSINESS PARK DRIVE
TRAVERSE CITY MI 49606
(231) 947-7951

ENGINEER:

CHRIS DITENBUR, PE
1125 BUSINESS PARK DRIVE
TRAVERSE CITY MI 49606



WWW.PENINSULARCONSTRUCTION.COM
 P (231) 947-7951
 1710 S. BIRCHWOOD BLVD., TROY, MI 48068

LIVING HOPE CHURCH

3050 W South Airport Rd.
 TROY, MI 48068

LOCATION:
 JOB NAME:

THIS DRAWING AND ALL OF THE CONTENTS OF THIS DRAWING ARE THE PROPERTY OF PENINSULAR CONSTRUCTION & DESIGN, LLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PENINSULAR CONSTRUCTION & DESIGN, LLC.

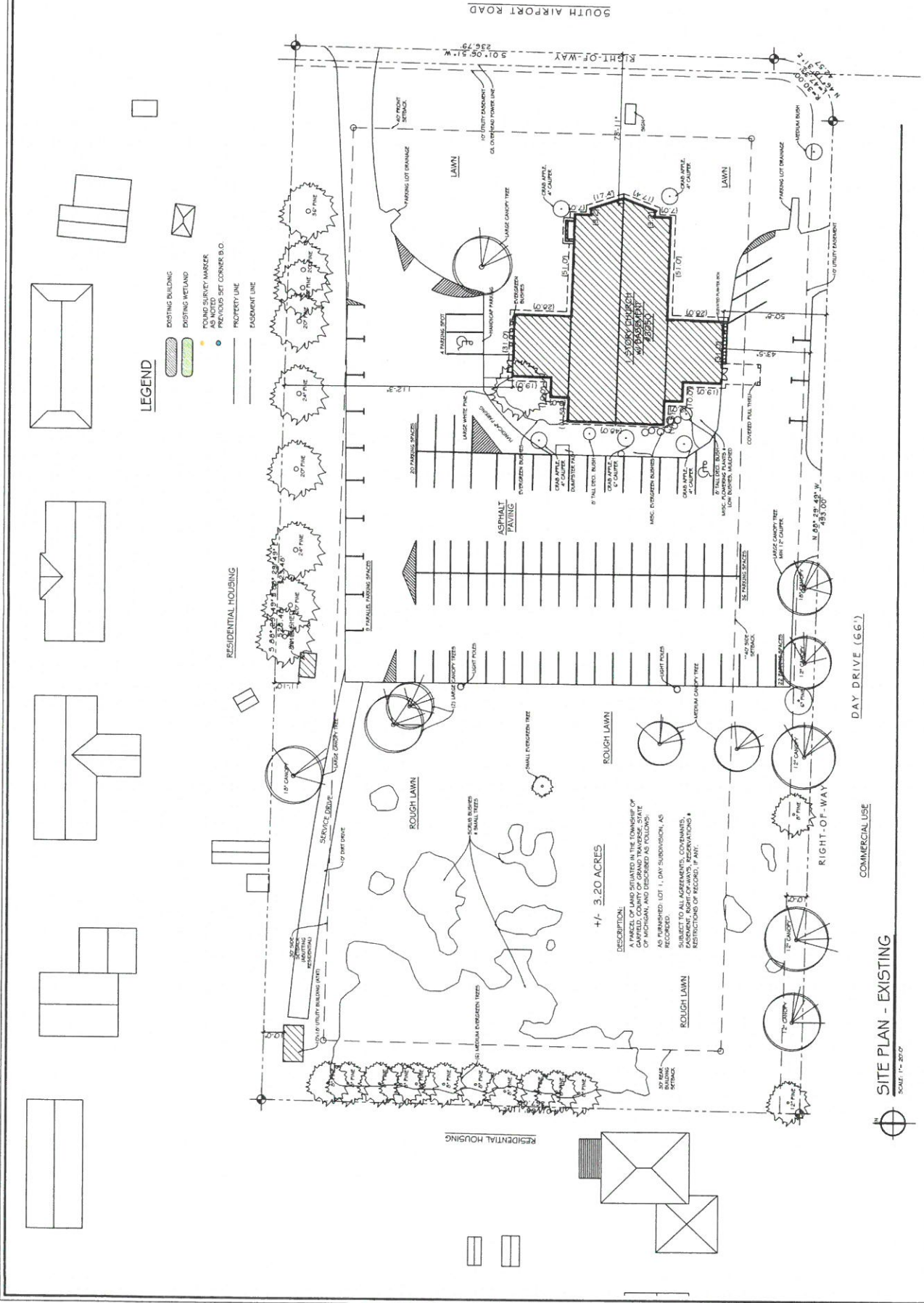
REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNER: KEVIN REFFERT
 DATE: 4/28/2019
 PROJECT: CHURCH
 SCALE: 1" = 20'-0"
 SHEET: 001
 TOTAL SHEETS: 001

LEGEND

- EXISTING BUILDING
- EXISTING WETLAND
- FOUND SURVEY MARKER AS NOTED
- PREVIOUS SET CORNER S.O.
- PROPERTY LINE
- EASEMENT LINE



± 3.20 ACRES

DESCRIPTION:
 A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF TROY, COUNTY OF WOODRIDGE, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
 AS SHOWN ON LOT 1, DAY SUBDIVISION, AS RECORDED.
 SUBJECT TO ALL AGREEMENTS, COVENANTS, EASEMENTS, RIGHTS-OF-WAYS, RESERVATIONS & RESTRICTIONS OF RECORD, IF ANY.

DAY DRIVE (661)
 COMMERCIAL USE
 RESIDENTIAL HOUSING



SCALE: 1" = 20'-0"

11

DESCRIPTION:
 A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF GARFIELD, COUNTY OF GRAND TRAVERS, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
 AS FURNISHED: LOT 1, DAY SUBDIVISION, AS RECORDED.
 SUBJECT TO ALL AGREEMENTS, COVENANTS, EASEMENT, RIGHT-OF-WAYS, RESERVATIONS & RESTRICTIONS OF RECORD, IF ANY.

PARCEL NO. = 05-105-001-00
 JURISDICTION: GARFIELD TOWNSHIP
 OWNER NAME: LIVING HOPE ASSEMBLY OF GOD CHURCH
 PROPERTY ADDRESS: 8950 W. SOUTH AIRPORT RD. TRAVERS, MI 49884-6993
 TAX DESCRIPTION: LOT 1, DAY SUBD.

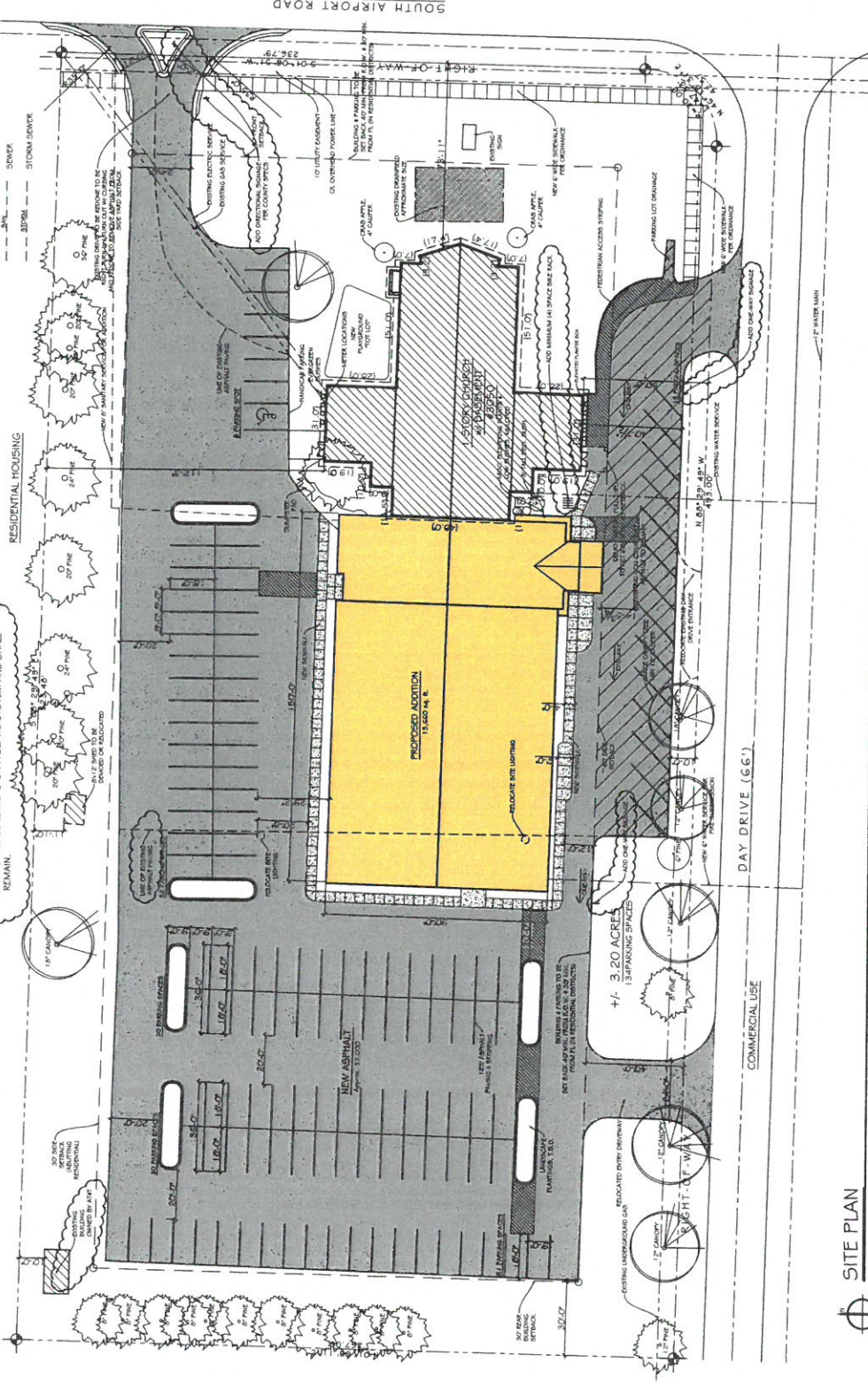
ZONING DESIGNATION: R-1 (ONE FAMILY RES.)
 MINIMUM LOT DIMENSIONS: 15,000 SF * 100' WIDTH * 100' DEPTH, OR 35'-0" FRONT, 30' SIDE, 10' REAR.
 MINIMUM YARD SETBACKS:
 FRONT - 30'
 SIDE - 10'
 REAR - 10'
 MINIMUM BUILDING GROSS SECTION: 24'

PROPOSED LOT COVERAGE CALC:
 LOT SIZE: 3.20 Acres (139,392 Sq. Ft.)
 EXISTING BUILDING: 7,296 Sq. Ft.
 PROPOSED ADDITION: 13,500 Sq. Ft.
 NEW BUILDING TOTAL: 20,796 Sq. Ft.
 LOT COVERAGE: 20,796 SF / 139,392 SF = .1491 = 14.9%
 MAX 30% - O.K.

LEGEND

- EXISTING BUILDING
- EXISTING WETLAND
- NEW SIDEWALK/CONCRETE PAD
- NEW BUILDING
- NEW PAVED SURFACE
- CATCH BASIN
- PROPERTY LINE
- EASEMENT LINE
- WATER
- SEWER
- STORM SEWER

NOTE:
 1. ALL EXISTING ASPHALT THAT WILL REMAIN WILL RECEIVE NEW TOP COAT TO MATCH NEW PARKING AREA. PLEASE SEE SHEET 'C1' FOR EXISTING SITE LAYOUT.
 2. EXISTING BUILDING IS ON A SEPTIC SYSTEM AND SHALL REMAIN.



