

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING**

Wednesday, March 11, 2020 at 7:00pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. Review and approval of the Agenda – Conflict of Interest

3. Minutes – February 26, 2020

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
- c. Staff Report

6. Unfinished Business

- a. PD 2020-42 – Consumers Energy Boardman Substation SUP PH
- b. PD 2020-41 – Good News Automotive Rezoning PH
- c. PD 2020-44 – Traverse Hospitality 2 Review of Wetland Approval Condition

7. New Business

- a. PD 2020-40 – Chick-fil-A SUP Intro
- b. PD 2020-45 – 3077 Garfield Conditional Rezoning Intro
- c. PD 2020-39 – 4051 Cedar Run Rezoning Intro
- d. PD 2020-43 – Shoe Dept. Encore Sign Review / Grand Traverse Mall

8. Public Comment

9. Other Business

- a. Barlow Garfield Neighborhood Plan – Recommend to TB for Distribution

10. Items for Next Agenda – March 25, 2020

- a. Redevelopment Ready Communities – Introduction

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412.

CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
February 26, 2020

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, MI 49684.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Robert Fudge, Steve Duell, Joe McManus, Chris DeGood, Joe Robertson, and John Racine

Absent and Excused: Pat Cline

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. **Public Comment (7:01)**

None

2. **Review and Approval of the Agenda – Conflict of Interest (7:01)**

McManus moved and Fudge seconded to approve the agenda as presented.

Yeas: McManus, Fudge, Duell, DeGood, Robertson, Racine

Nays: None

3. **Minutes (7:02)**

a. **February 12, 2020**

Fudge moved and Duell seconded to adopt the minutes of February 12, 2020 as presented.

Yeas: Fudge, Duell, DeGood, Robertson, McManus, Racine

Nays: None

4. **Correspondence (7:03)**

None

5. **Reports (7:03)**

Township Board Report

Duell reported that the Board voted to fund an additional \$200,000 for the Boardman Lake Trail. The board also adopted rental policies for the Silver Lake Recreation Area, approved the Harris Hills PUD and the preliminary review of the Village at LaFranier Woods PUD. Trustees also approved a bid for the demolition of the Kids Creek Mill and approved the financing for a new fire truck.

Planning Commissioners

No reports

Staff Report

No reports

6. Unfinished Business**a. Barlow Garfield Neighborhood Plan – Review of Full Draft (7:05)**

Sych provided an overview of the planning process and current status of the Barlow Garfield Neighborhood Plan. The draft plan is posted online along with the existing conditions report and results of public engagement. Hannon said that they are looking for some feedback this evening from commissioners and the public. He reviewed the plan with a PowerPoint presentation which reviewed the existing conditions, the public engagement process, the strategic plan, vision, and development guidelines of the Barlow Garfield neighborhood. Sych said that the plan may now be used to guide development in the area. Commissioners discussed and commented on the plan and talked about how to get the word out about the Opportunity Zone so developers can take advantage of the options for developments.

Racine opened the floor for public comment on the plan at 7:51pm.

Fern Spence of Old Incochee Trail commented on the plan and said a sidewalk is needed along Barlow.

LuAnn Heinert a Garfield Township resident commented that the Planning Department is moving in the right direction. She echoed the need for a sidewalk.

Klaus Heinert of Garfield Township asked about the exclusion of Logan's Landing from the Opportunity Zone area.

Michael Ufer commented on the building heights and concurred with comments on connectivity to trails and sidewalks.

Chuck Cherney said that he is a commercial appraiser and encouraged flexibility in the plan and urged commissioners to keep seeking input.

Commissioners were positive towards the draft and asked for the inclusion of details regarding the Opportunity Zone. The plan will be brought back to Commissioners at the next meeting for further review.

b. PD 2020-36 2020 Priorities – Update (8:30)

Sych reviewed several of the goals for 2020 and asked Commissioners to review and reaffirm the priorities. Staff discussed the projects and specifically the Redevelopment Ready Communities certification process. Commissioners discussed the topics that need to be prioritized and agreed that action needed to be taken on wetland regulation including snow storage, sign ordinances, and other ordinance updates. Commissioners were also interested in more continuing education opportunities.

c. PD 2020-37 – Review of Wetlands Approval Conditions (8:45)

Three developments along the US 31 corridor were brought before the PC recently and all are located near wetlands. Traverse Hospitality 2, Lake Michigan Credit Union and the Michigan State University Federal Credit Union have all been approved with conditions pertaining to the wetlands

on their sites, and the conditions are all worded differently for each site. EGLE wetland reviews are performed seasonally which has posed challenges to meeting these conditions, thus prompting this review. Staff recommends that the wetland conditions for Lake Michigan Credit Union and the MSU Federal Credit Union remain in place. However, EGLE did perform a pre-application walk through meeting with developers of the Traverse Hospitality 2 and in a letter dated November 7, 2019, determined that if the development stayed in the footprint of existing filled grade, an EGLE permit would not be needed. Dusty Christensen, representing Traverse Hospitality 2, stated that the development will meet the wetland setback requirement and remain in the footprint, thus eliminating the need for an EGLE permit and asks that the condition regarding the wetlands be altered or removed from the approval. Christensen is confident that they are not impacting the wetlands and said a wetland delineation was performed by Envirologic and asks that the analysis be allowed along with the EGLE letter to act as proof of meeting the intent of the wetland requirement. Planning Commissioners agreed to review the condition at the March 11th meeting, with the applicant providing all necessary documentation as proof that the condition has been met.

7. **New Business**

None

8. **Public Comment**

None

9. **Other Business**

None

10. **Items for Next Agenda – March 11, 2020**

- a. **Good News Automotive Rezoning PH**
- b. **Consumers Energy Boardman Substation SUP PH**
- c. **4051 Cedar Run Rezoning Intro**
- d. **Chick-Fil-A SUP Intro**
- e. **GT Mall Sign Review**
- f. **3077 Garfield Conditional Rezoning Intro**
- g. **Barlow Garfield Neighborhood Plan – Recommend to TB for Distribution**
- h. **Traverse Hospitality 2 – Review of Wetland Condition**

11. **Adjournment**

Fudge moved to adjourn the meeting at 9:25pm

Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

Haggard's
PLUMBING and HEATING
"Business of Quality and Service"
"Charlevoix-the-Beautiful"
haggardsinc@hotmail.com

February 24, 2020

Garfield Planning Commission
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application Request from Consumers Energy for approval on a Special Use Permit located at 825 Cass Rd. Parcel#05-034-0210-00 from R-1 One-Family Residential Zoning.

To Whom it May Concern,

Upon reviewing the above Article, I would like to express my view on the above plan request. Haggard's Plumbing & Heating is not opposed to the changed of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county and state to do all we can to improve and promote growth in anyways possible.

Sincerely,



JOHN HAGGARD

Haggard's

PLUMBING and HEATING

"Business of Quality and Service"

"Charlevoix-the-Beautiful"

haggardsinc@hotmail.com

February 24, 2020

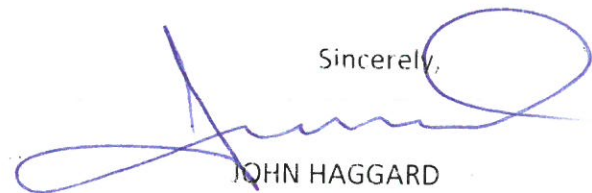
Garfield Planning Commission
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application Request from Good new Automotive Inc. to amend zoning ordinance from I-G General Industrial Zoning District to C-G General Commercial Zoning Parcel#05-310-001-00 located at 3300 Cass Rd.


To Whom it May Concern,

Upon reviewing the above Article, I would like to express my view on the above plan request. Haggard's Plumbing & Heating is not opposed to the changed of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county and state to do all we can to improve and promote growth in anyways possible.

Sincerely,



JOHN HAGGARD

 Charter Township of Garfield Planning Department Report No. 2020-42			
Prepared:	March 4, 2020	Pages:	6
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SUP-2019-07 Consumers Energy Boardman Substation – Public Hearing		
File No.	SUP-2019-07	Parcel No.	05-034-010-00
Owner:	Consumers Energy		
Agent:	Consumers Energy		

BRIEF OVERVIEW:

- 825 Cass Road; 6.27 acres on one parcel
- Existing use is the Consumers Energy substation (major essential service)
- Primarily R-1 One-Family Residential zoning district (some in A-Agricultural district)

PURPOSE OF APPLICATION / BACKGROUND:

This application requests approval of a Special Use Permit (“SUP”) for Consumers Energy to expand its existing Boardman Substation. The substation is considered a major essential service, and major essential service facilities may be permitted by special use permit in any zoning district.

This application was introduced at the Planning Commission meeting on February 12, 2020 at which the Commissioners had questions on several different aspects of the project. This report provides an update based on additional details provided by the applicant and analysis of the Commissioners’ questions.

SUBJECT PROPERTY:

The site is located at the southwest corner of Cass Road and Keystone Road. The application indicates a plan to expand the footprint of the substation, including adding new equipment and structures. No other improvements or changes to the site are anticipated.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing
- b) Availability of adequate public facilities or services
- c) Dedication of land
- d) Reservation of land
- e) Creation of special assessment districts
- f) Creation of restrictive covenants or easements
- g) Special setbacks
- h) Yard requirements
- i) Increased screening or landscaping requirements
- j) Area requirements
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Section 737.B of the Zoning Ordinance outlines the criteria for review of major essential service facilities. In considering applications for the placement of any Major Essential Service Facilities the Township shall consider the effects of the proposed project upon the health, safety and welfare of the Township, as existing and anticipated, and the effect of the proposed project upon the Master Plan. Additionally, the following specific standards shall be reviewed as applicable to the application:

An applicant proposing a Major Essential Service Facility in a residential district shall demonstrate that there are no other feasible and prudent alternatives than to locate the Major Essential Service Facility in the proposed location. Furthermore, the applicant shall show that all reasonable efforts to locate the Major Essential Service Facility in an adjacent zoning jurisdiction have proven impracticable or an incompatible land use as determined by the Planning Commission.

The site is located within the R-1 One-Family Residential district; however, the proposal is for an expansion of an existing Major Essential Service Facility. All proposed expansion as part of this project will take place on the existing parcel.

All above ground major essential service facilities shall be located in conformance with the yard, lot width and lot area standards of this ordinance.

The existing parcel meets the minimum parcel dimensions. The existing substation and proposed expansion appear to meet all setback standards.

With the exception of elevated water storage facilities and electrical transmission towers and poles, major essential service facilities shall not exceed the maximum height requirements of the zoning district in which they are located.

The maximum height for any structure is 35 feet; this should be verified by the applicant for the proposed expansion. The applicant's letter does clarify the light pole will only be 6'-9" tall.

Major essential service facilities located out-of-doors shall to the extent possible be screened from view from adjoining properties and from road rights-of-way.

There appears to be a landscaped screening wall on the southern lot line and some screen on the western lot line, but there is no screening on the northern (Cass Road) or eastern (Keystone Road) lot lines. Additional landscaping and screening may be considered as part of this review. The applicant's letter explained that a landscaped buffer would not be possible based on Consumers Energy clear-cut standards and to maintain the reliability of the substation. Consumers Energy is willing to work with Commissioners on an acceptable amount of landscaping for the site.

Equipment buildings intended to house major essential service facilities, such as well houses, pump buildings or equipment shelters, shall be constructed of face brick, decorative masonry, cement board or wood lap siding designed to resemble nearby structures. Provided, that a side of such equipment building that is not visible from a public right-of-way, may be constructed of common cement block or metal panels, if further screened with evergreen landscaping.

One existing storage house is proposed to be removed. The applicant's letter clarifies that they are planning to install a new control enclosure as part of the expansion. **Additional information is needed to ensure that this enclosure will be constructed to meet this standard, or that otherwise it will be screened with evergreen landscaping.**

Any above ground Major Essential Service Facility shall be fully secured from unauthorized entry either by construction of the facility itself or through fencing which meets the requirements of this ordinance.

The existing substation is surrounded by a fence. The applicant's letter clarifies that Consumers Energy plans to expand the fenced area to facilitate the expansion by squaring off the area to the northeast of the existing fence. Fencing requirements are described in Section 515 of the Zoning

Ordinance. Additional details are needed on the proposed fence to ensure that these standards are met including design, material, and height.

Compliance with the Township Non-Motorized Plan is required.

The Township Non-Motorized Plan shows a bike lane/route along both Cass Road and Keystone Road, and a nature trail heading east from this intersection. There are no bike paths or sidewalks proposed on the subject parcel.

A Major Essential Service Facility located on a vacant parcel shall be considered the principal use of that parcel.

The existing substation is the principal use of its parcel. There are no other uses on the parcel.

An above ground Major Essential Service Facility which is fenced or which is housed in an equipment building shall include a sign placard of not more than two square feet which shall indicate the owner or operator's name, address and emergency contact information. In addition, such facilities may include any required hazard warning signage.

This standard can be made a condition of the special use approval, if the current signage on the substation facility were to be found insufficient. Any proposed changes to existing signage on the site shall be indicated by the applicant.

Other site plan elements include the following:

Lighting / Photometric Plan

Lighting standards are in Section 517 and are described in the table below. The applicant's letter includes information regarding these standards.

Zoning Ordinance Lighting Standard	Subject Site
<i>A. Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of the exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
<i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	Consumers Energy indicates the lights proposed are tilted horizontal in relation to the ground and face inward towards the substation. The lighting fixtures need to be directed downward to avoid light trespass onto neighboring sites. Therefore, the proposed light fixture does not meet shielding standards of this section.

<p><i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.</p>	<p>Consumers Energy provided some information on illumination levels, but this was not overlaid onto the site plan. A photometric plan still needs to be submitted showing the light levels as overlaid on the site plan to demonstrate that this standard is met, as described in the site plan checklist of the Zoning Ordinance Section 956: “A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.”</p>
<p><i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.</p>	<p>Consumers Energy plans to install a 3,000 K light and has also included a cut sheet on the proposed fixture.</p>
<p><i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.</p>	<p>As mentioned above, the proposed light fixture does not meet shielding standards of this section.</p>
<p><i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.</p>	<p>Consumers Energy indicates the light will be mounted on a 6’-9” pole, meeting the maximum height of 35 feet.</p>

Landscaping and Screening

Major essential service facilities have a landscape planting requirement of a Type “D” buffer adjacent to any other use according to Table 531.1. A Type “D” buffer consists of the following:

- Planting requirement. Ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area.
- Minimum width of 20 feet.

The applicant’s letter stated that a landscaped buffer would not be possible based on Consumers Energy clear-cut standards and to maintain the reliability of the substation. Consumers Energy is willing to work with the Township on an acceptable amount of landscaping for this site. According to Section 530 H. of the Zoning Ordinance, the Planning Commission may waive or adjust landscaping requirements based on certain conditions including utility construction and safety. Staff suggests that a hedge row of arborvitae or similar planting materials, along with a mix of shrubs, would help to meet the intent of the landscaping portion of the Zoning Ordinance. Arborvitae or other planting materials can be trimmed and managed to maintain a neat appearance while still providing screening. The applicant shall provide a landscape plan with the plan set.

Site Access

There is one access to the parcel on Cass Road and none on Keystone Road. The Grand Traverse County Road Commission (GTCRC) is looking at constructing a roundabout at the intersection of Cass Road and Keystone Road in the next few years. Consumers Energy indicated that they have met with the GTCRC as a preliminary discussion on the proposed roundabout and its impacts on access to their site. They have yet to determine if the roundabout will require relocation of the access to the Consumers Energy site.

Section 521.G (6) says that “where necessary to ensure desired vehicular or pedestrian access over private property, the approval authority may require the recording of a cross-access easement.” Cross-access to this site is not likely to be beneficial in its current configuration, but this may need to be reviewed if the proposed roundabout affects the location of the existing access.

Natural Features

The site does not contain any significant natural features and the proposed substation expansion will be generally contained to the existing development footprint area. The western edge of the site may contain wetlands or wetland soils based on the previous location of the Boardman River before the removal of the dam and relocation of the Boardman River.

Parking / Snow Storage

Major essential service facilities have no specific requirements for parking or snow storage.

Storm Water Management

According to the letter from the Township Engineer, the site can be considered exempt from typical storm water facilities requirements.

Trash Enclosure

According to the applicant’s letter, there are no plans to generate trash on site. If there is any trash that is generated on site, Consumers Energy will take it to another site with trash disposal available.

ACTION REQUESTED:

There are some outstanding items on the site plan, but Staff is of the opinion that these items can be easily corrected and resubmitted. The purpose of this agenda item is to hold a public hearing on the application. If, following applicant presentation and Commissioner discussion, the Planning Commission is prepared to direct Staff to prepare Findings of Fact, then the following motion is suggested:

MOTION TO direct staff to prepare Findings of Fact for application SUP-2019-07 submitted by Consumers Energy for a Special Use Permit for expansion of an existing major essential service facility at 825 Cass Road.

Any additional information the Commissioners deem necessary should be added to this motion.

Attachment:

1. Letter from applicant dated February 27, 2020
2. 11” x 17” site plan set from applicant
3. Letter from Gourdie-Fraser dated February 28, 2020



A CMS Energy Company
February 27, 2020

Boardman Substation
WO# 33073395

Garfield Township
Att: Planning & Zoning Department
3848 Veterans Drive
Traverse City, MI 49684

Consumers Energy has received the Charter Township of Garfield's response to the SUP-2019-07 request for Special Land Use approval for proposed upgrades at the Boardman Substation located at 825 Cass Road. Questions and the Planning Department Report No. 2020-02 from the Township were received on Tuesday February 18, 2020. In response to the questions and report, Consumers Energy provides the following responses:

Lighting/Photometric Plan

- **Shielding and Filtration:** The lights proposed are installed tilted horizontal in relation to the ground and are facing inward towards the substation structures to provide illumination of the substation.
- **Illumination:** The illumination of the new installed light will not exceed the 20 foot-candles directly below the fixture and will not exceed the 1 foot-candles requirement on adjacent properties. This is documented in attachment titled: *Boardman Illumination 20200226*.
- **Color Temperature:** Consumers Energy plans to install a 3000K light to meet requirements set forth in Section 517. See attached data sheet for proposed light.
- **Pole Height:** The height of the light does not exceed the maximum permitted height. The light will be mounted on a 6'-9" pole.

Landscaping

The landscaping, as specified in Section 531, states that Major Essential Service is required to utilize a Type "D" buffer surrounding the substation. Further review of the substation property indicates there are high voltage lines (46 kV) and transmission lines (138 kV) entering and exiting the substation in all directions. To maintain the clear-cut standards (80 ft width) specified by Consumers Energy and to maintain reliability, installation of the specified landscaping buffer specified will not be possible. Consumers Energy would be willing to work with Zoning Officials to develop an acceptable alternative to this requirement.

Site Access

Consumers Energy has met with the Grand Traverse County Road Commission on January 15, 2020 to preliminary discuss the proposed impacts to the Substation for the proposed roundabout. Consumers Energy is still reviewing the proposed information and trying to determine alternatives for the existing driveway, if the Road Commission requires rerouting.

Detailed information has not been provided to Consumers Energy to determine if the driveway will need to be relocated.

Stormwater

Consumers Energy has attached the proposed Grading Drainage and Fence Layout for the Township's Review.

Trash

Consumers Energy does not plan to generate any trash at the site. If trash is generated, operators and maintenance personnel will remove and dispose of any trash at a Consumers Energy facility containing trash receptacles.

Clarifications

Additionally, Consumers Energy has reviewed the Report No. 2020-20 and has determined that clarification is required. See below for clarifications on statements provided in the report listed above.

“One existing storage house is proposed to be removed, and there are no new equipment buildings proposed as part of this substation expansion.”

To clarify, Consumers Energy is planning to install a new Control Enclosure at the facility as part of the proposed expansion.

“The existing substation is surrounded by a fence. It appears that all improvements for this project will take place within the fenced area.”

Consumers Energy plans to expand the fence, as shown on the Grading, Drainage and Fence Layout Drawing, to facilitate the proposed expansion.

Consumers Energy Company continues to be committed to public safety and reliable service to their customers. Your cooperation will help us fulfill this commitment. Thank you for your assistance in this matter. If you should have any questions, or need additional information, please feel free to contact me at 517-788-1867, or via e-mail at Courtney.e.killeen@cmsenergy.com .



Courtney Killeen
Real Estate - Acquisition Support
Zoning and Permits

CC: SASulzman

WORKING TO DELIVER THE ENERGY YOU NEED, WHENEVER YOU NEED IT.
THAT'S OUR PROMISE TO MICHIGAN.

Enough light to flood a dam.

LED floodlight system
replaces up to 1000W metal halide.



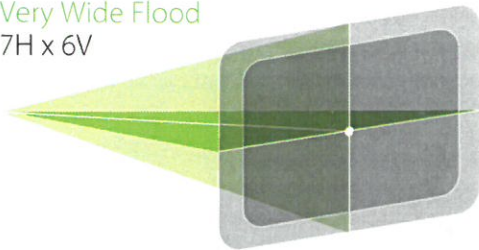
RAB[®]
LIGHTING
RABWEB.COM • 888 722-1000

FXLED® 200 & 300

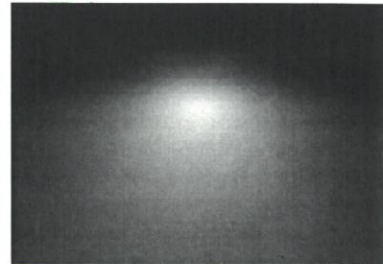
- 200W replaces 400 MH floodlights;
300W replaces 1000W MH floodlights
- NEMA Types: 7H x 6V, 6H x 4V, 4H x 6V,
5H x 5V and 3H x 3V
- Slipfitter and trunnion mounting available
- Bi-level operation and 0-10V dimming (optional)
- 100,000-hour LED lifespan
- 5-year No Compromise Warranty