SITE PLAN
 SCALE: 1" = 20'-0"



LIVING HOPE CHURCH
 JOB NAME
 LOCATION: 3050 W. South Airport Road, Travers, MI 49884

THESE PLANS MAY BE USED FOR CONSTRUCTION OR REVISIONS IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. ANY CHANGES TO THESE PLANS SHALL BE MADE BY A REVISION SHEET AND APPROVED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE FULL COUNTRY OF CONSTRUCTION.

REVISIONS:

NO.	DATE	DESCRIPTION
1	11-20-20	ISSUE FOR PERMITS
2	11-20-20	ISSUE FOR PERMITS
3	11-20-20	ISSUE FOR PERMITS
4	11-20-20	ISSUE FOR PERMITS
5	11-20-20	ISSUE FOR PERMITS
6	11-20-20	ISSUE FOR PERMITS
7	11-20-20	ISSUE FOR PERMITS
8	11-20-20	ISSUE FOR PERMITS
9	11-20-20	ISSUE FOR PERMITS
10	11-20-20	ISSUE FOR PERMITS

PROJECT INFORMATION:

DATE:	11-20-20
PROJECT:	LIVING HOPE CHURCH
SCALE:	1" = 20'-0"
SHEET:	1000
TOTAL SHEETS:	1000

CLIENT: LIVING HOPE CHURCH
ARCHITECT: PINACON CONSTRUCTION & DESIGN
DATE: 11-20-20

THIS DRAWING MAY NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF PINACULA CONSTRUCTION & DESIGN, LLC. ANY REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A REVISION CIRCLE AND SHALL BE PROPORTIONATE TO THE FULL DITHER OF CONSTRUCTION.

DATE:	11-13-2019
PROJECT:	LIVING HOPE CHURCH
OWNER:	11775 BROADVIEW PARK DR. TROBURN, ONT. M1V 4Y4
DESIGNER:	KEVIN REFFITT
SCALE:	AS SHOWN
SHEET #:	0000
TOTAL SHEETS:	0000

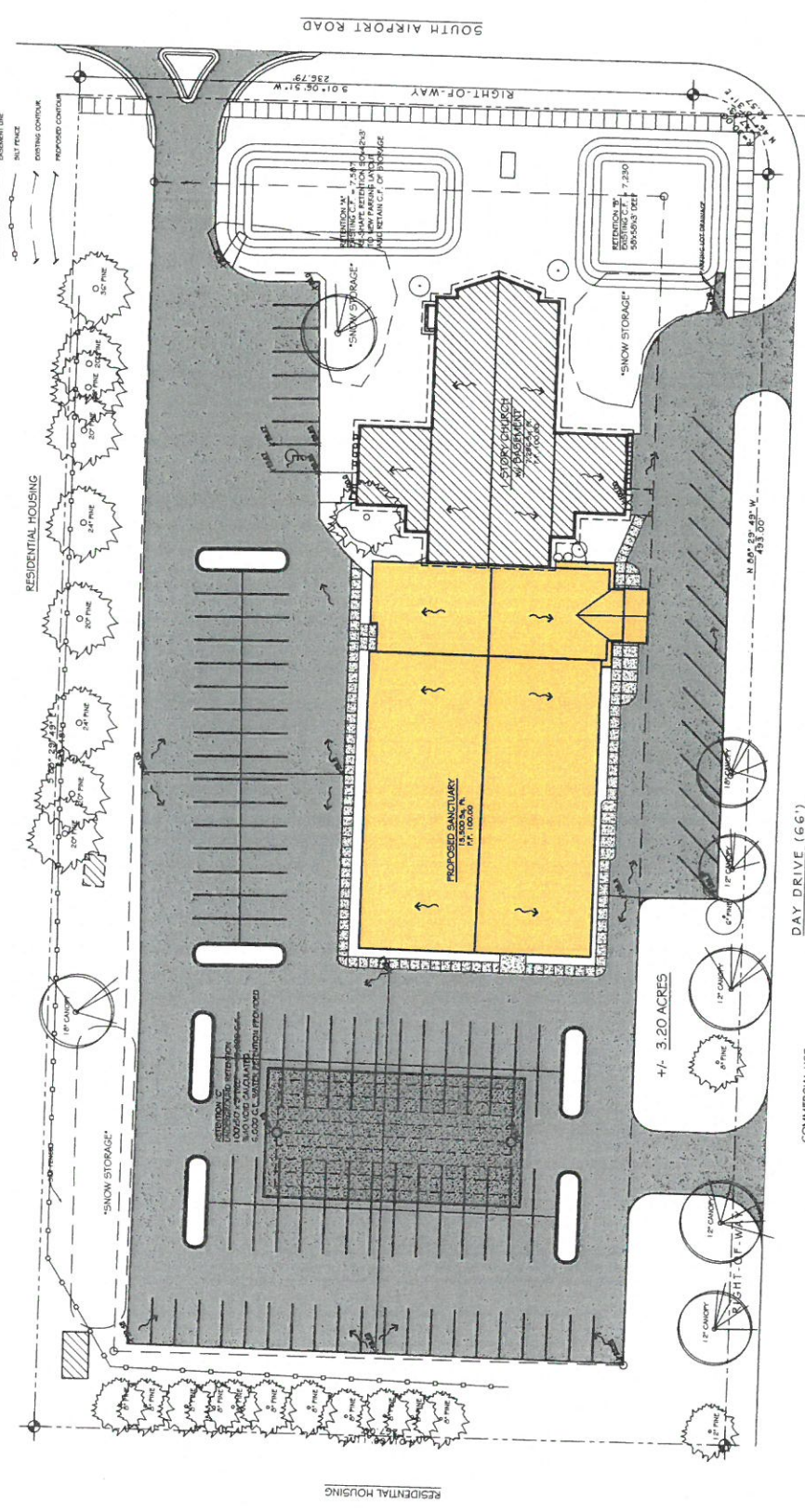
LEGEND

- EXISTING BUILDING
- EXISTING ASPHALT
- EXISTING SIDEWALK
- NEW SIDEWALK/CONCRETE PAD
- NEW BUILDING
- NEW PAVED SURFACE
- EXISTING GRAZING
- NEW PROPOSED GRAZING
- WATER DRAINAGE
- LAND MARK
- PROPOSED LINE
- EXISTING LINE
- SET FENCE
- PROPOSED CONTROL
- EXISTING CONTROL

SNOW STORAGE
 SNOW STORAGE REQUIRED = 10% OF TOTAL PARKING LOT AREA
 TOTAL PARKING LOT AREA (PROPOSED) = 61,300 Sq. Ft.
 REQUIRED SNOW STORAGE AREA = 61,300 Sq. Ft. x (10) = 6,130 Sq. Ft.
 TOTAL SNOW STORAGE AREA SHOWN = 6,257 Sq. Ft.

PROPOSED LOT COVERAGE CALC.
 LOT SIZE 3.20 Acres (139,392 Sq. Ft.)
 EXISTING BUILDING: 7,296 Sq. Ft.
 PROPOSED ADDITION: 13,500 Sq. Ft.
 NEW BUILDING TOTAL: 20,796 Sq. Ft.
 LOT COVERAGE: 20,796 SF / 139,392 SF = .1491 = 14.9%
 MAX 30% - O.K.

RETENTION CALCULATIONS:
 TOTAL RETENTION REQUIRED
 TOTAL BUILDING AREA = 20,796 Sq. Ft.
 TOTAL ASPHALT / SIDEWALK = 61,300 Sq. Ft.
 20,796 + 61,300 = 82,096 Sq. Ft. x 3" RAINFALL = 20,524 Cu. Ft. REQUIRED
 TOTAL RETENTION PROVIDED
 RETENTION A* - EXISTING (RE-SHAPED) = 7,297 Cu. Ft.
 RETENTION B* - EXISTING (RE-SHAPED) = 7,230 Cu. Ft.
 RETENTION C* - NEW UNDERGROUND = 20,817 Cu. Ft.
 TOTAL RETENTION NEW & EXISTING = 35,344 Cu. Ft.



COMMERCIAL USE
STORM WATER / SOIL EROSION PLAN
 SCALE: 1" = 20' 0"

LANDSCAPE BUFFER SCREENING:
 NORTH SIDE REQUIRED: (1) LARGE TREES, (1) MEDIUM TREES, (4) CONIFERS
 NORTH SIDE EXISTING TREES: (9) 16'+ TALL EVERGREEN, (1) 18' CANOPY
 CREDITS = 2
 SOUTH SIDE REQUIRED: (6) LARGE TREES, (6) MEDIUM TREES, (3) CONIFERS
 SOUTH SIDE EXISTING TREES: (1) 12' 16" TALL EVERGREEN
 CREDITS = 2
 WEST SIDE REQUIRED: (6) LARGE TREES, (6) MEDIUM TREES, (3) CONIFERS
 WEST SIDE EXISTING TREES: (1) 12' 16" TALL EVERGREEN
 CREDITS = 2
 TOTAL CREDITS = 2
 NO REQUIRED TREES ALONG EAST LANDSCAPE BUFFER
 NOTE: OWNER WILL ADD SCREENING TREES FOR THE RESIDENCE ALONG WEST SIDE TO SCREEN THE HOUSE AND PARKING
 SOUTH SIDE REQUIRED: (15) LARGE TREES, (15) MEDIUM TREES, (6) CONIFERS
 SOUTH SIDE EXISTING TREES: (5) 12'+ CANOPY, (1) 12'+ 16" EVERGREEN, (2) 8'-12'
 EVERGREEN
 CREDITS = 3
 WEST SIDE REQUIRED: (10) LARGE TREES, (7) MEDIUM TREES, (7) CONIFERS
 WEST SIDE EXISTING TREES: NONE
 CREDITS = NONE

LANDSCAPE BUFFER, TYPE 1C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 2C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 3C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 4C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 5C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 6C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 7C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 8C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 9C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 10C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 11C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 12C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 13C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 14C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 15C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 16C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 17C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 18C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 19C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 20C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 21C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 22C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 23C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 24C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LEGEND