Distributions - NEMA Types

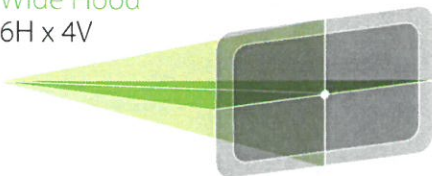
Very Wide Flood
7H x 6V



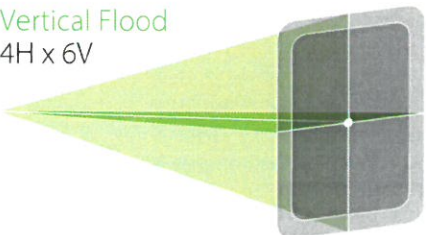
35' mounting height, 60° uptilt



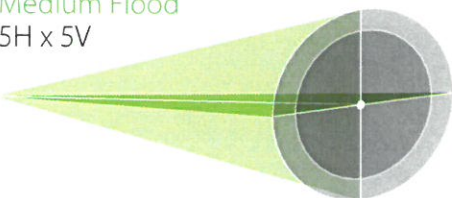
Wide Flood
6H x 4V



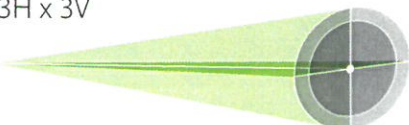
Vertical Flood
4H x 6V



Medium Flood
5H x 5V



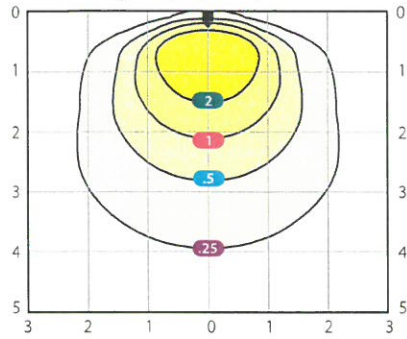
Medium Narrow Spot
3H x 3V



Photometrics

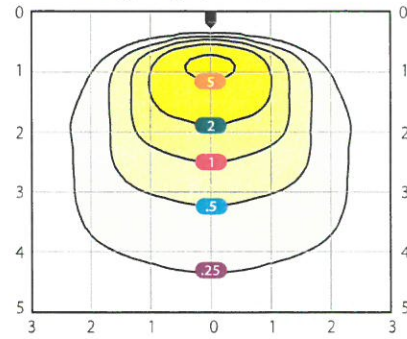
FXLED™ 200W - NEMA Type 7H x 6V

35' Mounting Height, 60° Uptilt



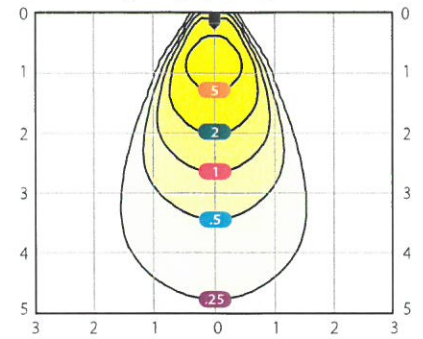
FXLED™ 200W - NEMA Type 6H x 4V

35' Mounting Height, 60° Uptilt



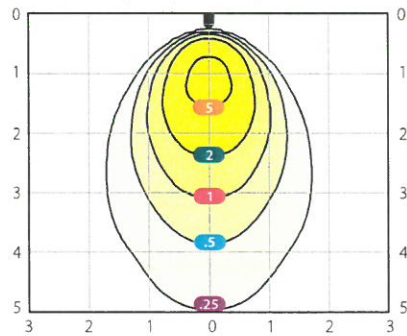
FXLED™ 200W - NEMA Type 4H x 6V

35' Mounting Height, 60° Uptilt



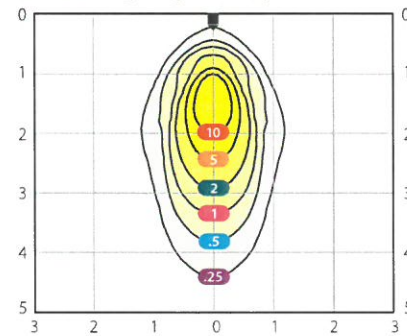
FXLED™ 200W - NEMA Type 5H x 5V

35' Mounting Height, 60° Uptilt



FXLED™ 200W - NEMA Type 3H x 3V

35' Mounting Height, 60° Uptilt

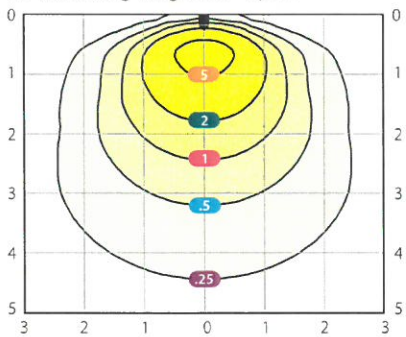


Grid scale: multiples of mounting height
Values Shown in Footcandles

Photometric Reports #ITL83944, #ITL84147, #ITL84145,
#ITL84146 and #ITL84144

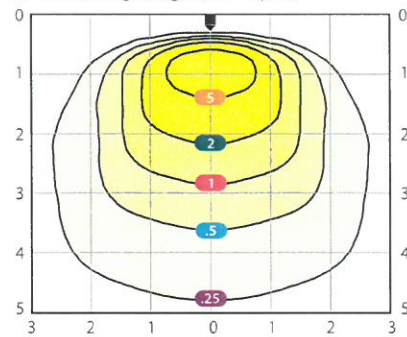
FXLED™ 300W - NEMA Type 7H x 6V

35' Mounting Height, 60° Uptilt



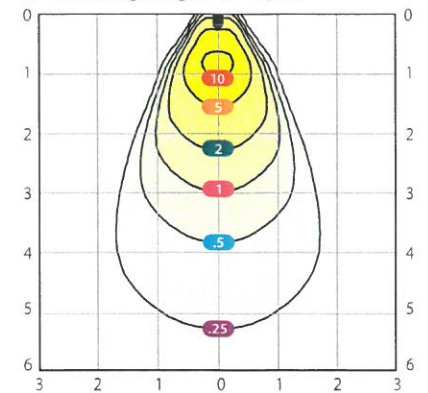
FXLED™ 300W - NEMA Type 6H x 4V

35' Mounting Height, 60° Uptilt



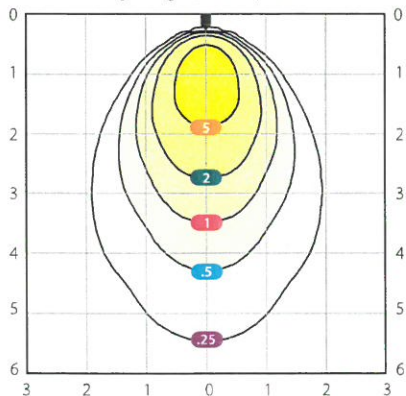
FXLED™ 300W - NEMA Type 4H x 6V

35' Mounting Height, 60° Uptilt



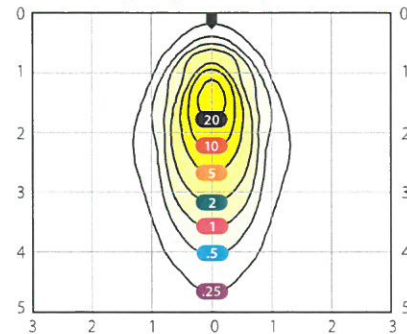
FXLED™ 300W - NEMA Type 5H x 5V

35' Mounting Height, 60° Uptilt



FXLED™ 300W - NEMA Type 3H x 3V

35' Mounting Height, 60° Uptilt



Grid scale: multiples of mounting height
Values Shown in Footcandles

Photometric Reports #ITL83947, #ITL84159, #ITL84157,
#ITL84158 and #ITL84156

Specifications

UL Listing: Suitable for wet locations. Suitable for ground mounting.

LEDs: Multi-chip, high-output, long-life LEDs

Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Drivers:

300W: Constant Current, 1050mA, 50/60 Hz, 120-277V or 347-480V with 4kV surge protection, 120V: 2.69A, 208V: 1.57A, 240V: 1.36A, 277V: 1.18A, 480V: 0.70A, THD < 20%, Power Factor: 99%

200W: Constant Current, 700mA, 50/60 Hz, 120-277V or 347-480V with 4 kV surge protection, 120V: 1.72A, 208V: 1.03A, 240V: 0.89A, 277V: 0.77A, 480V: 0.45A, THD <20%, Power Factor: 99%

FXLED® 300W

NEMA Type	7H x 6V	6H x 4V	5H x 5V
Color Temperature (CCT)	5000K	5000K	5000K
Input Watts	315	316	316
Output Lumens	38,292	37,265	34,862
Lumens Per Watt	122	118	110

NEMA Type	4H x 6V	3H x 3V
Color Temperature (CCT)	5000K	5000K
Input Watts	317	318
Output Lumens	34,000	34,936
Lumens Per Watt	107	110

FXLED® 200W

NEMA Type	7H x 6V	6H x 4V	5H x 5V
Color Temperature (CCT)	5000K	5000K	5000K
Input Watts	205	203	205
Output Lumens	27,005	25,988	24,616
Lumens Per Watt	132	128	120

NEMA Type	4H x 6V	3H x 3V
Color Temperature (CCT)	5000K	5000K
Input Watts	203	203
Output Lumens	24,457	24,430
Lumens Per Watt	120	120

Bi-Level Operation (optional): Allows 50% and 100% output modes

Dimming: Available as On/Off or with 0-10V dimming driver

Cold Weather Starting: The minimum starting temperature is -40°C.

Housing: Die-cast aluminum housing and door frame

Reflector: Specular and semi-specular vacuum metalized polycarbonate

NEMA Type: 7H x 6V, 6H x 4V, 5H x 5V, 4H x 6V and 3H x 3V are available

IP Rating: Ingress protection rating of IP66 for dust and water

Mounting: Slipfitter or trunnion with stainless steel hardware

Gaskets: High-temperature silicone gaskets

Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications

for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Green Technology: Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

California Title 24: FXLED200/300 slipfitter models with bi-level operation or 0-10V dimming comply with 2013 California Title 24 building and electrical codes as commercial outdoor pole-mounted fixtures >75 Watts mounted up to 24 feet when used with a RAB photo/motion control.

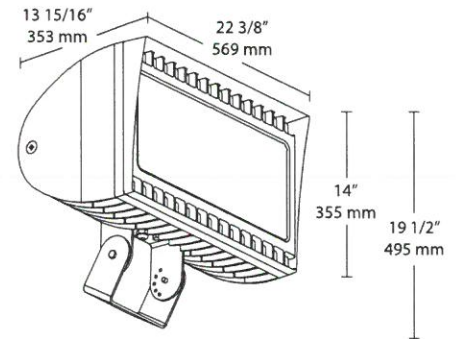
FXLED200/300 trunnion models with 0-10V dimming comply with 2013 California Title 24 building and electrical codes as commercial outdoor non-pole-mounted fixtures >30 Watts mounted up to 24 feet when used with a RAB photo/motion control.

**Values shown for cool temperature. For other performance, please visit rabweb.com.*

Dimensions and weights

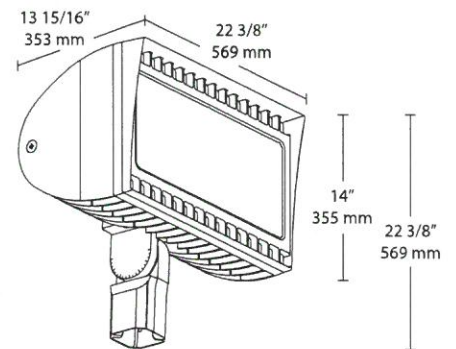
Trunnion Mount:

Weight: 66 lbs
EPA: 4.0



Slipfitter:

Weight: 66 lbs
EPA: 4.0



Ordering information

Product Family	Wattage	Mounting	Color Temp	NEMA Type	Finish	Driver Options	Photocell Options
FXLED	200 300	SF T	Y Blank N Y	Blank B64 B55 B33 B46	Blank W	/480 /BL /D10	PCT /PCT /PCT4
	200W 300W	Slipfitter Trunnion	5000K 4000K 3000K	7H x 6V 6H x 4V 5H x 5V 3H x 3V 4H x 6V	Bronze White	480V Bi-Level* 0-10V Dimming	120-277V Twistlock 480V Twistlock

**Slipfitter models only*

Luminaire

Date : 21 Feb 2020

IES Filename : dlf20180509001-5a-c.ies

Title : Boardman Substation

Description :

iesc : Adding 1 new outdoor light. 3000K

For :