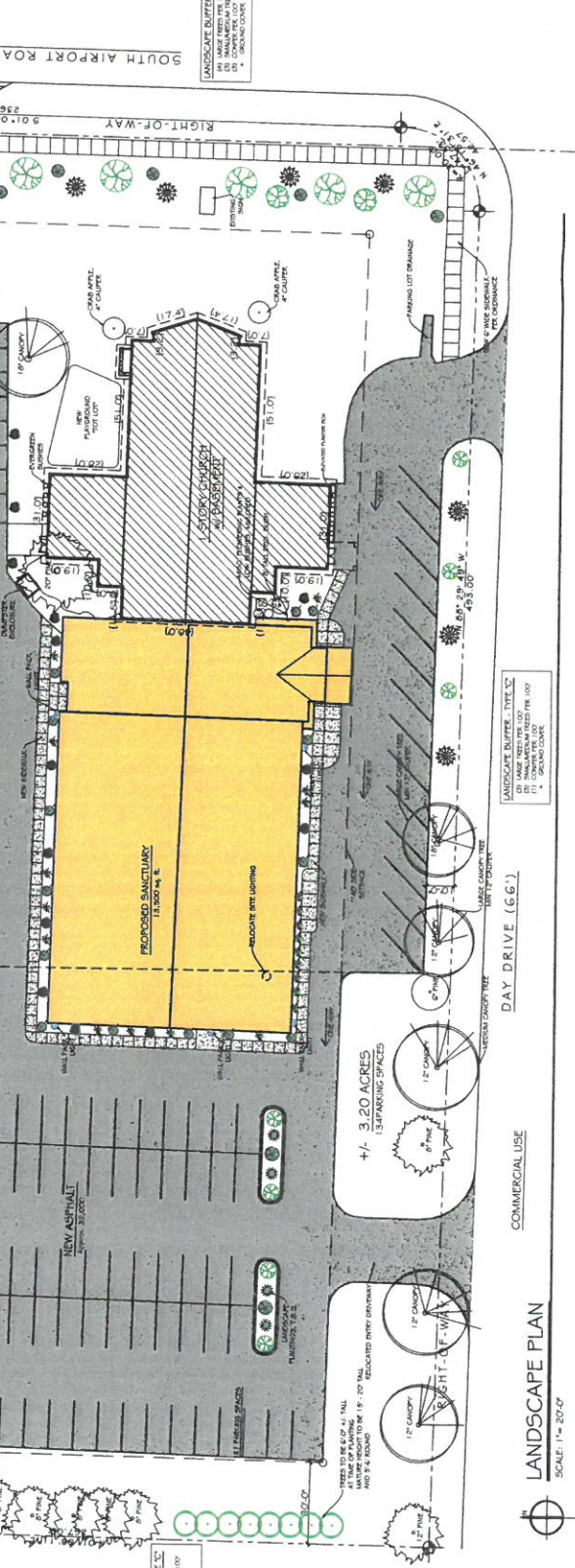
KEY	SYMBOL	DESCRIPTION
1	(Symbol)	EXISTING BUILDING
2	(Symbol)	EXISTING METAL
3	(Symbol)	NEW RENOVATION/REPAIR
4	(Symbol)	NEW BUILDING
5	(Symbol)	NEW PAVED SURFACE
6	(Symbol)	PROPERTY LINE
7	(Symbol)	FOUNDATION LINE

LANDSCAPE LEGEND:

KEY	SYMBOL	SIZE	NATIVE	COMMON NAME	PLANT TYPE
1	(Symbol)	3"	YES	SPYGLASS	CANOPY TREE
2	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
3	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
4	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
5	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
6	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
7	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
8	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
9	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
10	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
11	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
12	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
13	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
14	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
15	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
16	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
17	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
18	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
19	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
20	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
21	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
22	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
23	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
24	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
25	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
26	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
27	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
28	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
29	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE
30	(Symbol)	4"	YES	STAR APPLE	CANOPY TREE

IRRIGATION/LANDSCAPING:
 All trees shall receive individual irrigation.
PARKING LOT INTERIOR ISLAND PER PARKING SPACE
 10-5q. FT. OF INTERIOR ISLAND PER PARKING SPACE
 MIN 10' x 18' ISLAND SIZE (WHERE TREES ARE PLANTED)
 MIN 6' x 16' ISLAND SIZE (WHERE NO TREES ARE PLANTED) (VERIFY)
 134 PARKING SPACES PROPOSED
 10-5q. FT. x (134 Spaces) = 1,340-5q. FT. OF LANDSCAPE ISLAND REQUIRED
 (GENERAL NOTE: LANDSCAPE ISLANDS CAN BE CONSOLIDATED TO A SINGLE GREEN SPACE IF MULTIPLE SMALLER ISLANDS IS PROHIBITIVE TO FLOWING ETC.)

NOTE:
 1. ALL BUFFER LANDSCAPING TREES ARE TO BE IN 10' BUFFER AROUND PROPERTY. ADDITIONAL BUFFER LANDSCAPING ALONG EAST PROPERTY IS REQUIRED DUE TO NEW REQUIRED SIDEWALK AND EXISTING OVERHEAD UTILITY LINE
 2. ALL LANDSCAPE ISLANDS TO RECEIVE STONE OR MULCH
 3. ALL GREEN SPACE AREAS TO RECEIVE MULCH OR GRASS SEED



LANDSCAPE BUFFER, TYPE 1C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 2C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 3C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

LANDSCAPE BUFFER, TYPE 4C
 (1) LARGE TREES PER LOT
 (2) MEDIUM TREES PER LOT
 (3) CONIFERS PER LOT
 (4) GROUND COVER

REVISIONS:
 1. 11/20/11
 2. 11/20/11
 3. 11/20/11

DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
JOB #: 10000
SHEET #: C4

DESIGNER: GTS
DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
JOB #: 10000
SHEET #: C4

DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
JOB #: 10000
SHEET #: C4

DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
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DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
JOB #: 10000
SHEET #: C4

DATE: 01/18/2012
PROJECT: CHURCH
SCALE: 1" = 20'-0"
JOB #: 10000
SHEET #: C4



Permitta Construction & Design
 1175 S. 10th Street, Suite 100
 Milwaukee, WI 53211
 Phone: (414) 381-7951
 Email: info@permitta.com

JOB NAME: LIVING HOPE CHURCH
LOCATION: 3050 W. South Airport Road
 Traverse City, MI 49684

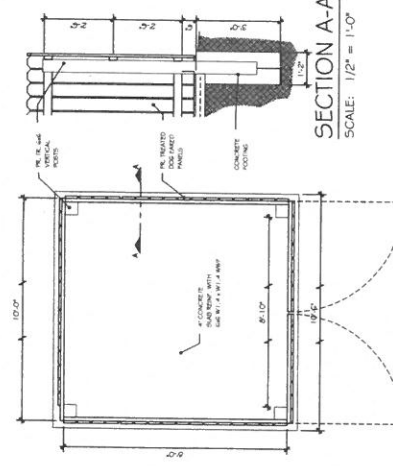
REVISIONS:

NO.	DATE	DESCRIPTION
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2	08/11/17	ISSUED FOR PERMIT

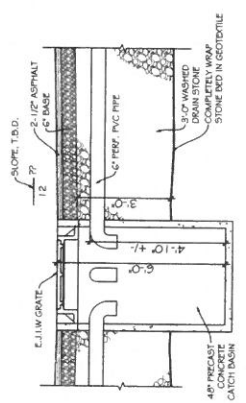
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COMPANY: PERMITTA CONSTRUCTION & DESIGN, LLC

DATE: 8/11/2017
PROJECT: LIVING HOPE CHURCH
SCALE: 1" = 1'-0"
DESIGNER: KEVIN A. SETHI
CHECKER: KEVIN A. SETHI
DATE: 8/11/2017
PROJECT: LIVING HOPE CHURCH
SCALE: 1" = 1'-0"
DESIGNER: KEVIN A. SETHI
CHECKER: KEVIN A. SETHI

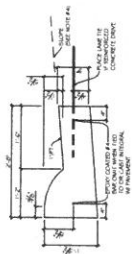


PROPOSED DUMPSTER ENCLOSURE DESIGN
 SCALE: 1/2" = 1'-0"

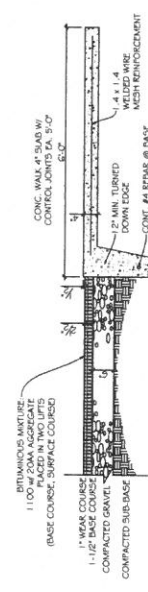


CATCH BASIN / RETENTION DETAIL
 SCALE: 1/2" = 1'-0"

SECTION A-A
 SCALE: 1/2" = 1'-0"



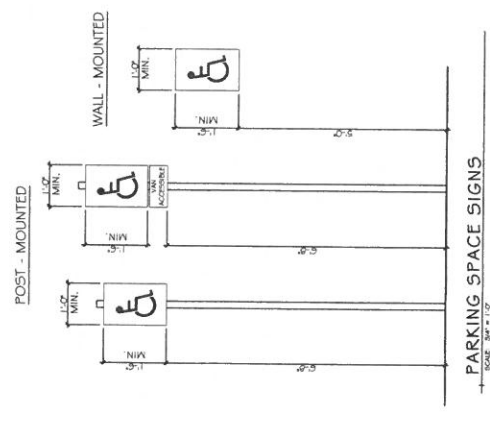
CURB DETAIL
 SCALE: 3/4" = 1'-0"



ASPHALT SIDEWALK SECTION
 SCALE: 3/4" = 1'-0"



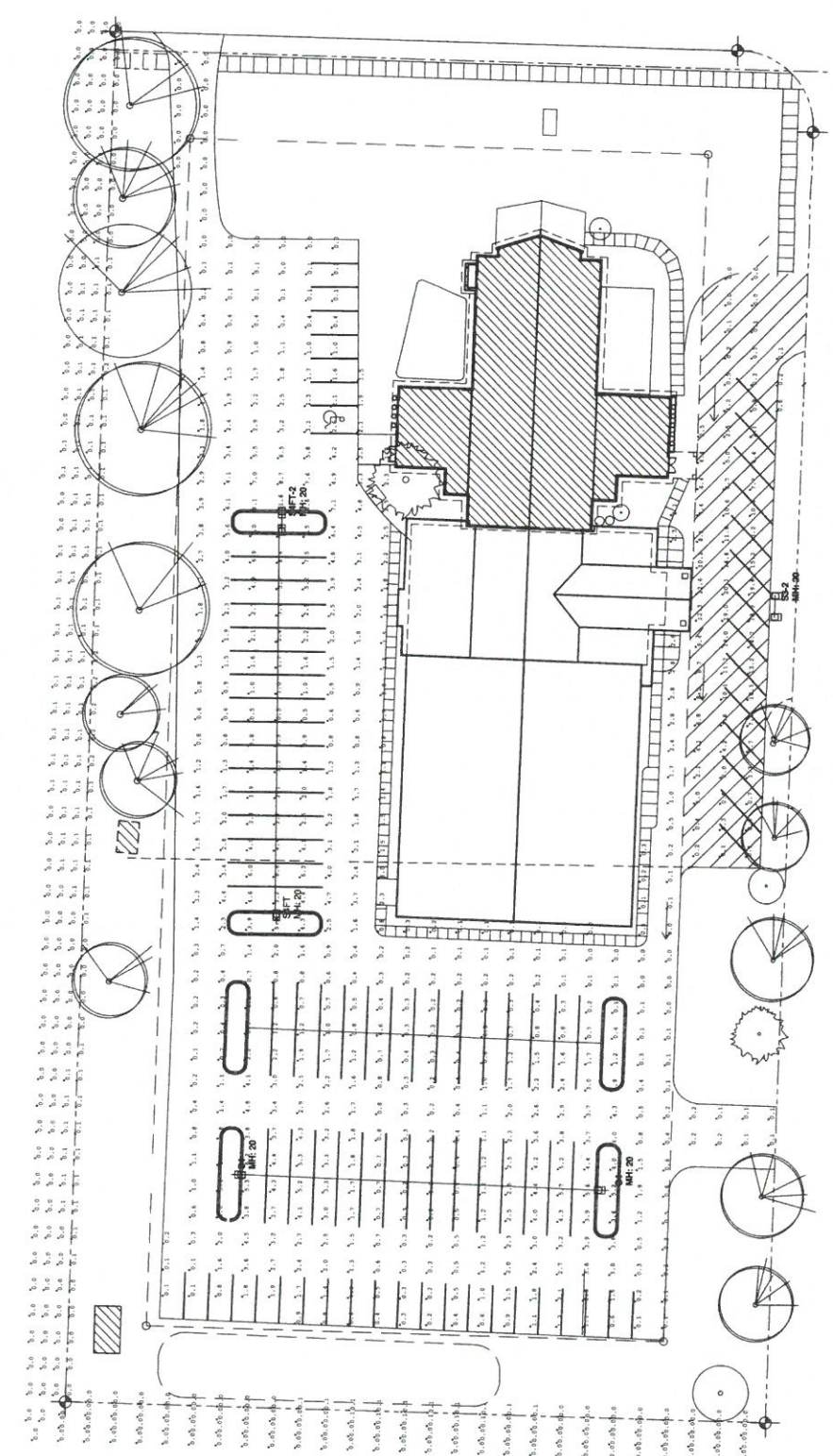
ASPHALT DETAIL
 SCALE: 3/4" = 1'-0"



PARKING SPACE SIGNS
 SCALE: 3/4" = 1'-0"

SITE PHOTOMETRIC PLAN
 P-20

DISCLAIMER
 Illuminance readings shown on this lighting design are based on
 standard assumptions provided in CIESL's Lighting Handbook, 10th Edition.
 Minor variations between actual and calculated illuminance values
 may occur due to field conditions and variations in lighting fixture
 output. Any readings are approximate and should not be used for
 design or construction purposes. The designer assumes no liability for
 any damage or injury resulting from the use of this lighting design.
 The designer is not responsible for the accuracy of the data provided
 by the client or any other third party.



Category	Light	Beam	Height	Beam	Height	Beam	Height		
Spotlight	10W	10°	100'	10W	10°	100'	10W	10°	100'
Track	10W	15°	100'	10W	15°	100'	10W	15°	100'
Recessed	10W	25°	100'	10W	25°	100'	10W	25°	100'
Surface	10W	30°	100'	10W	30°	100'	10W	30°	100'

Room	Area	Beam	Height	Beam	Height
LOBBY	1000	100'	100'	100'	100'
CHURCH	2000	100'	100'	100'	100'
OFFICE	500	100'	100'	100'	100'
RESTROOM	200	100'	100'	100'	100'
MEETING	300	100'	100'	100'	100'

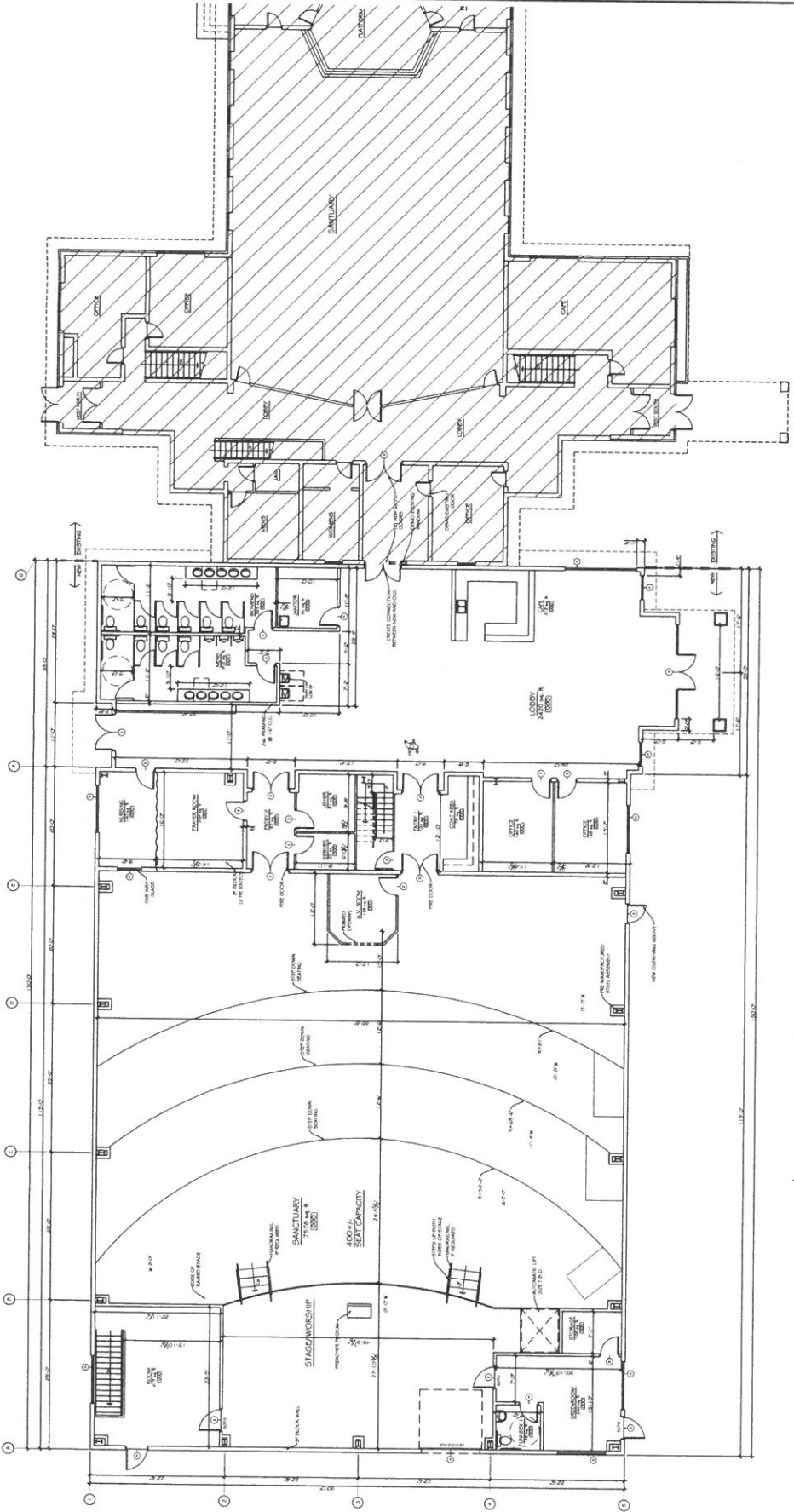
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REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNER:	DATE:
DRAWN BY:	PROJECT:
CHECKED BY:	DATE:
SCALE:	PROJECT:
DATE:	PROJECT:

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FIRST FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

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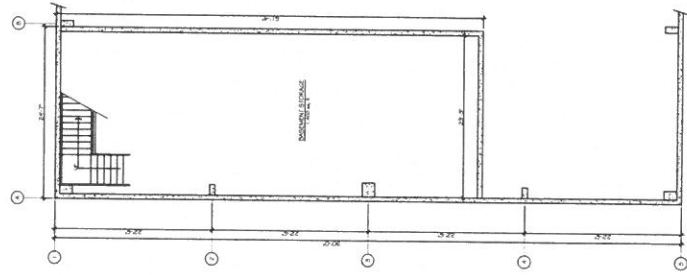
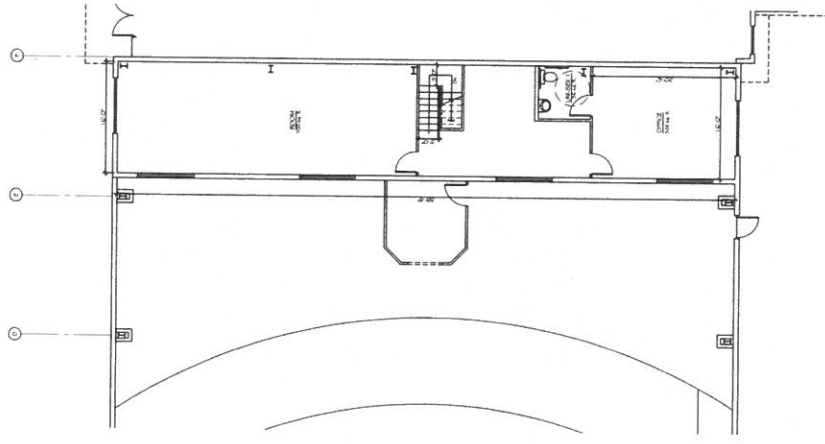
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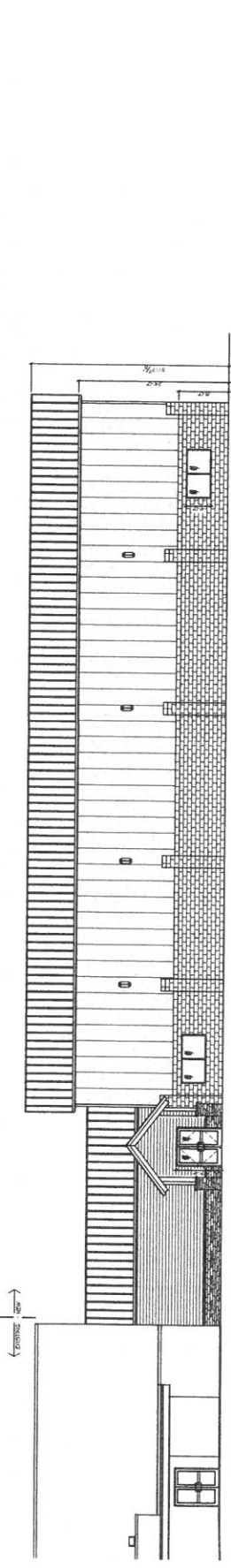
NO.	DATE	DESCRIPTION

DATE: 07/15
TO: MGR. DLR
CONTACT: KEVIN REFFITT

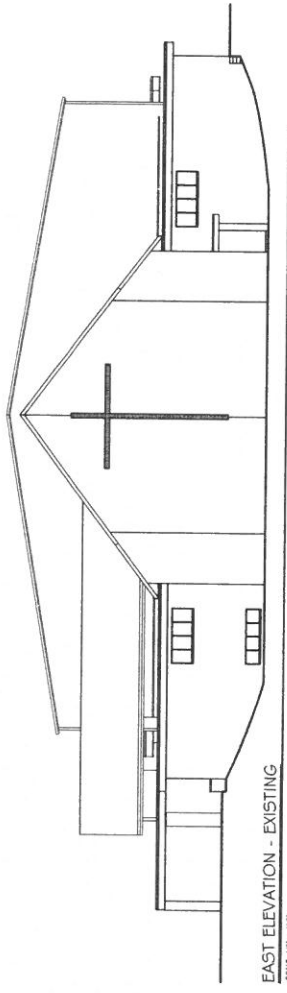
DATE	BY	NO.

SHEET # **A4**

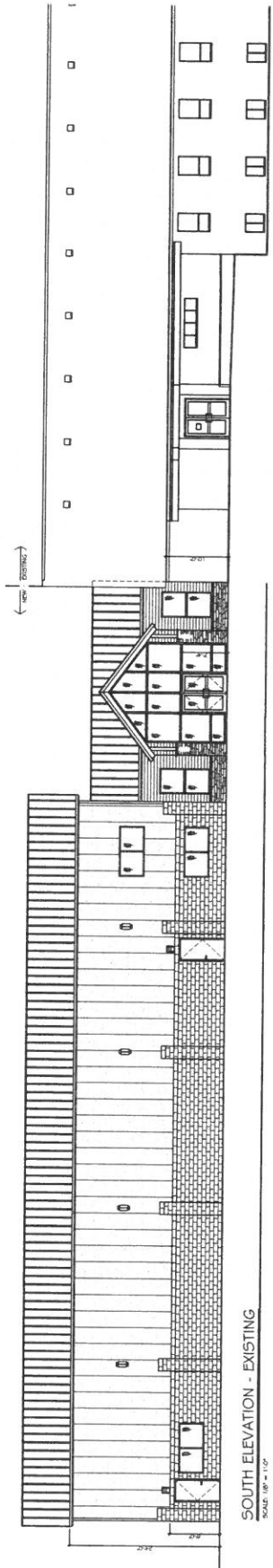




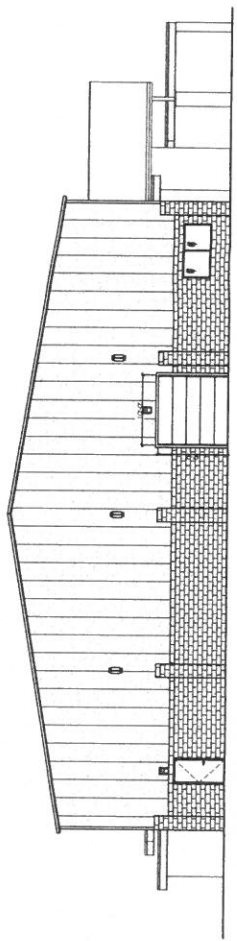
NORTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"




EAST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"

 Charter Township of Garfield Planning Department Report No. 2019-64			
Prepared:	June 5, 2019	Pages:	5
Meeting:	June 12, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Munson Child Care Center Special Use Permit-Public Hearing		
File No.	SUP-2019-03	Parcel No.	05-347-008-00
Applicant/Owner:	Munson Healthcare Children's Center/North Royal 5222 LLC		
Agent:	Mansfield Land Use Consultants, Petra Kuehnis, LLA		

BRIEF OVERVIEW:

- 5222 North Royal Drive
- 1.65 acres in area
- Existing vacant building and site improvements
- C-O Office Commercial zoning district

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit ("SUP") to use an existing 9,256-square foot building as a Child Care Center. Child Care Centers are permitted via SUP in the C-O district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

This application presents a proposed change of use for an existing site and building, with relatively little in the way of exterior changes or improvements aside from the proposed installation of the playground behind the building. The center is for use by Munson employees only and will have a capacity of 110 children. There will be 20 staff members and the center will be open from 6:00AM until 6:00PM, Monday through Friday.