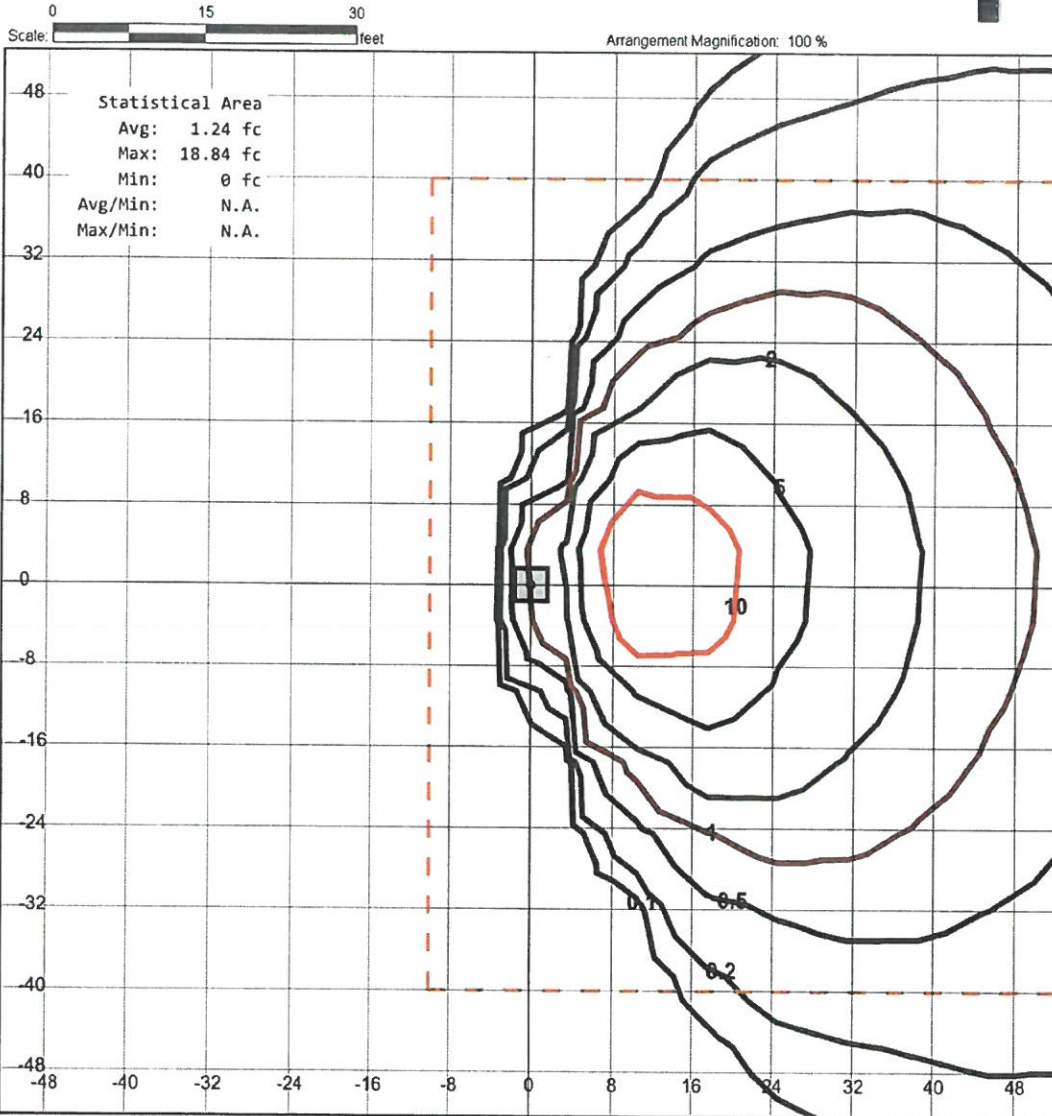
Light Loss Factor : 1.00

By : WLCHERETTE / Consumers Energy

Number of Lamps : 1

Lamp Lumens : -1 lms

Luminaire Watts : 200 W





Engineering
Surveying
Testing &
Operations

123 West Front Street
Traverse City, Michigan 49684
231.946.5874 
231.946.3703 

February 28, 2020

John Sych, Planning Director
Stephen Hannon, Deputy Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

RE: Boardman Substation Improvements
Consumers Energy
Parcel #:05-034-010-00
Garfield Township, Grand Traverse County

Dear Mr. Sych and Mr. Hannon,

GFA has provided a brief review of Grading, Site Drainage, & Fence Layout Plan prepared by Consumers Energy for the Boardman Substation Improvements project at the corner of Cass and Keystone. The Plan is dated 09-20-19.

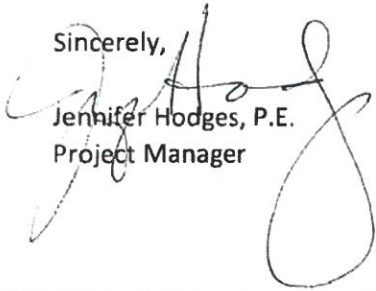
The plans depict the proposed expansion of gravel surfacing and fencing to infill the northeast corner of the substation with a net increase of ~8,900 sf of gravel (approximately 10% increase). The property is adjacent to the Boardman river, within 500-ft of the waterway. The site can be considered exempt from typical storm water facilities requirements for the following reasons:

PLEASE NOTE: The Applicant is still required to obtain all other applicable regulatory permits including but not limited to County SESC.

- USGS soil survey indicates the soil make-up has high infiltration capacity.
- The infiltration capacity of the gravel lot can be considered better than typical gravel parking lot as the use imposes infrequent traffic and loading.
- The site is directly upgradient from the Boardman and drainage does not pass through or increase the flooding risk to surrounding properties.
- The site is surrounded by well-maintain lawn area. Runoff generated by the site will be relatively clean before leaving the property.

For the reasons above, we recommend the Township waive the requirements for storm water control for this project. We appreciate the opportunity to assist the Township during the approval of this project. If you have any questions, please don't hesitate to contact me at (231) 946-5874.

Sincerely,


Jennifer Hodges, P.E.
Project Manager

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231) 946-2000
Fax (231) 946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 02/20/20 09:44 by dling

Acct #: 5508

Ad #: 541108

Status: New WHOLD WHC

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN
NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on March 11, 2020, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Good News Automotive Inc. to amend the Zoning Ordinance and Zoning Map of the Charter Township of Garfield, Grand Traverse County, Michigan, by rezoning the following parcel (s) from the I-G General Industrial zoning district to the C-G General Commercial zoning district: Parcel No. 05-310-001-00 located at 3300 Cass Road described as Lot 1 of the Smithfield subdivision.
2. Consideration of an application received from Consumers Energy for approval of a Special Use Permit for expansion of its existing Boardman Substation. The parcel is located at 825 Cass Road, Parcel No. 05-034-010-00, and is primarily R-1 One-Family Residential zoning district (some in A-Agricultural zoning district). The substation is considered a major essential service, and major essential service facilities may be permitted by special use permit in any zoning district.
3. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

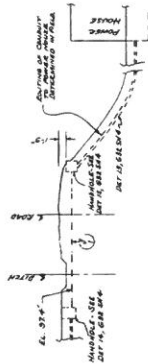
Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

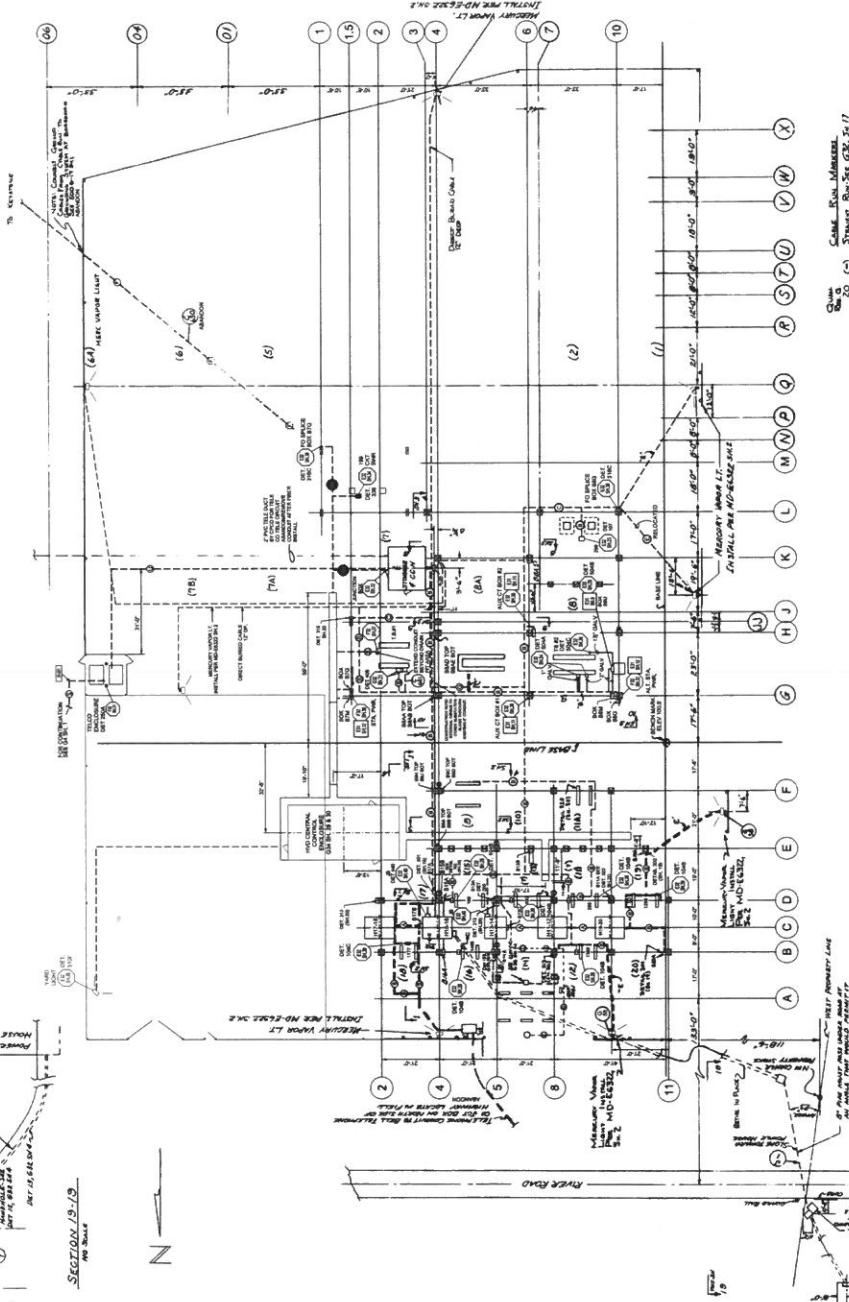
February 23, 2020-1T

541108

- FRONT EXPANSION NETWORK ENCLOSURE, NEW STRUCTURE
- COURTNEY FIBER OPTIC
- EXISTING FACILITIES - SECURITY VEHICLE AVIS
- NEW HAND LIGHT - LED DOWN



SECTION 19-13
DET. OF CONDUIT ENTRY TO HOUSE



REV	DATE	BY	CHK	DESCRIPTION
01	08/08/08	JLW		ISSUED FOR PERMITTING
02	08/08/08	JLW		ISSUED FOR CONSTRUCTION
03	08/08/08	JLW		ISSUED FOR CONSTRUCTION
04	08/08/08	JLW		ISSUED FOR CONSTRUCTION
05	08/08/08	JLW		ISSUED FOR CONSTRUCTION
06	08/08/08	JLW		ISSUED FOR CONSTRUCTION
07	08/08/08	JLW		ISSUED FOR CONSTRUCTION
08	08/08/08	JLW		ISSUED FOR CONSTRUCTION
09	08/08/08	JLW		ISSUED FOR CONSTRUCTION
10	08/08/08	JLW		ISSUED FOR CONSTRUCTION
11	08/08/08	JLW		ISSUED FOR CONSTRUCTION
12	08/08/08	JLW		ISSUED FOR CONSTRUCTION
13	08/08/08	JLW		ISSUED FOR CONSTRUCTION
14	08/08/08	JLW		ISSUED FOR CONSTRUCTION
15	08/08/08	JLW		ISSUED FOR CONSTRUCTION
16	08/08/08	JLW		ISSUED FOR CONSTRUCTION
17	08/08/08	JLW		ISSUED FOR CONSTRUCTION
18	08/08/08	JLW		ISSUED FOR CONSTRUCTION
19	08/08/08	JLW		ISSUED FOR CONSTRUCTION
20	08/08/08	JLW		ISSUED FOR CONSTRUCTION
21	08/08/08	JLW		ISSUED FOR CONSTRUCTION
22	08/08/08	JLW		ISSUED FOR CONSTRUCTION
23	08/08/08	JLW		ISSUED FOR CONSTRUCTION
24	08/08/08	JLW		ISSUED FOR CONSTRUCTION
25	08/08/08	JLW		ISSUED FOR CONSTRUCTION
26	08/08/08	JLW		ISSUED FOR CONSTRUCTION
27	08/08/08	JLW		ISSUED FOR CONSTRUCTION
28	08/08/08	JLW		ISSUED FOR CONSTRUCTION
29	08/08/08	JLW		ISSUED FOR CONSTRUCTION
30	08/08/08	JLW		ISSUED FOR CONSTRUCTION

NOTE:

- ALL VERTICAL CONDUITS TO CONDUIT BOXES OR OTHER ENCLOSURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B.
- ALL VERTICAL CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B.
- REPLACE EXISTING CONDUITS AS SHOWN.