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Issues that Staff considers to be of potential concern are highlighted below:

Bicycle Parking:

Section 522.C(1) of the Zoning Ordinance requires that two (2) bicycle parking spaces be provided for every 25 off-street parking spaces. With 43 off-street spaces proposed, at least two (2) bicycle parking spaces are required in this case and have been provided on the site plan.

Circulation:

At first glance, Staff's initial question to the applicant's agent was how circulation would flow on the site with the dropping off and picking up of children. Staff was informed that, at a childcare center of this type, parents must park their vehicle and physically accompany their child to the front door when dropping off, and from the front door to their vehicle when picking up.

Dumpster Enclosure:

The location of the proposed enclosure appears logical and is located away from the parking area in which parents will be dropping their children off.

Fencing:

Sec. 720 of the Ordinance requires that a 4-foot high privacy fence be constructed around the playground. Details of the proposed fence have been provided.

Landscaping/Buffer:

The concrete supply company located at the east and north edge of the subject parcel is active, including stock piles of materials, active moving equipment and exposed mixing operations. The proposed playground is 100 feet from an active concrete batching plant. Besides a grade differential of roughly three or four feet, there is no buffer or barrier between these two uses as noted in the photographs below.

Looking south. Concrete supply company to the left and proposed child care center/day care to the right.



The revised site plan provides a buffer along the east property line that will consist of a 6-foot privacy fence with landscaped area on the subject parcel consisting of six white pines, two maples and seven dogwoods.

The parking area at the north side of the parcel abuts aggregate material storage bins. See photograph below. A third course of block was added to the storage bins and vines will be planted to cover the sides of the bins.

Looking west along north parcel line. Concrete supply company to the right and proposed child care center to the left.



Lighting:

A lighting plan has been submitted for the site that meets current requirements.

Non-Motorized Transportation Plan:

The subject property is not affected by the Township's Non-Motorized Plan. However, under Sec. 522 of the Ordinance, a sidewalk is required to be constructed whenever \$20,000 in construction value is involved. Nevertheless, it does not appear that there is an appropriate location for a sidewalk along the frontage of the property in this case.

Parking:

Under Sec. 551, Child Care Centers require one parking space for each 300 square feet of floor space. In this case, with a 9,256-square foot building, a total of 31 parking spaces are required and 43 have been provided on the site plan.

Pedestrian Circulation:

There are existing 5-foot wide internal sidewalks running alongside the east and west walls of the building. New 5-foot wide sidewalk segments are proposed at the north and south exits to connect to the dumpster area and west sidewalk respectively.

Sewer and Water:

The site is currently served by municipal water and sewer and these connections will remain.

Snow Storage:

Snow storage areas are logically located at the north and south ends of the parking lot and alongside the loading area behind the building.

Stormwater:

Stormwater runoff will be managed onsite via the three existing retention basins. The net amount of impervious surface will be significantly less with the removal of the existing asphalt for the proposed playground area.

ACTION REQUESTED:

The purpose of this agenda item is to hold a public hearing on the application. If, following an opportunity for applicant presentation and Commissioner discussion, the Commission is prepared to direct Staff to prepare Findings of Fact, the following motion is offered for consideration:

MOTION TO direct Staff to prepare Findings of Fact for application SUP-2019-03, submitted by Munson Healthcare Children's Center, for a Special Use Permit for a childcare center at 5222 North Royal Drive.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Public Hearing notice dated May 26, 2019
2. Project Narrative and Impact Statement dated April 30, 2019
3. 11" X 17" plan set provided by applicant dated May 22, 2019

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231) 946-2000
Fax (231) 946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/15/19 10:40 by dling

Acct #: 5508

Ad #: 519953

Status: New WHOLD WHOI

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN

NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on June 12, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Peninsula Construction & Design on behalf of Living Hope Church requesting a Special Use Permit for a proposed 13,500 square foot addition to the Living Hope Church located at 3050 W South Airport Road, Parcel ID # 28-05-105-001-00.
2. Consideration of an application received from Munson Healthcare Children's Center for approval of a Special Use Permit ("SUP") to use an existing 9,256-square foot building for a proposed employer supported Child Development Center for Munson Staff. The property is located at 5222 North Royal Drive, Parcel ID # 05-347-008-00.
3. Consideration of an application received from Burdco, Inc. on behalf of Chartwell Properties, LLC requesting a major amendment to a Planned Unit Development for a proposed 80 unit Assisted Living Facility to be located in the Terra Energy PUD which is east off of Lafranier Road, parcel ID# 05-023-013-01.
4. Consideration of an application received from Peachtree River Investments, LLC requesting a major amendment to Phase 2 and Phase 3 of the Ashland Park Planned Unit Development by replacing the 2001 original approved mix of 124 quadplex residential units, 42 duplex residential units, and 21 single-family residential units with a proposed new pattern consisting of 158 duplex residential units. The property is located at the intersection of Birmley Road and Garfield Road, parcel ID# 05-026-018-00.
5. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

May 26, 2019-1T

519953



MUNSON HEALTHCARE CHILDREN'S CENTER

5222 North Royal Drive

A change of use of an existing building.

A Special Use in the Office Commercial District.

Submitted to

The Charter Township of Garfield

3848 Veterans Drive
Traverse City, MI 49684
231-941-1620

Mansfield
Land Use Consultants

830 Cottageview Drive
Traverse City, MI 49684
P: 231-946-9300
F: 231-946-8925
T: www.maaps.com

4/4/2019, 4/30/2019

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Site Plan	15

Project Team

Applicant:

Munson Healthcare Children's Center
Brigid Wilson, Manager of Child Care Services
Munson Medical Center
Traverse City, MI 49684
Phone: (231) 935-7990
Email: bwilsom@mhc.net

Property Owner:

North Royal 5222 LLC
9440 Enterprise Drive
Mokena, IL 60048
Phone: (708) 390-1623

Planning and Engineering Consultant:

Mansfield Land Use Consultants
Petra Kuehnis, Landscape Architect
830 Cottageview Drive, Suite 201
Traverse City, MI 49685
Phone: (231) 946-9310
Email: petrak@maaeps.com

Architect:

Traverse Architecture Group
Dave Spala, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49685
Phone: (231) 946-9940
Email: daves@tcarchgroup.com

Letter of Agency

March 21, 2019

**Re: Munson Healthcare Children's Center
Letter of Agency**

To whom it may concern,

The purpose of this letter is to acknowledge that Mansfield Land Use Consultants is authorized to work as my agent with regards to planning and engineering services relating to regulatory agency reviews and permitting for the proposed Munson Healthcare Children's Center in an existing building located at 5222 North Royal Drive, Traverse City, MI 49684.

Mansfield Land Use Consultants contact information is as follows:

Doug Mansfield, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49684
doug@maaeps.com
(231) 218-5560

This authorization is valid for a period of one (1) year from the date of signature.

Sincerely,



3/22/19

Brigid Wilson, manager of Childrens Educational Services
Munson Healthcare Children's Center
Munson Healthcare
(231) 935-7990

date

Project Introduction

Munson Healthcare Children's Center is an employer supported Child Development Center. The program began in June 1991, and has continued to expand and grow in the 28 years it has been in operation. Munson Healthcare Children's Center currently has 6 locations with approximately 500 children in care each day.

Munson continues to support Early Childhood Education, and this new location will help support the growth that has continued since the program opened in 1991. In fact, the demand for child care is so high, that this proposed facility will be at full capacity upon opening its doors.

The proposed 5222 North Royal Drive location is an existing office building located on a 1.65 acre lot at the end of a cul-de-sac within the Royal Drive medical office park. The day care use is allowed as a special use in the Office Commercial Zoning District. Munson Healthcare Children's Center intends to enter into a long term lease of the building in order to expand their existing child daycare services for Munson staff. The facility would accommodate 110 children and 20 staff. The facility would be open from 6am to 6pm.

Brigid Wilson is Munson's Manager of Child Care Services. She joined the team in 1997 and has been proud to lead these programs for the past 22 years. She has been an early childhood educator for 34 years. Brigid will be happy to answer any questions about the proposed day care use.

Regulations Summary

Project Address:

5222 N Royal Drive
 Traverse City, MI 49684

Project Parcel:

Part of Tax ID 28-05-347-008-00

Project Size:

1.65 acres

Existing Zoning:

C-O (OFFICE COMMERCIAL)

C-O (Office Commercial) districts provide areas for service oriented enterprises and institutions having relatively low traffic generation. The districts include areas of existing office developments as well as areas within which such development appears likely and desirable. They are intended to facilitate the support and expansion of local business, while serving as a buffer between residential areas and more intensive commercial areas. The C-O districts are primarily restricted to office and ancillary uses that do not have peak weeknight or weekend usage so as to provide an orderly transition and buffers between uses.

Use Permitted by Special Use Permit:

Child Care Center

Existing Land Use:

vacant office building, 9,256sf gross

Proposed Land Use:

Child Care facility for Munson Employees, an expansion of an existing service

Schedule of Regulations:	C-O zoning	proposed
Minimum Lot Size:	10,000sf	71,874sf
Minimum Lot Width:	70ft	188ft
Height:	2 stories / 22ft	1 story / 22ft
Front Yard Setback:	25ft	58ft
Side Yard Setback:	20ft	26ft
Rear Yard Setback:	30ft	40ft
Maximum Lot Coverage:	N/A	51%
Min. Building X-Section:	24ft	58ft

Parking	required	provided
Child Care	31 parking spaces	43 spaces
9,256sf building	(1 per 300sf of floor space)	

Existing Conditions - Site Photos



Front entrance. West side of building.



Northwest corner of building.



West side of building.



South side of building.



East side of building.



North side of building.

AIR PHOTO -vicinity



AIR PHOTO -Existing Conditions



BASIS FOR DETERMINATION

Section 8.1.3

1. GENERAL STANDARDS

- a) Be designed, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The existing building and related parking, landscaping and stormwater management facilities are harmonious, compatible, and appropriate in appearance with the other existing structures within the north Royal Drive office park. No changes are proposed to the external appearance of the existing building.