CABLE SCHEDULE


CONDUIT	TYPE	SIZE	QUANTITY
C-1	TYPE 1	1/2"	100
C-2	TYPE 1	3/4"	100
C-3	TYPE 1	1"	100
C-4	TYPE 1	1 1/2"	100
C-5	TYPE 1	2"	100
C-6	TYPE 1	2 1/2"	100
C-7	TYPE 1	3"	100
C-8	TYPE 1	3 1/2"	100
C-9	TYPE 1	4"	100
C-10	TYPE 1	4 1/2"	100
C-11	TYPE 1	5"	100
C-12	TYPE 1	5 1/2"	100
C-13	TYPE 1	6"	100
C-14	TYPE 1	6 1/2"	100
C-15	TYPE 1	7"	100
C-16	TYPE 1	7 1/2"	100
C-17	TYPE 1	8"	100
C-18	TYPE 1	8 1/2"	100
C-19	TYPE 1	9"	100
C-20	TYPE 1	9 1/2"	100
C-21	TYPE 1	10"	100
C-22	TYPE 1	10 1/2"	100
C-23	TYPE 1	11"	100
C-24	TYPE 1	11 1/2"	100
C-25	TYPE 1	12"	100
C-26	TYPE 1	12 1/2"	100
C-27	TYPE 1	13"	100
C-28	TYPE 1	13 1/2"	100
C-29	TYPE 1	14"	100
C-30	TYPE 1	14 1/2"	100
C-31	TYPE 1	15"	100
C-32	TYPE 1	15 1/2"	100
C-33	TYPE 1	16"	100
C-34	TYPE 1	16 1/2"	100
C-35	TYPE 1	17"	100
C-36	TYPE 1	17 1/2"	100
C-37	TYPE 1	18"	100
C-38	TYPE 1	18 1/2"	100
C-39	TYPE 1	19"	100
C-40	TYPE 1	19 1/2"	100
C-41	TYPE 1	20"	100
C-42	TYPE 1	20 1/2"	100
C-43	TYPE 1	21"	100
C-44	TYPE 1	21 1/2"	100
C-45	TYPE 1	22"	100
C-46	TYPE 1	22 1/2"	100
C-47	TYPE 1	23"	100
C-48	TYPE 1	23 1/2"	100
C-49	TYPE 1	24"	100
C-50	TYPE 1	24 1/2"	100

MEASURED FROM 19.17-12 DISTALLED IN 17' 3" NORTH IN 1986
CORRECTED TO THIS DATE BY CSB

CONSUMERS ENERGY
LIGHTING, CONTROL, CONDUIT & TRENCH LAYOUT BOX KEY

NO.	DATE	DESCRIPTION	BY	APP'D	DATE
1	08/08/08	ISSUED FOR PERMITTING	JLW		
2	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
3	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
4	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
5	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
6	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
7	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
8	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
9	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
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25	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
26	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
27	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
28	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
29	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
30	08/08/08	ISSUED FOR CONSTRUCTION	JLW		

NO.	DATE	DESCRIPTION	BY	APP'D	DATE
31	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
32	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
33	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
34	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
35	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
36	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
37	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
38	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
39	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
40	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
41	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
42	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
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45	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
46	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
47	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
48	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
49	08/08/08	ISSUED FOR CONSTRUCTION	JLW		
50	08/08/08	ISSUED FOR CONSTRUCTION	JLW		

 Charter Township of Garfield Planning Department Report No. 2020-41			
Prepared:	March 4, 2020	Pages:	6
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Good News Automotive C-G Rezoning – Public Hearing		
File No.	Z-2020-01	Parcel No.	05-310-001-00
Owner:	Good News Automotive Inc.		
Applicant:	Good News Automotive Inc.		

PURPOSE OF APPLICATION:

This application requests the rezoning of one parcel at 3300 Cass Road, totaling 0.96 acres, from the I-G General Industrial zoning district to the C-G General Commercial zoning district through the zoning Map Amendment process, without restriction.

BACKGROUND:

This application was introduced at the February 12, 2020 Planning Commission meeting. This report has much of the same information as the report (PD-2020-23) for this application at that meeting. However, this PD report includes a preliminary analysis of how this application compares to the requirements for a zoning map amendment, as listed in Section 421.E Approval Criteria of Zoning Map Amendment.

Zoomed-out aerial view of the subject property (highlighted in blue)



Zoomed-in aerial view of the subject property (highlighted in blue)



SUBJECT PROPERTY:

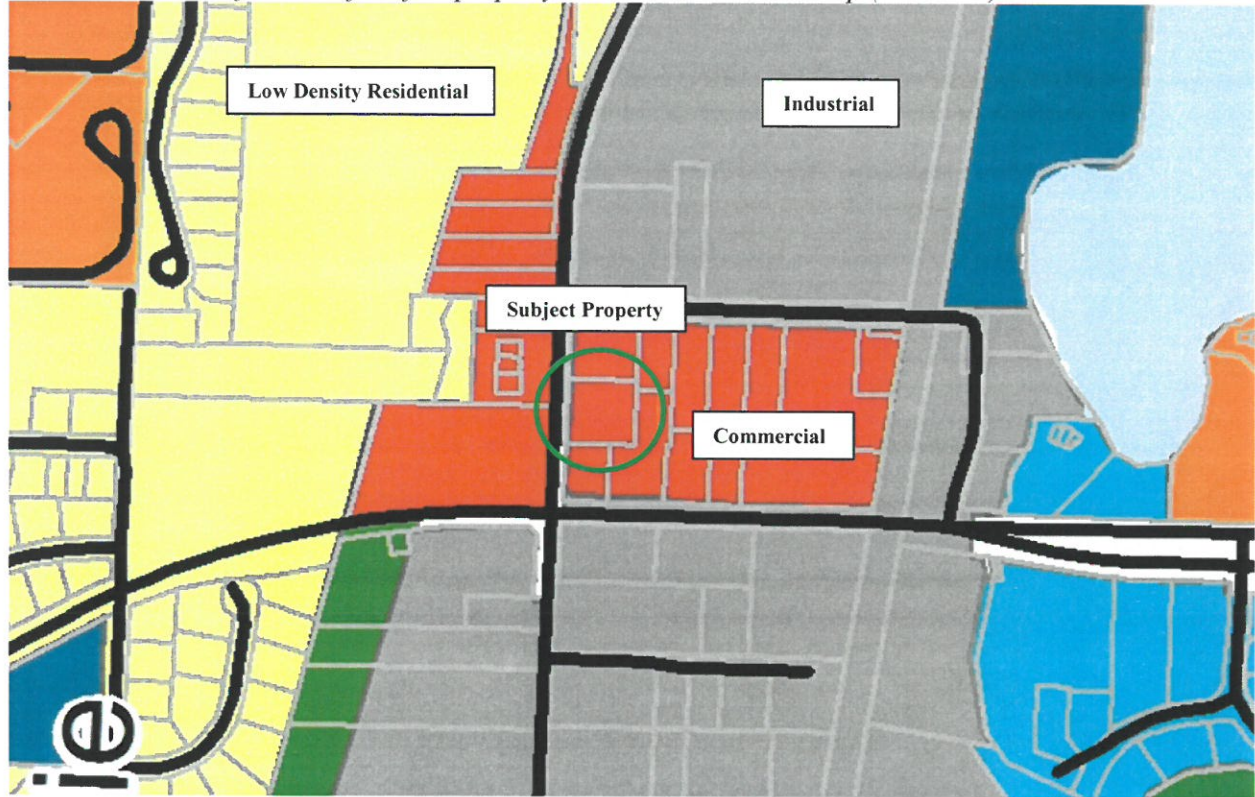
The subject property is currently home to the Good News Automotive service center. The site is on the east side of Cass Road north of the intersection with South Airport Road. This neighborhood includes a variety of industrial and commercial businesses.

MASTER PLAN CONSIDERATIONS:

A key factor in considering a rezoning request is whether the request is consistent with the Master Plan. In this case, the Master Plan shows the subject parcel with the “Commercial” designation on the Future Land Use Map. The plan has only one commercial designation which is “intended to encompass a variety of commercial zoning districts which may be appropriate on a case-by-case, property-by-property basis.” Any of the commercial zoning districts (C-L, C-P, C-H, C-G, and C-O) are potentially compatible with this designation.

The subject site is currently zoned I-G General Industrial. The requested zoning district is C-G General Commercial, a zoning designation shared by three bordering parcels and all parcels across the subject site on Cass Road. All these parcels also have a Future Land Use designation of “Commercial” as shown on the map below. Thus, the C-G district would appear to be the most appropriate commercial district for a potential rezoning of this parcel. An excerpt from the Zoning Plan for C-G is provided below.

Location and classification of subject property on Future Land Use Map (“FLUM”):

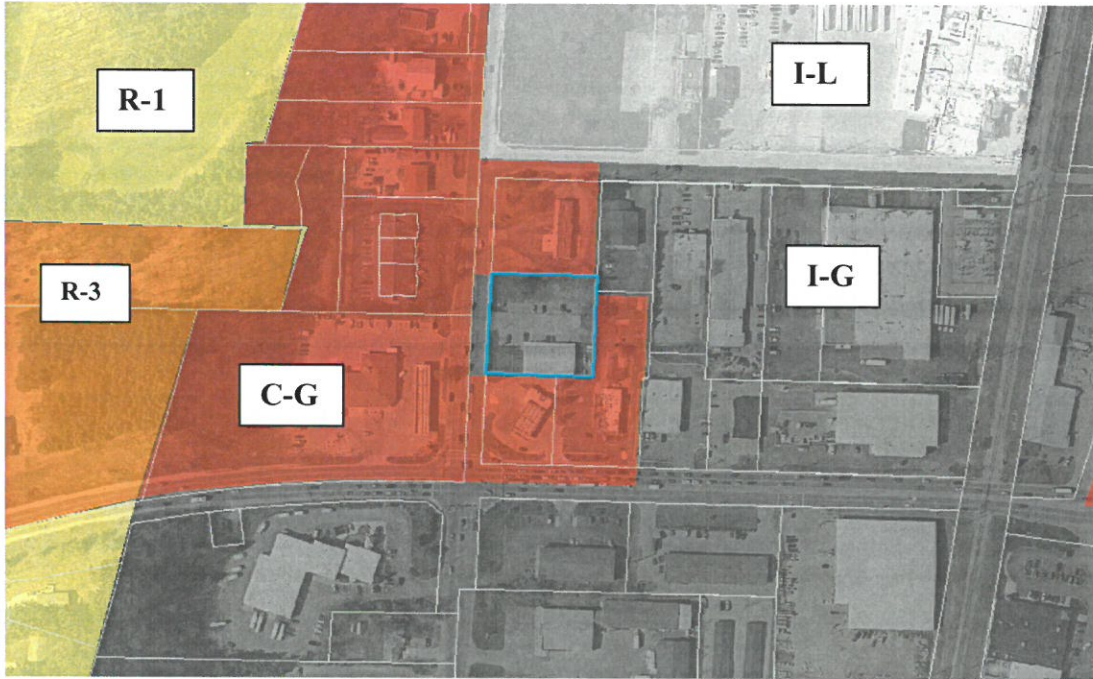


Excerpt from Zoning Plan for subject property’s FLUM classification:

Master Plan Designation	Commercial
[Requested] Zoning	C-G General Commercial
Zoning Ordinance District Intent	The C-G (General Commercial) districts provide areas for a broad range of commercial activities and services designed to cater to the needs of a large consumer base. The districts include areas of existing commercial developments as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive commercial development in and near the core areas of the Township. The C-G districts are designed to support diversification of the economic base in a manner compatible in use, character, and size to the site and the surrounding areas.
Potentially Compatible District	C-H/C-P
Considerations for Downzoning (Less Density)	The more restrictive C-H District is similar to the C-G district as it relates to allowable uses; however, it is more advanced from a planning perspective due to cross-access requirements, and service drive agreements and installations. A change to the C-H district would likely be encouraged. Discussion should continue regarding the combination of these two districts.
Considerations for Upzoning (More Density)	Due to the leniency of the C-G district, a change to a more lenient or higher density district would be limited to the C-P district.

SUBJECT AND SURROUNDING PROPERTY ZONING:

The subject property is currently zoned I-G General Industrial, shown below in dark grey. Several of the other properties in the neighborhood are also zoned as I-G. The Tyson/Sara Lee plant to the north of the subject parcel is zoned I-L Limited Industrial, shown in light grey. Three parcels surrounding the subject parcel and several parcel on the west side of Cass Road are zoned as C-G General Commercial, shown in red. Further west is a portion of the Traverse City Country Club zoned as R-1 One-Family Residential, shown in yellow, and the site of the Traverse City Church of Christ zoned R-3 Multi-Family Residential, shown in orange.



USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject site is currently occupied by the Good News Automotive service center. To the south and the east are the Grand Traverse Salad Company and McDonald’s on South Airport Road. To the west is the Holiday gas station and an office building across Cass Road. To the north is a vacant old car wash.

STAFF COMMENT:

The Township and the property owner have been in discussions regarding this rezoning since 2018 as part of the proposed project to complete the Boardman Lake Loop Trail. This parcel requires the donation of an easement for a spur trail from the Boardman Lake Loop Trail along Cass Road to South Airport Road as part of the overall project. Upon negotiation with the property owner, it was determined this would be a Township-initiated rezoning and the application fee would be waived.

Upon preliminary review of the Master Plan and Future Land Use designation for the subject site, context of zoning and future land uses of the surrounding neighborhood, and other factors, Staff is of the opinion that this Map Amendment is certainly justifiable. The Amendment is consistent with the Master Plan and generally compatible with the adjoining zoning and land uses. The proposed zoning would match that of the immediately adjacent parcels to the north, south, and across Cass Road. The parcel is 0.96 acres and has a lot width of about 194 feet, both of which meet minimum C-G dimensional standards.

This PD report corrects an error of fact from the previous PD report for this application. The current use on the site is an Auto Service business. The previous report said that an Auto Service business is allowed by right in the current I-G zoning district but not permitted in the proposed C-G district. In fact, the C-G district allows “Service and repair of motor vehicles, trailers, and boats” by right, and this is essentially a different way to describe an “Auto Service” use. No existing nonconforming situations would be created as part of this rezoning request.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

Master Plan Consistency

The master plan designation of the site is Commercial. Any of the commercial zoning districts (C-L, C-P, C-H, C-G, and C-O) are potentially compatible with this designation. The site is surrounded by several other parcels which have a master plan designation of Commercial and an existing zoning of C-G.

Adverse Impacts on Neighboring Lands

Impacts of the proposed rezoning could be from new uses that are not currently allowed on this site that would be allowed under C-G zoning. The permitted uses (by right, by special conditions, and by special use permit) for the current I-G zoning and proposed C-G zoning are included as attachments. Planning Commissioners may consider the potential adverse impacts of any of these uses on neighboring parcels regarding this rezoning request.

Suitability as Presently Zoned

The subject site is currently zoned I-G General Industrial. Cass Road generally has a mix of commercial and industrial north of South Airport Road and is mostly industrial south of South Airport. The site has direct frontage on Cass Road across from and next to several other commercial sites. Some I-G parcels in the neighborhood also have frontage on Cass Road but others do not, especially the sites along Sybrandt Road north of South Airport Road.

Changed Conditions

Any changes in conditions since the adoption of the zoning ordinance shall be considered as part of this rezoning request. The proposed easement and trail spur along Cass Road may be considered a changed condition regarding this rezoning request.

Health, Safety, and Welfare

Commissioners shall consider the application as it relates to the public health, safety, and general welfare, and how the proposal may affect any nearby historical and cultural places and areas.

Public Policy

As mentioned above, this rezoning request is related to the granting of an easement of the Boardman Lake Loop Trail along the front of this property. The Garfield Township Strategic Plan includes the goals of fostering a system of high-quality active and passive parks connected by trails and participating in local

and regional partnerships to advance community interests. The granting of this easement would help to advance these strategic goals.

Size of Tract

The size, shape, and characteristics of the tract shall be considered in relation to the affected neighboring lands. The subject site is 0.96 acres and has a lot width of about 194 feet, both of which meet minimum dimensional standards for the proposed C-G district.

Other Factors

Any other factors relevant to the application under state law may be considered by Commissioners as part of this rezoning request.

ACTION REQUESTED:

The item is placed on tonight's agenda to hold a public hearing on the rezoning application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application, then the following motion is suggested:

MOTION TO direct Staff to draft Findings of Fact for application Z-2020-01.

Attachments:

1. Permitted uses in I-G and C-G zoning districts.

SECTION 323 I-G (GENERAL MIXED USE INDUSTRIAL BUSINESS)

PURPOSE The intent of the General Mixed Use Industrial Business (I-G) District is to remain primarily industrial in nature while allowing a limited number of non-industrial uses that are envisioned as accessory or complimentary to existing and future industrial uses of the districts. Non-industrial uses of property within these districts are subject to industrial impacts from adjacent parcels including, but not limited to, noise, dust, and vibrations.

A. USES PERMITTED BY RIGHT:

- (1) Accessory Uses, including retail sales of products warehoused or produced on the premises
- (2) Animal Kennels (indoor/outdoor)
- (3) Auto Service, including:
 - (a) Mechanics
 - (b) Body Shops
 - (c) Detailing
 - (d) Tire Sales and Service
- (4) Catering Establishment
- (5) Contractor's Establishment
- (6) Data Centers and Computer Operations
- (7) Indoor Entertainment Center
- (8) Manufacturing (Light)
- (9) Reserved
- (10) Passenger Terminal
- (11) Pet Grooming Establishment
- (12) Photographic reproduction, blueprinting, or related trades and arts
- (13) Printing and publishing (i.e. newspaper)
- (14) Public Utility Structures
- (15) Public Areas, Public Parks, and Public and Private Conservation Areas
- (16) Recreational Facility
- (17) Sawmill and Lumber Processing (indoor)
- (18) Taxi Terminal and Dispatch Center
- (19) Veterinary Hospitals
- (20) Warehouses, including but not limited to:
 - (a) Storage facilities for sand, gravel, stone, and contractor's equipment
 - (b) Small warehousing establishments, with totally enclosed storage
 - (c) Wholesale Operations
 - (d) Distribution Centers
- (21) Reserved

B. USES PERMITTED BY SPECIAL CONDITIONS:

- (1) Automobile showroom (indoor sales and display only)
- (2) Central Dry Cleaning Plant provided there is no retail customer contact
- (3) Limited Residential - See § 616
- (4) Medical Marihuana Cultivation Facility subject to § 757
- (5) Outdoor storage as principal use provided that the use is within a fenced and properly screened area
- (6) Research and Design, provided there is no use of materials having high toxicity, radioactivity, or explosive properties, including but not limited to:
 - (a) Engineering
 - (b) High Tech Research
 - (c) Trade or Industrial Schools
 - (d) Business Colleges
 - (e) Industrial, Research, or Business Park
- (7) Accessory automobile sales related to principal mechanic and body shop uses, provided that no additional signage for the sale of the vehicles is permitted and that no more than three vehicles are permitted to be displayed for sale at any point.

C. USES PERMITTED BY SPECIAL USE PERMIT:

- | | |
|---|--|
| <ol style="list-style-type: none">(1) Auto Service, including:<ol style="list-style-type: none">(a) Automobile Laundries - See § 712(b) Gasoline Service Stations - See § 748(c) Oil Change Facilities(2) Institutional Uses and Structures - See § 753(3) Limited Residential - See § 616(4) Mortuary- See § 764(5) Mechanical Amusement Arcades(6) Offices(7) Parking Facility (i.e. ramp; accessory to principal use)(8) Processing Operations not otherwise identified in § 323(A) or (B)(9) Professional Studios | <ol style="list-style-type: none">(10) Retail, including:<ol style="list-style-type: none">(a) Building Supply/Equipment Store(b) Equipment Sales and Service See § 740(c) Furniture Store(d) Low-Volume Retail(e) Reserved(f) Pet Shop(g) Retail Dry Cleaning Operation (including direct retail customer pickup)(h) Automobile Dealerships(11) Truck or Rail Freight Terminal(12) WECS - See § 780(13) Wireless Communication Facilities See § 792 |
|---|--|

SECTION 320 C-G (GENERAL COMMERCIAL)

PURPOSE The C-G (General Commercial) districts provide areas for a broad range of commercial activities and services designed to cater to the needs of a large consumer base. The districts include areas of existing commercial developments as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive commercial development in and near the core areas of the township. The C-G districts are designed to support diversification of the economic base in a manner compatible in use, character, and size to the site and the surrounding areas.

A. USES PERMITTED BY RIGHT:

- | | |
|--|--|
| (1) All uses permitted by right in the C-L District | (15) Personal and Business Services |
| (2) Animal Kennels (Indoor/outdoor permitted) | (16) Pet Grooming Establishment |
| (3) Automobile Dealerships, including outdoor sale lots | (17) Reserved |
| (4) Bar, Tavern, Night Club | (18) Printing, publishing, photographic reproduction, blueprinting and related trades and arts |
| (5) Building Supply and Equipment Stores | (19) Professional Studios |
| (6) Bus Passenger Terminals and Stations | (20) Recreational Facility |
| (7) Business Colleges and Trade Schools | (21) Restaurants without drive thru |
| (8) Reserved | (22) Retail Establishments |
| (9) Hospitals | (23) Service and repair of motor vehicles, trailers, and boats |
| (10) Indoor Entertainment Center | (24) Theaters |
| (11) Mechanical amusement arcades | |
| (12) Merchandise Service Shop | |
| (13) Miniature golf, trampoline, or similar public amusement | |
| (14) Mortuaries | |

B. USES PERMITTED BY SPECIAL CONDITIONS:


- (1) All uses permitted by special use permit in the C-L District, subject to all standards and conditions specified therefore unless the use is specifically listed under § 320 (C).
- (2) Automobile Laundries provided that the site development requirements in § 712 are met
- (3) Reserved
- (4) Reserved
- (5) Hotels and Motels under the following conditions:
 - (a) Minimum Floor Area: Each guest unit shall contain not less than two hundred fifty (250) square feet of floor area.
 - (b) Minimum Lot Area: 800 square feet of lot area per guest unit, with a minimum one (1) acre lot and one hundred fifty (150) feet of road frontage:
 - (c) Maximum Lot Coverage: All buildings, including accessory buildings, shall not occupy more than twenty-five percent (25%) of the net area within property lines of land developed at any one time.
 - (d) Minimum Yard Dimensions: All buildings shall be set back no less than one hundred (100) feet from any street line, and no less than forty (40) feet from any side or rear property line.

USES PERMITTED BY SPECIAL CONDITIONS (continued)

- (e) Site Screening: The site may be enclosed by an open structure wood or wire fences along any yard line, but shall not exceed six (6) feet in height. Shrubs and/or trees may be used to screen alone or in combination with structural screens. No screening shall in any way impair safe vertical or horizontal sight distance for any moving vehicle. Screening at least four (4) feet high shall be erected to prevent headlight glare from shining on adjacent residential or agricultural property. No screening shall be closer than seventy-five (75) feet to any street line, except for headlight screening which shall not be closer than thirty (30) feet.
- (f) Swimming pools and other outdoor recreational uses, PROVIDED, such facilities are an accessory use to a permitted use within the district and are located on the same site as the principal use to which they are accessory.
- (g) Accessory uses, such as meeting rooms, tavern, bar or similar uses, PROVIDED, such accessory use shall be carried on within the same building as the principal use. A caretaker's or proprietor's residence shall be permitted as an accessory use only when the principal use is a motel, motor-hotel, or other transient tourist facility.
- (6) Open air business uses such as retail sales of plant material not grown on site, sales of lawn furniture, playground equipment and garden supplies provided non-plant materials are screened from public view.
- (7) Outdoor Sales of new and used automobiles, trailers, boats, subject to the standards of § 765
- (8) Pet shops, veterinary hospitals, provided all birds and animals are kept entirely within an enclosed building at all times and contains no boarding facilities.
- (9) Second Hand Stores provided that the use is conducted wholly within an enclosed building and involves no outdoor storage or sales
- (10) Sexually Oriented Businesses - see § 640
- (11) Wholesale activities provided they are supplemental to retail sales and account for no more than forty percent (40%) of all merchant sales
- (12) Temporary Outdoor Sales - see §766

C. USES PERMITTED BY SPECIAL USE PERMIT:

- (1) Drive-In Business or Drive-Through Business not otherwise identified above
- (2) Free Standing Automobiles Laundries on lots of less than one hundred fifty (150) feet in width
- (3) Retail Fabricators, shops and establishments which fabricate merchandise primarily for retail sale, provided that such shop or establishment shall not employ more than ten (10) persons in the fabrication process in a twenty-four (24) hour period, and provided further that sixty percent (60%) of sales on the premises are retail
- (4) Sale of Mobile Homes
- (5) Second Hand Stores involving outdoor storage or sales– See § 776
- (6) Shopping Center
- (7) WECS – – See § 780
- (8) Wireless Communication Facilities – See § 792
- (9) Planned Unit Development – See § 426
- (10) Reserved
- (11) Commercial District Housing Developments - See §725