- b) Not be hazardous or disturbing to existing or future uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.

The proposed child care use is an allowed use in the Office Commercial Zoning District. The use is primarily an indoor use and does not result in any conditions that will be hazardous or disturbing to neighboring properties.

- c) Be served adequately by essential facilities and services, such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, or schools.

The proposed child care use will not require any additional public facilities or services beyond those currently existing on the site.

- d) Not create excessive additional requirements at public cost for public facilities and services.

The proposed child care use will not require any additional public facilities or services beyond those currently existing on the site.

- e) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by fumes, glare or odors.

The proposed child care is primarily an indoor use and does not result in any conditions that will be detrimental to neighboring properties.

2. SPECIFIC STANDARDS

- a) That the applicant may legally apply for site plan review.

The applicant intends to enter into a long term lease with the building owner pending Township land use approval.

- b) That all required information has been provided.

The applicant's agent believes that the information provided for this application is complete.

- c) That the proposed development conforms to all regulations of the zoning district in which it is located.

The proposed child care use is allowed in the Office Commercial Zoning District and conforms to the standards of the ordinance.

- d) That the plan meets the requirements of Garfield Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.

The project is an existing facility including on-site stormwater management, private and municipal utility connections. These facilities and services appear to be functioning in proper order.

- e) That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.

The facility was constructed sometime between 1993 and 1999, and remodeled with a building addition in 2000. It is assumed that all governmental agency approvals were received as part of the original development of the facility and subsequent improvements. The current proposal is for a use allowed in the zoning district via special use permit. Most of the improvements on site will occur within the existing building per strict building codes and childcare regulations. Exterior improvements are limited to removing asphalt along the east side of the building in order to accommodate a fenced children's playground.

- f) That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.

No disturbance/work beyond the existing developed area is proposed as part of this work.

- g) That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property and open space areas as designated on the future land use map of Garfield Township.

There are no flood planes or floodways on or near the project parcel

- h) That the soil conditions are suitable for excavation and site preparation, and that organic, wet or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.

No site work beyond the existing developed area is proposed as part of this work. Existing infrastructure appears to be solid with no evidence of poor soils.

- i) That the proposed development will not cause soil erosion or sedimentation problems.

No site work beyond the existing developed area is proposed as part of this work. A small area of existing asphalt will be removed along the east side of the building in order to accommodate a playground. Required soil erosion and sedimentation control measures and permits will be implemented prior to beginning that work.

- j) That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff, and will not cause undue runoff onto neighboring property or overloading of water courses in the area.

Based on field observations and historic air photos, there is no evidence that the existing drainage facilities are not sufficient for the site. As part of the site renovation work, a large area of asphalt along the eastern side of the building will be removed in order to construct a playground area, therefore reducing the existing on-site impervious surface.

- k) That grading or filling will not destroy the character of the property or the surrounding area, and will not adversely affect the adjacent or neighboring properties.

The project is a new use of an existing building and facilities. No earthwork is proposed on site.

- l) That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage or erosion control.

This project will be completed in one phase. With the exception of the new playground area proposed along the east side of the building, a majority of the renovation work will take place inside the existing building.

- n) That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

The project is located in an existing building within an established office park. Connection to streets, municipal utilities, and on-site stormwater drainage systems are all existing and functioning properly.

- o) That landscaping fences or walls may be required by the Planning Commission in pursuance of the objectives of this Ordinance.

Section 530 B. (3)(4) exempts the requirement for landscaping for projects that are a change of building use which does not increase building size and consists primarily of interior remodeling.

- p) That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

The parking lot layout as it exists is pretty standard for an office building type use. The parking lot provides direct access to the buildings front door. The project is located at the end of a cul-de-sac.

- q) That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

Existing sidewalks around the perimeter of the building provide access from the parking areas to the building entrances. There are no street side sidewalks in this development.

- r) That outdoor storage of garbage and refuse is contained, screened from view and located so as not to be a nuisance to the subject property or neighboring properties.

The site plan provides for a screened dumpster enclosure adjacent the buildings north side.

- s) That the proposed site is in accord with the spirit and purpose of this Ordinance and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.

The existing building meets the aesthetic and dimensional standards of the Township Ordinance. The proposed child care use is allowed in the Office Commercial District.

Architectural Plan

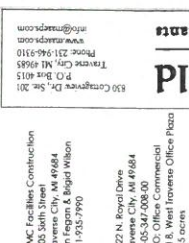


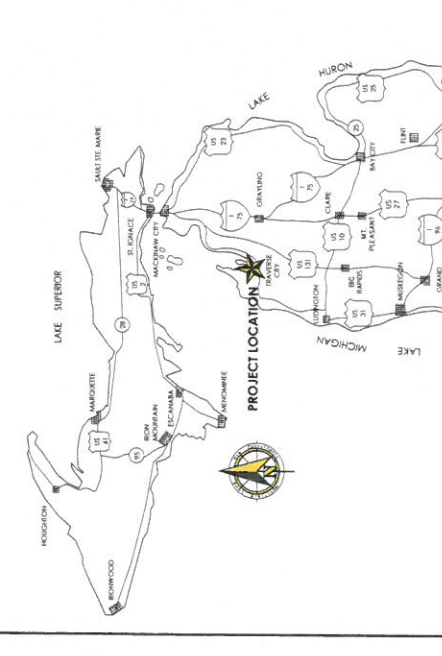
Table with columns for stationing and elevation data, including values like 4112 and 6132.

PROJECT DATA: Owner/Developer: Address: 1105 South Street, Traverse City, MI 49684

SITE DATA: Location: 5272 N. Royal Drive, Traverse City, MI 49684



PUBLIC AGENCIES AND UTILITIES: GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW), GRAND TRAVERSE COUNTY K&S COMMISSION, GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL



Proposed Munsun Day Care

MWC Facilities Construction
Section 4, Town 27 North, Range 11 West
Garfield Township, Grand Traverse County, Michigan

Table with columns for PRELIMINARY, PLAN, and sheet numbers (19041, C20).



PLAN INDEX
C1.0 COVER SHEET
C1.1 NOTES AND DETAILS SHEET
C1.2 EXISTING CONDITIONS AND DEMOLITION PLAN
C1.3 EXISTING UTILITIES AND DIMENSION CONTROL PLAN
C1.4 SITE & DIMENSION PLAN
C1.5 EXISTING & PROPOSED LANDSCAPE PLAN
P1.0 EXISTING SITELIGHTING & PHOTOGRAPHIC PLAN (BY OTHERS)

PROPOSED
6132
6130
6130

EXISTING
6112
6110

DESCRIPTION
GROUND CONTOUR
SPOT ELEVATION
COMPORT FROM 1003 TOPOGRAPHIC MAP
TOP OF CURB ELEVATION
DIRECTION OF SURFACE FLOW
DRAINAGE HIGH POINT
DRAINAGE LOW POINT
WATER MAIN
SANITARY FORCE MAIN
SANITARY SEWER
STORM SEWER
GAS MAIN
OVERHEAD ELECTRIC
PROPERTY LINE
TILE LINE
FIRE LINE
EDGE OF WETLAND
EDGE OF WATER
C/L OF DRAINAGE DITCH OR WATER LINE
SET FENCE
DEFINITION MARKERS
MANHOLE (MH)
CATCH BASIN (CB)
CLEAN OUT (CO)
ROOF
GATE VALVE
FIRE HYDRANT ASSEMBLY
CURB STOP & BOX
POLE, POWER OR ELECTRIC
LIGHT POLE
300V
BENCH MARK (BM)
UIG UTILITY SKIN
UTILITY ANCHOR
SOIL EROSION CONTROL MEASURE
(MICRO-CELL CONTOUR, TERRACE, PERMANENT TERRACEWAY)RICH FOUND / IRON SET
CONCRETE MONUMENT
GOVERNMENT CORNER
NAL FOUND / NAL SET
RECORD / MEASURED
FENCE
WOOD SHED

PROPOSED
6132
6130
6130

EXISTING
6112
6110

DESCRIPTION
GROUND CONTOUR
SPOT ELEVATION
COMPORT FROM 1003 TOPOGRAPHIC MAP
TOP OF CURB ELEVATION
DIRECTION OF SURFACE FLOW
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DRAINAGE LOW POINT
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SANITARY FORCE MAIN
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RECORD / MEASURED
FENCE
WOOD SHED

EXISTING
6112
6110

PROPOSED
6132
6130
6130

EXISTING
6112
6110

Lot	Area	Remarks
LOT 6	11.5	EXISTING GRAVEL
LOT 7	11.5	EXISTING GRAVEL
LOT 8	11.5	EXISTING GRAVEL
LOT 9	11.5	EXISTING GRAVEL
LOT 10	11.5	EXISTING GRAVEL
LOT 11	11.5	EXISTING GRAVEL
LOT 12	11.5	EXISTING GRAVEL
LOT 13	11.5	EXISTING GRAVEL
LOT 14	11.5	EXISTING GRAVEL
LOT 15	11.5	EXISTING GRAVEL
LOT 16	11.5	EXISTING GRAVEL
LOT 17	11.5	EXISTING GRAVEL
LOT 18	11.5	EXISTING GRAVEL
LOT 19	11.5	EXISTING GRAVEL
LOT 20	11.5	EXISTING GRAVEL

MMCC Facilities Construction
 Proposed Munson Day Care
 EXISTING CONDITIONS AND DEMOLITION PLAN
 Section 4, Town 27 North, Range 11 West
 Genesee Township, Grand Traverse County, Michigan