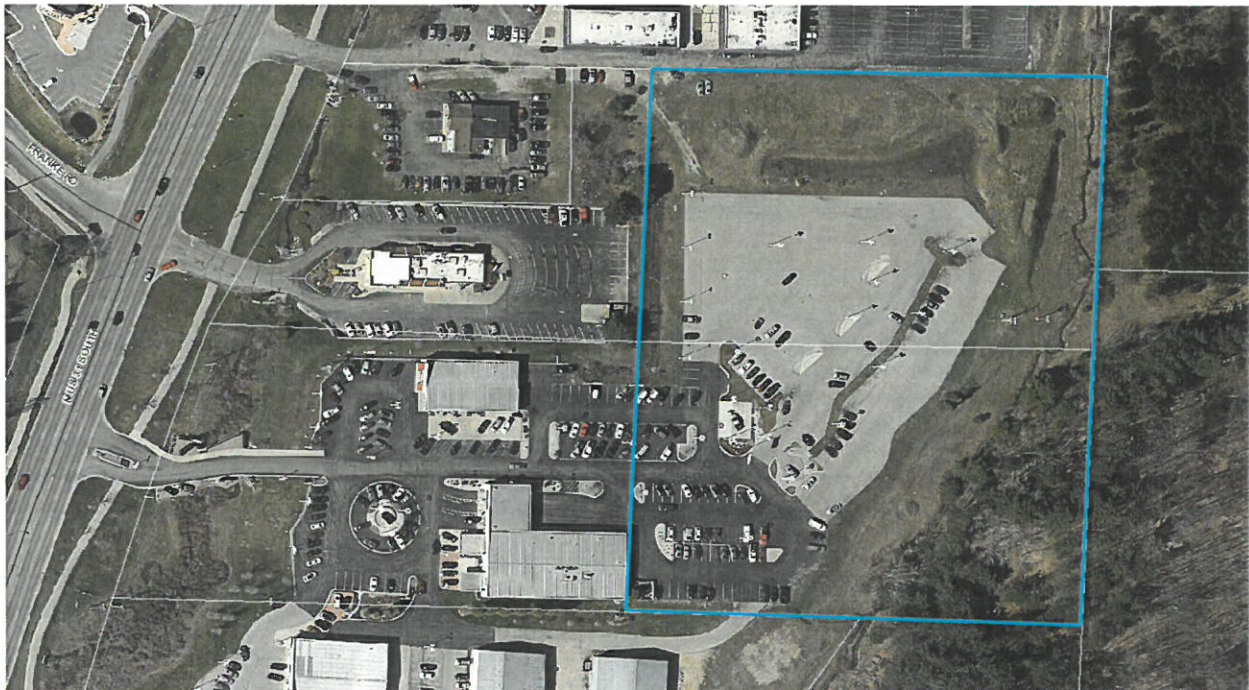
		Charter Township of Garfield	
		Planning Department Report No. 2020-44	
Prepared:	March 2, 2020	Pages:	2
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Traverse Hospitality Two Hotel Development Wetland Condition		
Applicant:	Traverse Hospitality Two, LLC		
Owner:	Marsh 31 Development, LLC		
File No.	SPR-2019-05		
Parcel No.	05-016-016-00 and 05-016-016-45		

BACKGROUND:

Last fall, Traverse Hospitality Two submitted a site plan for approximately 6.75-acre project site located at 3570 and 3654 N. US-31 South. The site was previously part of an automobile dealership.

The proposed development is for two hotels: a 4-story 40,703 square foot hotel on the southerly parcel (Tru Hotel) and a 4-story 53,124 square foot hotel on the northerly parcel (Fairfield Hotel). Hotels are a use permitted with special conditions in the C-H Highway Commercial district. The Planning Commission granted site plan approval with conditions for the project on October 9, 2019.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):

**WETLAND CONDITION:**

Condition #8 of the site plan approval stated:

- 8) Provide wetland delineation as certified by EGLE and meet wetland setbacks.

Since that approval, the applicant has supplied additional information. Please see the attached letter dated February 27, 2020 from Mansfield Land Use Consultants and its associated attachments. Attachments include a letter from Department of Environment, Great Lakes, and Energy (EGLE) dated November 7, 2019; a Parking Lot Offset Exhibit dated January 29, 2020; and the EnviroLogic Wetland Delineation Report dated November 18, 2019. Note the full wetland delineation report was not included with this report due to its size (75 pages). However, we did provide some key excerpts from that report.

STAFF COMMENTS:

Based on the additional information provided, the proposed development will meet the wetland setback requirement. The pre-application letter from EGLE first noted that the new development is to be in the footprint of an existing parking lot and would not impede any wetland. Furthermore, the EnviroLogic Wetland Delineation Report confirmed there were no wetlands along Kids Creek. As exhibited, the proposed development exceeds the 25-foot setback for wetlands.

RECOMMENDATION:

Based on review of the additional information provided by the applicant, a wetland delineation as certified by EGLE is no longer necessary. For the consideration of the Planning Commission, the following motion is offered:

THAT condition #8 of application SPR-2019-05 approved on October 9, 2019 be rescinded as additional information submitted by the applicant's representative, Mansfield Land Use Consultants in a letter dated February 27, 2020, indicates the wetland setback requirement has been met.

Attachments:

1. Letter from Mansfield Land Use Consultants dated February 27, 2020
2. Letter from Department of Environment, Great Lakes, and Energy dated November 7, 2019
3. Parking Lot Offset Exhibit dated January 29, 2020
4. EnviroLogic Wetland Delineation Report dated November 18, 2019 (excerpt)

February 27, 2020

Planning Commission
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

Dear Planning Commissioners,

On behalf of Traverse Hospitality 2, and in relation to Condition 8 of the October 9, 2019 Site Plan Approval for the proposed hotels on the US-31 properties with the property ID numbers of 28-05-016-016-00 and 28-05-016-016-45, we submit the following for your review:

- (10) copies of the EGLE preapplication meeting response letter indicating that no EGLE permit will be required for the development, as proposed.
- (10) 11"x17" copies of a Parking Lot Offset Exhibit drawing showing a 25' offset of the proposed parking lots on the east side of the development. Wetland areas would need to be present between the offset line (shown in bold red) and the proposed parking lot in order for the proposed pavement to be within the wetland setback identified by the Zoning Ordinance. This offset line falls on the upland fill area between the proposed parking lots and Kids Creek and illustrates that the proposed pavement for this project is not within 25' of any water bodies or wetland areas.
- (10) copies of a wetland delineation for the project site prepared by Envirologic, an environmental consulting and engineering firm from Kalamazoo.

Based on the information listed above, along with our discussion at the February 26, 2020 Planning Commission meeting, we feel that the intent of Site Plan Approval Condition #8 is satisfied. We graciously request that you consider the information provided to date, and deem this condition satisfied.

Thank you for your time and consideration of this request. Please let us know if you have any questions or need any additional information. I can be reached at 231-360-7021 or dusty@maaeps.com.

Sincerely,



Dusty Christensen, LLA



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY

CADILLAC



LIESL EICHLER CLARK
DIRECTOR

November 7, 2019

VIA EMAIL

Mr. Dusty Christensen
Mansfield Land Use Consultants
PO Box 4015
Traverse City, Michigan 49685

Dear Mr. Christensen:

SUBJECT: Department of Environment, Great Lakes, and Energy (EGLE)
Preapplication Meeting - Submission Number HNT-J88Y-8QFWB
Property Location: 3570 and 3654 N US-31 South, Traverse City, Michigan
T27N, R11W, Section 16; Garfield Township, Grand Traverse County

This letter is a follow-up to our October 23, 2019, preapplication meeting regarding the proposed commercial development project in Traverse City, Grand Traverse County. The purpose of a preapplication meeting is to provide you with information that will clarify the permit process, answer preliminary questions about your specific project in order to avoid delays at a later date, and to determine, if possible, the need for wetland or inland lakes and streams permits.

During this meeting we reviewed the need to obtain a permit under Part 301, Inland Lakes and Streams; and Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (Part 301 and 303, respectively). The review was based on discussion of the proposed project, the proposed site, and potential modifications to the project discussed during our meeting.

Based on EGLE's Water Resources Division (WRD) review of the project site, the following findings were made regarding the need for a permit under Part 301 and Part 303:

- A permit is not required for the project, as proposed, under Parts 301 and 303, for work occurring outside the stream and wetland. The property contains upland (= non-wetland) available for development without the need to obtain a permit under these statutes. As discussed on-site, there is wetland present in a small area off the south edge of the existing grade on the parking lot. If development is kept within the footprint of the existing filled grade, you would avoid the need to apply for an EGLE permit.
- A permit is not required to impact the wetlands within the existing stormwater basin, along the north side of the existing parking lot, per the exemption found in Section 30305(4)(b) of Part 303.
- A permit may be required for the creation of a stormwater basin within 500 feet of Kid's Creek; particularly if the basin is designed to hold water (e.g. retention basin). Contact the WRD if you have any question to whether or not a permit would be required for a stormwater basin(s), once designed.

This determination is based on the information submitted with the preapplication meeting request and other information discussed at the time of this meeting only. Provided that the proposed project and location are not altered, this determination is binding on EGLE for a period of two years from the date of this meeting.

During the review of the proposed project, WRD staff noted activities that, as currently designed, would require authorization under Part 91, Soil Erosion and Sedimentation Control, of NREPA, which is administered by Grand Traverse County. Contact the Grand Traverse Soil and Erosion Control office at 231-995-6042 for more information.

During the meeting, we also discussed a number of issues related to the project, including the following:

- Information on completing the digital Joint Permit Application form in MiWaters.
- WRD did not identify the potential presence of state or federally-listed threatened or endangered species on the site.
- Potential floodplain effects. We recommend that you discuss the floodplain regulations associated with Kid's Creek with the WRD District Floodplain Engineer - Sue Conradson at 231-429-2658 or ConradsonS2@michigan.gov

Please note that this is not a permit. The WRD cannot indicate during a preapplication meeting whether or not a permit will be issued. The WRD cannot make a decision regarding a permit until it has considered all of the information provided in the final permit application, and, in some instances, has also considered comments received in response to a public notice of the project. Therefore, the WRD cannot legally tell you whether the project will be permitted in advance of a permit application being submitted and reviewed.

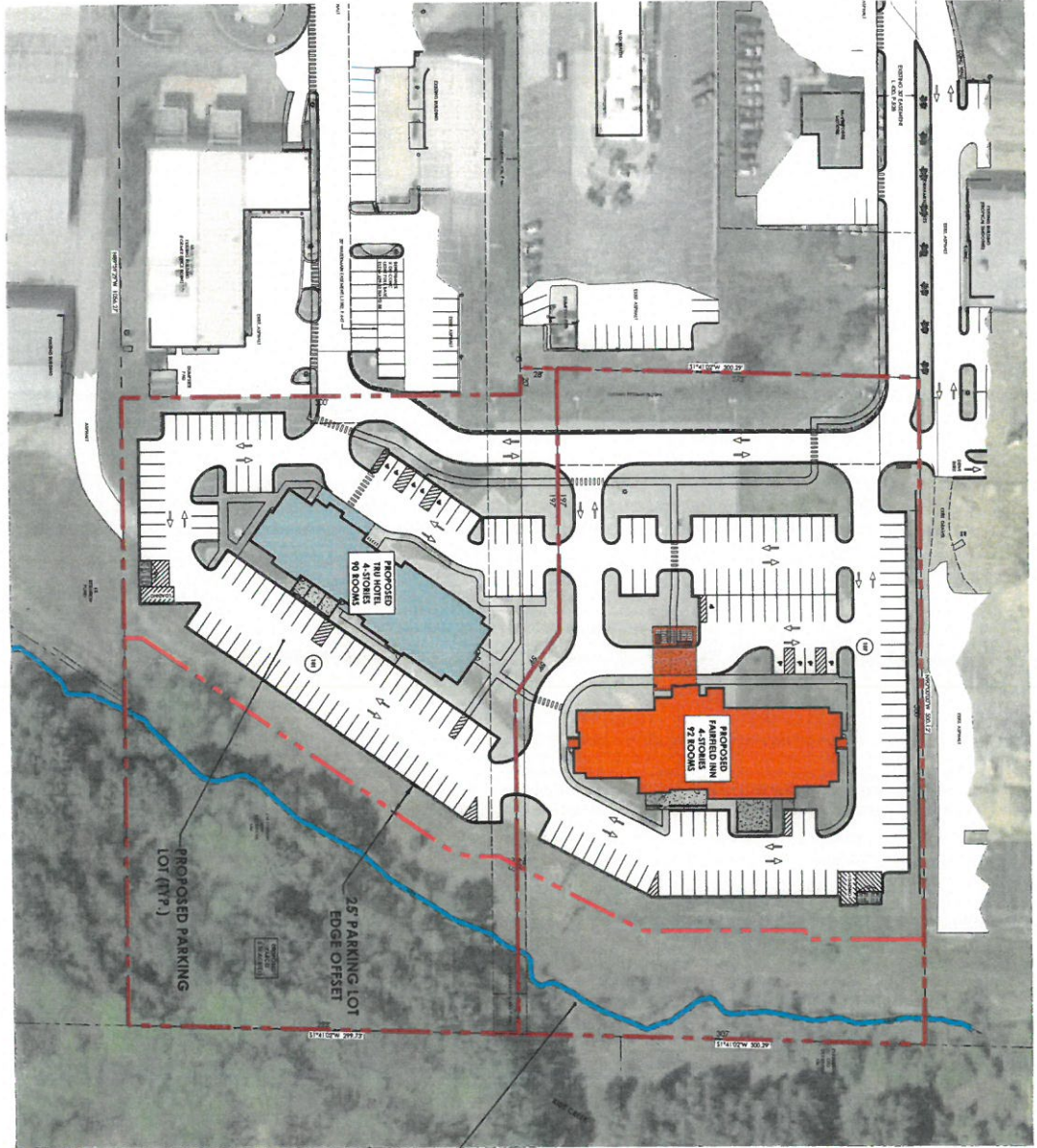
The EGLE submission number assigned to this project is HNT-J88Y-8QFWB. Please keep a record of this submission number and use it when submitting a final application or otherwise corresponding with our office on this project.