PRELIMINARY

DATE: 10/15/2024

PROJECT: MMCC

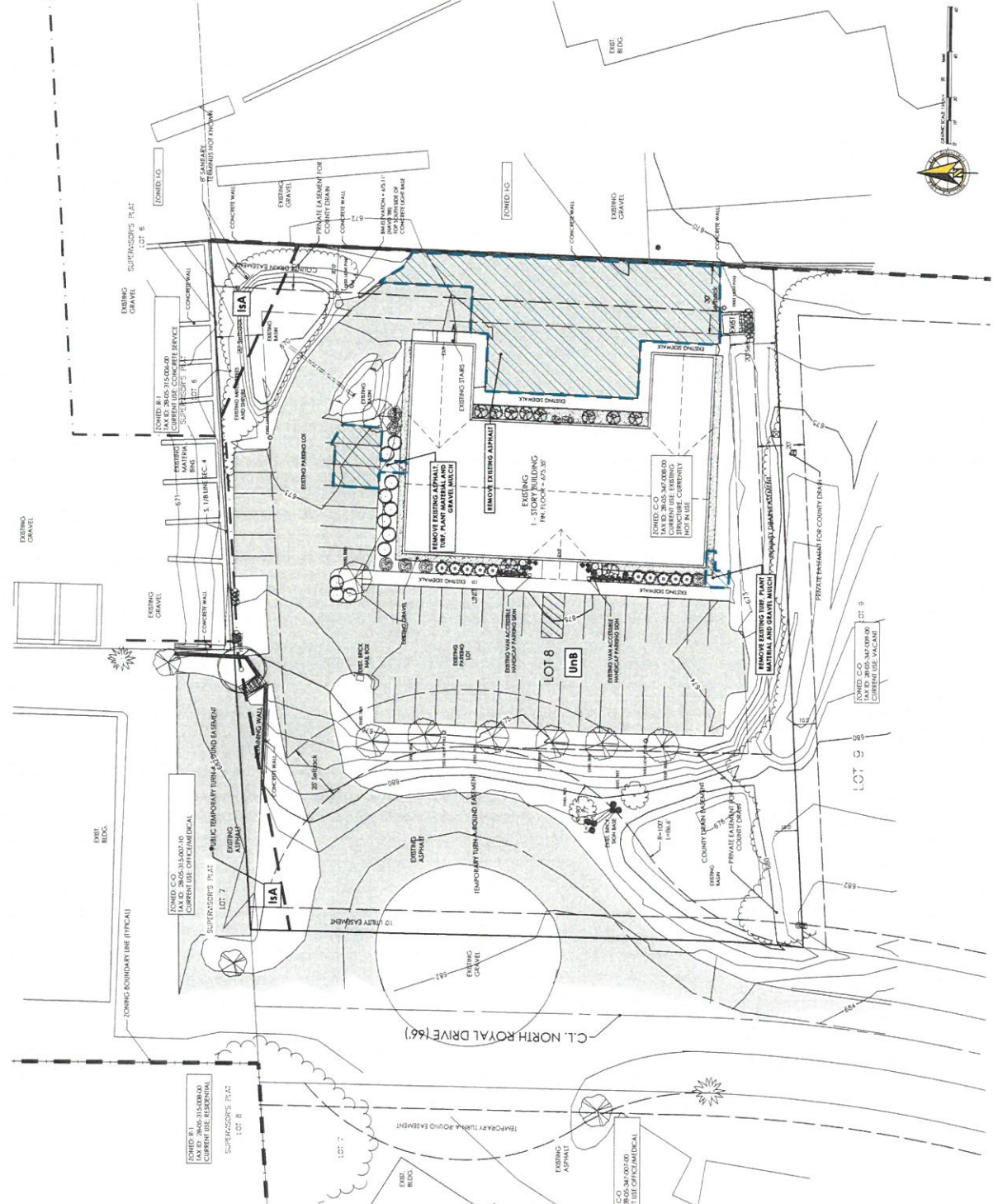
DRAWN BY: JLS

CHECKED BY: JLS

SCALE: AS SHOWN

19041

C2.0



SITE SOILS LEGEND:

HA
 KOSCOGOMAW (OHMY SANDS, 0-2% SLOPES
 NATURAL UNDRANNE CLASS SOMMHA POCYUN) UNDRAN
 RINOF CLASS LOW
 DEPTH TO WATER TABLE: ABOUT 4' TO 18' INCHES

UB
 URBIN MESTER COMPLEX 2A8 TLCPES
 NATURAL UNDRANNE CLASS MWE DSE DRANCS
 RINOF CLASS LOW
 DEPTH TO WATER TABLE: MORE THAN 48' INCHES

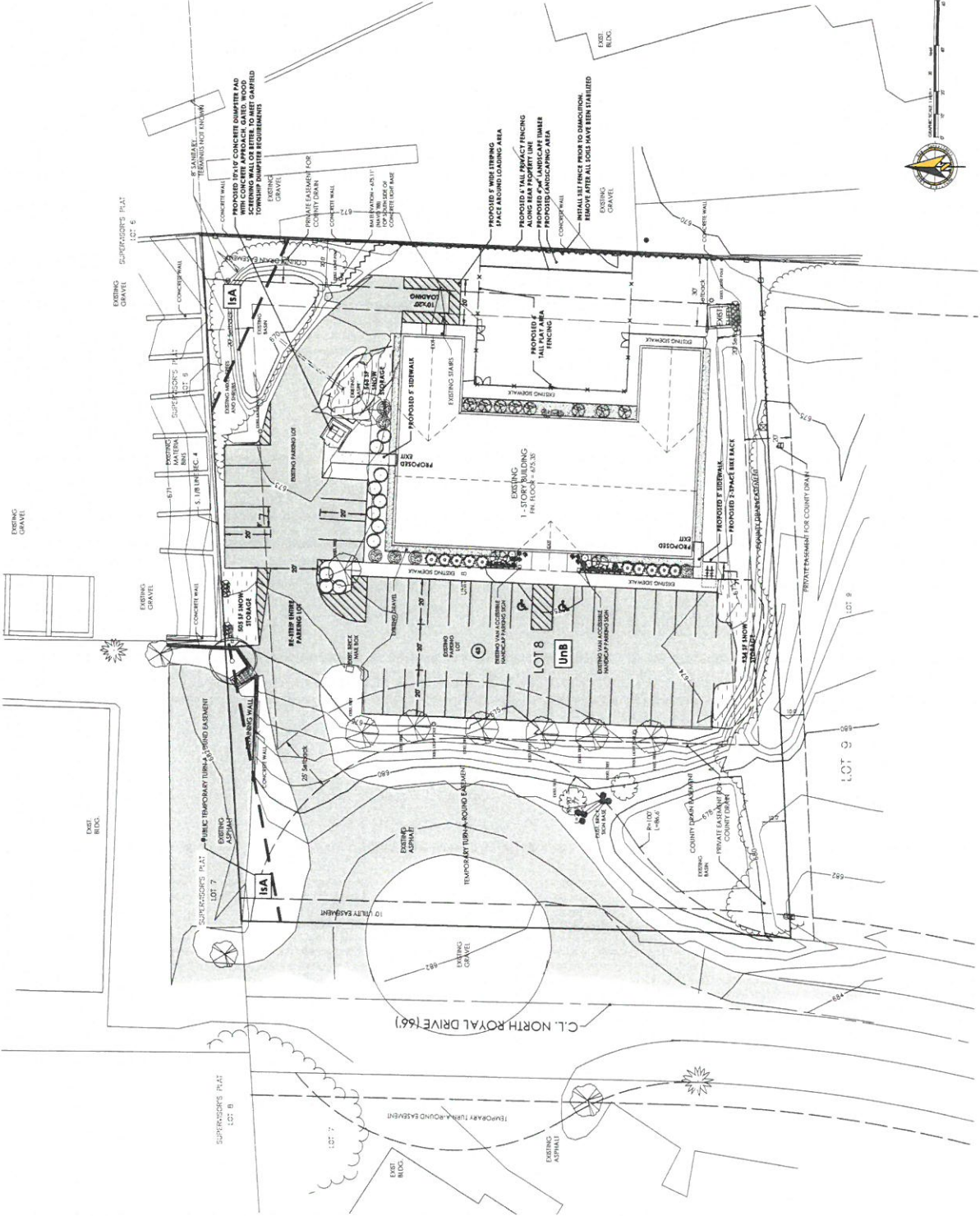
MMCC - 10/15/2024 - 10/15/2024 - 10/15/2024 - 10/15/2024 - 10/15/2024

NO.	DESCRIPTION	DATE
1	Issue for Review	10/15/15
2	Issue for Review	10/15/15
3	Issue for Review	10/15/15
4	Issue for Review	10/15/15
5	Issue for Review	10/15/15
6	Issue for Review	10/15/15
7	Issue for Review	10/15/15
8	Issue for Review	10/15/15
9	Issue for Review	10/15/15
10	Issue for Review	10/15/15

- S.E.C. CONSTRUCTION NOTES:**
- THE CONTRACTOR MUST OBTAIN AN S.E.C. PERMIT FROM GRAND TRAVERS COUNTY.
 - THE CONTRACTOR MUST OBTAIN A PERMIT FROM M.D.O.I. PRIOR TO THE START OF CONSTRUCTION.
 - SET FENCE SHALL BE INSTALLED BEFORE THE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION.
 - THE CONTRACTOR MUST REMOVE THE SET FENCE UPON COMPLETION OF CONSTRUCTION.
 - ALL STUMPS AND UNDERGROUND ORGANIC MATERIAL SHALL BE COMPLETELY REMOVED WITH AN EXCAVATOR AND NOT BURIED ON SITE.
 - ALL EXCAVATION SHALL BE LOCATED INTERNALLY AWAY FROM THE PROPERTY LINE.
 - FINAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE GRAND TRAVERS COUNTY ZONING ORDINANCES.
 - SLOPES SHALL BE RESTORED WITH SOIL AND MULCH TO MATCH EXISTING SLOPES AS MUCH AS POSSIBLE OVER DISTURBED AREAS.
 - CONTROL DIRT ON AND ADJACENT TO THE PROJECT SITE MAINTAIN THROUGHOUT CONSTRUCTION.
 - THE SMALLEST AMOUNT OF BARE GROUND SHALL BE EXPOSED FOR THE SHORTEST PERIOD OF TIME.
 - REMOVED FILL SHALL BE STABILIZED ACCORDING TO THE CURRENT M.D.O.I.

- CONSTRUCTION SCHEDULE NARRATIVE***
- TO BE COMPLETED ON THE DATE OF CONSTRUCTION:
- TO INSTALL TEMPORARY S.E.C. MEASURES
 - TO TOPSOIL SPREADING & SEEDING
 - TO SET GRADING
 - TO UNDERGROUND UTILITIES STORM & SEWER
 - TO AUGG BARE GROUND & HMA PAVEMENT
 - TO FINAL GRADING, LANDSCAPING & RESTORATION
 - TO SITE CLEANUP, PAVEMENT MARKINGS, SIGNS
 - TO REMOVE TEMPORARY S.E.C. MEASURES
- *THE FINAL CONSTRUCTION SCHEDULE IS SUBJECT TO CHANGE BASED ON PERMIT APPROVALS, MARKET STATUS AND OWNER/CONTRACTOR SCHEDULES

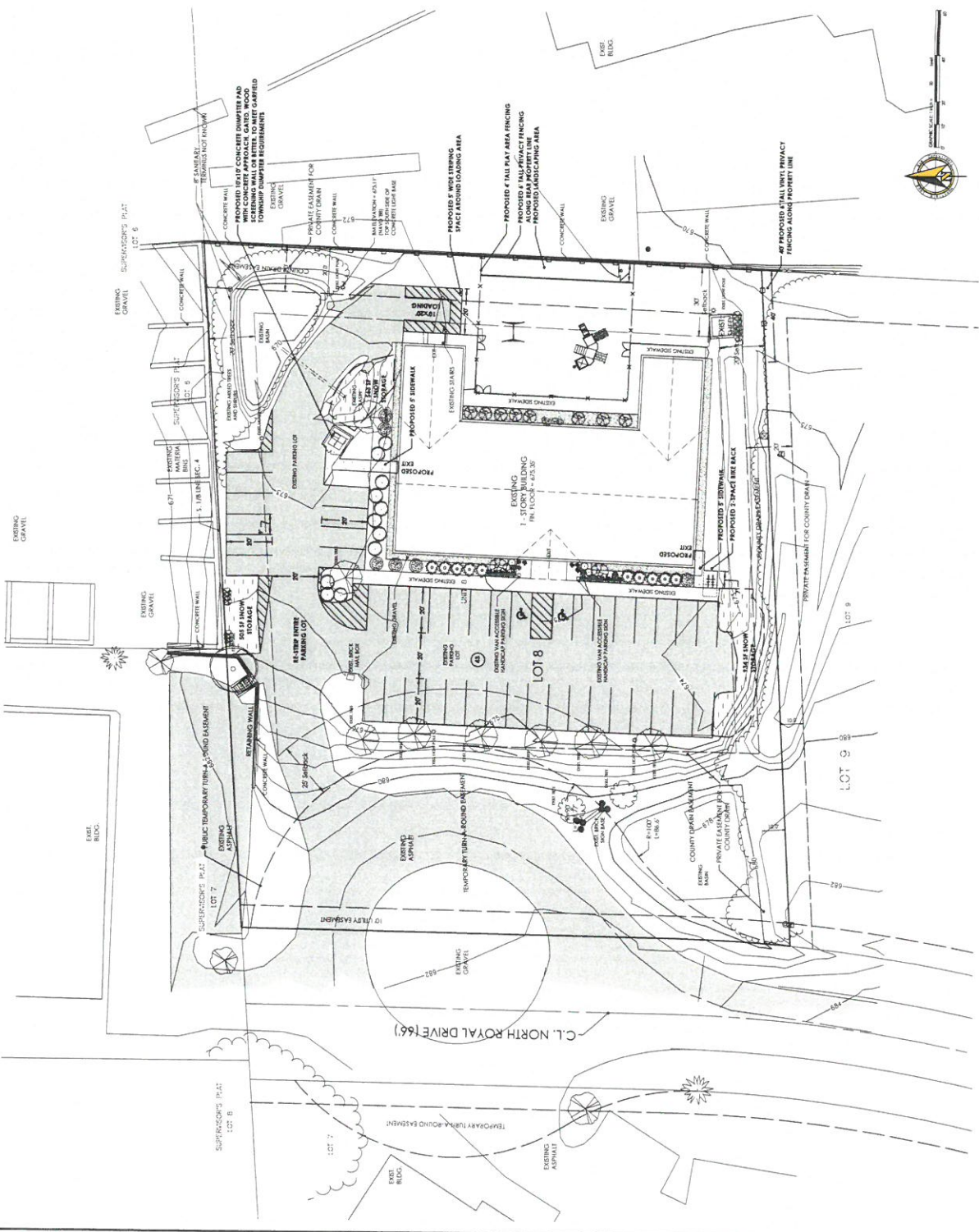
- SITE SOILS LEGEND:**
- 1A 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: MORE THAN 48" RICHES
 - 1B 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 48" TO 72" RICHES
 - 2 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 72" TO 96" RICHES
 - 3 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 96" TO 120" RICHES
 - 4 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 120" TO 144" RICHES
 - 5 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 144" TO 168" RICHES
 - 6 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 168" TO 192" RICHES
 - 7 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 192" TO 216" RICHES
 - 8 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 216" TO 240" RICHES
 - 9 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 240" TO 264" RICHES
 - 10 100% COARSE SAND (GRAVEL SANDS) 0-7% SLOPES
DEPTH TO RESTRICTIVE LAYER: 264" TO 288" RICHES



- NOTES:**
1. RE-DEVELOP EXISTING PARKING LOT SPACES.
 2. PROVIDE 2' SNOW STORAGE AREA PROVIDED.
 3. PROVIDE 2' SNOW STORAGE AREA PROVIDED.
 4. PROVIDE 2' SNOW STORAGE AREA PROVIDED.

NO.	DATE	DESCRIPTION
1	10/11/11	PRELIMINARY
2	10/11/11	REVISIONS
3	10/11/11	REVISIONS
4	10/11/11	REVISIONS
5	10/11/11	REVISIONS
6	10/11/11	REVISIONS
7	10/11/11	REVISIONS
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27	10/11/11	REVISIONS
28	10/11/11	REVISIONS
29	10/11/11	REVISIONS
30	10/11/11	REVISIONS

Mansfield
Proposed Munson Day Care
SITE AND DIMENSION PLAN
Section 4, Town 27 North, Range 11 West
Garfield Township, Grand Traverse County, Michigan



SYMBOL	PLANT NAME	QUANTITY
(Symbol)	Maple, Red (varieties)	(2) Proposed
(Symbol)	Flax, White (varieties)	(1) Proposed
(Symbol)	Decorative Red Cedar (varieties)	(1) Proposed
(Symbol)	White, Virginia Creeper (varieties)	(1) Proposed
(Symbol)	Decorative Red Cedar (varieties)	(1) Proposed
(Symbol)	White, Virginia Creeper (varieties)	(1) Proposed

LANDSCAPE LEGEND

SYMBOL

PLANT NAME

QUANTITY

(2) Proposed

(1) Proposed

(1) Proposed

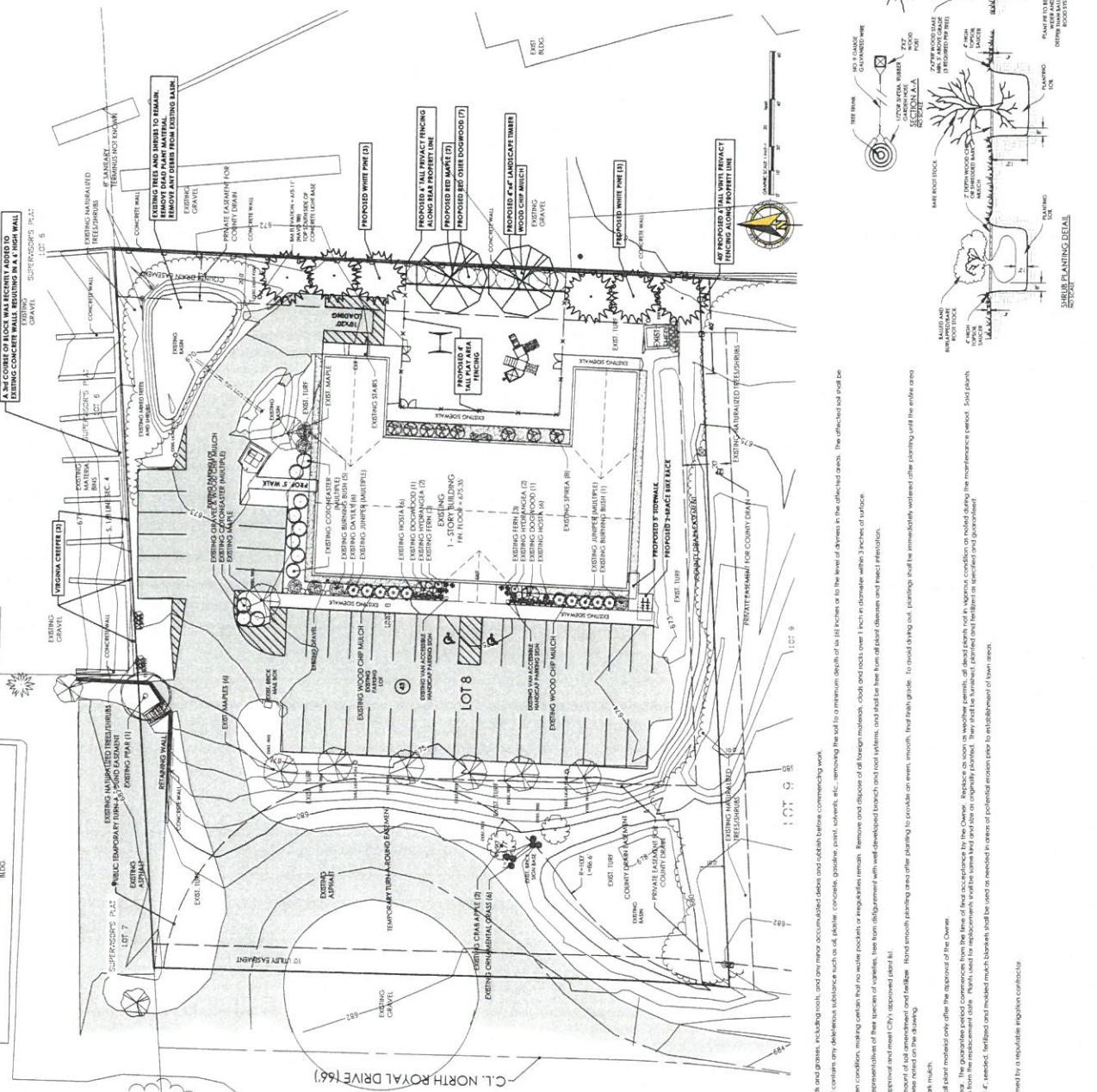
(1) Proposed

(1) Proposed

(1) Proposed

SYMBOL	PLANT NAME	QUANTITY
(Symbol)	Maple, Red (varieties)	(2) Proposed
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(Symbol)	Decorative Red Cedar (varieties)	(1) Proposed
(Symbol)	White, Virginia Creeper (varieties)	(1) Proposed

Mansfield
 Land Use Consultants
 830 Cottage Dr., Ste. 201
 P.O. Box 4015
 Troy, MI 48065
 Phone: 248-586-5510
 www.mansfield.com
 info@mansfield.com



PLANTING NOTES:

1. Clean up and remove from the planting area weeds and grass, including roots, and any minor accumulated debris and rubbish before commencing work.
2. Remove and dispose of all soil in planting areas that contains any deleterious substance such as oil, plaster, concrete, gasoline, paint, solvents, etc., ensuring the soil to a minimum depth of six (6) inches or to the level of distress in the affected areas. The affected soil shall be replaced with native or imported soil as required.
3. Fresh grading of planting areas to a smooth and even condition, making certain that no water pockets or irregularities remain. Remove and dispose of all foreign materials, clods and rocks over 1 inch in diameter with 3 inches of surface.
4. All Plant Materials shall be healthy, well developed representative of their species or variety, free from damage and well developed branch and root systems, and not be less than all plant diseases and insect infestation.
5. All plant materials will be subject to the Owner's approval and must be approved by the City's approved plant list.
6. All plant materials shall be delivered to the site in accordance with the transportation amount of soil amendment and fertilizer. Hand smooth planting area after planting to provide an even, smooth, final finish grade. To avoid striking out, plantings shall be immediately watered after planting until the entire area.
7. Mulch all planting beds with 3 inches of mulched bark mulch.
8. Removal of logs, stumps, masonry blocks and ties from all plant materials only after the approval of the Owner.
9. All plant materials shall be guaranteed for a period of one year. The guarantee period commences from the time of final acceptance by the Owner. Replace as soon as weather permits, all dead plants and all vigorous condition as noted during the maintenance period. Good plants.
10. All affected areas shall be top soiled to a depth of 4" needed, fertilizer and mulch/bark layers shall be used as needed in areas or potential erosion prior to establishment of lawn areas.

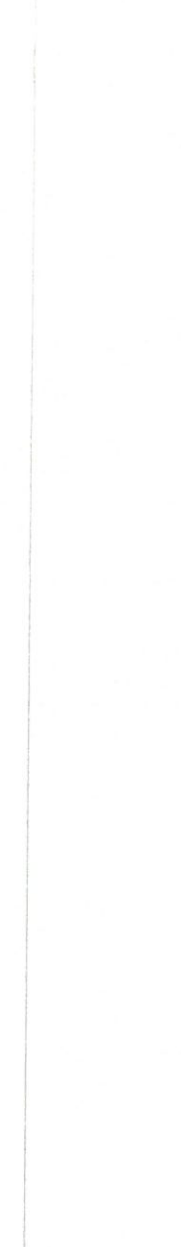
EROSION CONTROL:

1. Erosion control to be required in accordance to be performed by a reputable erosion control contractor.

LANDSCAPE PREPARED BY:
 Patrick H. Korman, R.A.
 830 Cottage Dr., Ste. 201
 Troy, MI 48065

PRELIMINARY

DATE: 10/15/2014
 DRAWN BY: P.H.K.
 CHECKED BY: P.H.K.
 PROJECT NO.: 19041
 SCALE: 1/10



PLANTING NOTES:

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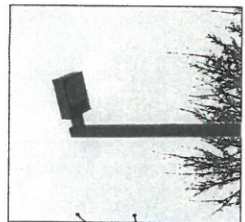
LANDSCAPE PREPARED BY:
 Patrick H. Korman, R.A.
 830 Cottage Dr., Ste. 201
 Troy, MI 48065



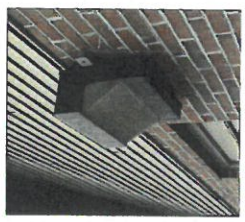
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8888
5/9/2019
SITE LIGHTING
PHOTOMETRIC
PLAN

C101
P1.0



MODEL



MODEL



MODEL