We appreciate the opportunity to meet with you to address these concerns. We have established a submission for this project, and the information submitted to date will be used to facilitate processing of the final application. If you should have follow-up questions before then, please contact me at 231-383-5952; schmidtr1@michigan.gov; or EGLE, WRD, Cadillac District Office, 120 West Chapin Street, Cadillac, MI, 49601-2158.

Sincerely,



Robyn Schmidt
Cadillac District Office
Water Resources Division



KIDS CREEK

19045
CONSTRUCTION
DATE
SCALE
PROJECT

North Michigan Hospitality Management
Proposed Tru Hotel
PARKING LOT OFFSET EXHIBIT
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

NO.	DATE	BY	CHK.	DESCRIPTION
01	07-11-10	dlm	dlm	Revised design
02	08-14-10	dlm	dlm	Revised design as provided by client
03	08-16-10	dlm	dlm	Revised design as provided by client
04	08-21-10	dlm	dlm	Revised design as provided by client with zoning requirements & new logo
05	09-04-10	dlm	dlm	Final Site Plan Submission
06	10-06-10	dlm	dlm	Revisions per Reg. Staff
07	10-17-10	dlm	dlm	Issue building footprint revisions
08	10-20-10	dlm	dlm	Construction Takeover Meeting

Mansfield
 Land Use Consultants

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com



WETLAND DELINEATION REPORT

FOR

**PROPOSED HOTELS SITE
3570 AND 3654 N US-31 SOUTH
GARFIELD TOWNSHIP, MICHIGAN 49684**

NOVEMBER 18, 2019

Prepared for:

**Mitch Irwin
c/o
Fritz Heller
Traverse Hospitality Two, LLC and
Traverse Hospitality Three, LLC
2758 W. Woodlands Dr.
Traverse City, Michigan 49685**

Prepared by:

**ENVIROLOGIC TECHNOLOGIES, INC.
2960 Interstate Parkway
Kalamazoo, Michigan 49048
(269) 342-1100**

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APPENDICES

APPENDIX A: *Figures*

Figure 1. Location Map

Figure 2. Wetland Map

APPENDIX B: *Soil Survey Information and Precipitation Data*

APPENDIX C: *Published Wetland Maps*

APPENDIX D: *Historic Aerial Photographs*

APPENDIX E: *Site Topography*

APPENDIX F: *Site Photographs*

APPENDIX G: *Wetland Data Sheets*

APPENDIX H: *EGLE Pre-application meeting letter (November 7, 2019)*



INTRODUCTION

Envirologic prepared this report at the request of Mitch Irwin of Traverse Hospitality Two, LLC and Traverse Hospitality Three, LLC for a portion (totaling approximately 6.7 acres) of two adjoining parcels (parcel IDs 28-05-016-016-45 and 28-05-016-016-00) along the east side of US-31 South in Garfield Township, Michigan (Appendix A, Figure 1). The purpose of the investigation was to conduct a wetland delineation to identify and mark the boundary of potential wetlands at the property. Traverse Hospitality Two, LLC and Traverse Hospitality Three, LLC propose to purchase the property and construct two hotels with associated parking.

This report details the process of identifying potential wetlands within the project boundaries based on Envirologic's understanding of the *1987 US Army Corps of Engineers Wetland Manual* and the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region* (January 2012). These manuals are used by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) for determining wetland boundaries in the majority of the state including the project area. The methodology consisted of the characterization of hydric soils, hydrology, and hydrophytic vegetation.

WETLAND REGULATORY DEFINITIONS

Wetlands require the presence of hydric soils, wetland hydrology, and hydrophytic vegetation.

Hydric soils

Hydric soil indicators, many developed specifically for wetland delineation purposes, are described in the U.S. Army Corps of Engineers' Interim Regional Supplement as well as the *Field Indicators of Hydric Soils in the United States* (USDA 2018). These soils are saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the root zone, thereby influencing the vegetation the area can support. These conditions must generally persist for a minimum of 21 days when soil temperature in the root zone is above freezing. These anaerobic conditions result in permanent changes in soil color and chemistry that are used to distinguish between hydric and non-hydric soils.

Soil colors are described using the Munsell notation system (Munsell 1994), which involves separate notations for hue, value, and chroma. The number for the hue indicates the relation to the colors of the spectrum (e.g., red, yellow, blue, etc.) and is followed by the letter abbreviation for the color. The value notation indicates the relative lightness and ranges from 0 for black to 10

for white. The chroma number indicates the saturation or departure from neutral for the same lightness. Hydric soils can also be identified by iron and manganese reduction or translocation, sulfate reduction, and organic matter accumulation. Soil texture can also influence the hydric soil indicators relied upon for making a determination of the hydric status of a soil. Certain hydric soil indicators may be combined if all requirements of the individual indicators are met except for thickness.

Wetland hydrology

Wetland hydrology is the presence of water for a significant duration at or near the surface within the root zone during the growing season. Wetland hydrology provides evidence that a site has a continuing wetland hydrologic regime and that hydric soils and vegetation are not remnants of historical hydrologic conditions. Hydrology is controlled by seasonal and long-term precipitation patterns, local geology, and topography. Some hydrology indicators are seasonal, such as visual observations of flooding, ponding, or shallow water tables. The four main groups of hydrology indicators include (1) observation of surface water or saturated soils, (2) evidence of recent inundation, (3) evidence of current or recent soil saturation, and (4) evidence from other site conditions or data. These main groups are further separated into primary and secondary categories. Examples of primary indicators include inundation, soil saturation or a water table within the upper 12 inches of the soil, and water-stained leaves. Secondary indicators include drainage patterns, dry season water table between 12 and 24 inches of the soil surface, geomorphic position, and shallow aquitard.

Wetland vegetation

Wetland or hydrophytic vegetation is defined as those plants occurring in areas where inundation or soil saturation is permanent or of sufficient frequency and duration such that it exerts an influence on the presence of plants species. The wetland indicator status assigned to a plant species is based on the estimated probability that each species occurs in wetland conditions within a given region. The indicator categories are:

OBL = obligate wetland, occurs almost always (estimated probability 99%) under natural conditions in wetlands

FACW = facultative wetland, usually occurs in wetlands (estimated probability 67–99%) but occasionally found in non-wetlands

FAC = facultative, equally likely to occur in wetlands or non-wetlands (estimated probability 34–66%)

FACU = facultative upland, usually occurs in non-wetlands (estimated probability 67–99%)
but occasionally found on wetlands (estimated probability 1–33%)
NI = no indicator, insufficient information available to determine an indicator status

Three vegetation strata (i.e., trees, saplings and shrubs, and herbaceous) are normally characterized, although not all three are always present at a wetland. The percentage of the dominant wetland species in each of the vegetation strata in the sample area determines the hydrophytic status of the plant community.

The four indicators of the presence of hydrophytic vegetation used in a stepwise fashion are: the Rapid Test for Hydrophytic Vegetation, the Dominance Test, the Prevalence Test, and Morphological Adaptions. The first three indicators rely upon some measure of the absolute percent cover of the dominant species in all three vegetation strata. Dominant species are those that account for more than 50% of the total coverage in a given stratum plus any species that, by itself, accounts for at least 20% of the total coverage. If the requirements are not met, the next indicator test is applied.

INITIAL DATA SOURCES

Prior to conducting the fieldwork, the property was examined using various sources, which include:

- U.S. Geologic Survey's (USGS) Grawn, Michigan, topographic quadrangle map
- U.S. Department of Agriculture's (USDA) Web Soil Survey (accessed October 29, 2019; <http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>)
- U.S. Fish and Wildlife Service's (USFWS) National Wetland Inventory (NWI) map (accessed October 29, 2019; <http://www.fws.gov/wetlands/Data/Mapper.html>)
- EGLE Final Wetland Inventory map (accessed October 29, 2019; printed November 8, 2019; <http://www.mcgi.state.mi.us/wetlands/mapBasic.aspx>)
- Various digital aerial photographs from 1938 to 2016 provided by Environmental Data Resources, Inc. (EDR)
- Topographic survey provided by Mansfield Land Use Consultants

The soil survey and USGS topographic maps do not show wetland symbols on or along the project site, but a branch of Kids Creek flows north across the east side of the property. According to the USDA Soil Survey, the soils within the subject property are classified as Edwards muck (0–1%

slopes), which is a hydric soil (Appendix B). A variety of other non-hydric soils, mostly loamy sands or gravelly loamy sands, are also depicted in the surrounding area. Meteorology data for the area from the National Oceanic and Atmospheric Administration show that year-to-date precipitation has been about 12 inches above average (Appendix B).

The EGLE final wetland inventory map is consistent with the NWI map. The NWI map shows Kids Creek as the only waterbody or wetland on the property. A forested wetland approximately 150 feet north of the subject property along Kids Creek is the nearest wetland. The NWI Map and EGLE Final Wetland Inventory Maps for the project area are provided in Appendix C.

The 1938 aerial photo shows the property as all agricultural or vacant land with a straight section of Kids Creek crossing through the middle of the property. At the time of the 1954 aerial, that stretch of Kids Creek appears as a bright stripe while another bright stripe further east on the property was also apparent. It appears that the alignment of Kids Creek was rerouted at that time to its present position. No significant changes to the property were evident on the 1964 aerial, and no inundated or saturated soil was apparent. The 1977 aerial shows some drier soil at the northwest part of the property and another dry area between the old and new alignment of Kids Creek with a few trees at the southeast corner of the property on the east bank of the creek. No significant changes to the property were evident on the 1987 aerial photo, which shows sparse vegetation on the drier areas and longer grassy vegetation elsewhere on the property with no inundated or saturated soil visible on the property. No inundation or saturation was visible on the property in the 1993 aerial photo, but by 2006 the current parking lot was clearly present. Township records show this lot was constructed in 1998 or 1999. The remaining aerial photos from 2009, 2012 and 2016 show no apparent inundation, and there was no clear indication of saturated soil although taller, thicker vegetation could obscure some in the storm water basins west and north of the parking lot. These historic aerial photos are provided in Appendix D.

Mansfield Land Use Consultants provided a plan sheet showing the existing site features and topographic contours (Appendix E).

FIELD INVESTIGATION

Brad Yocum, Project Biologist for Envirologic, visited the property on November 6 and 7, 2019, to identify and delineate wetlands within or along the project boundaries. Weather conditions consisted of mostly cloudy to cloudy skies with lake effect snow falling and temperatures around 30°F. Approximately 1 inch of snow fell on November 6 and melted on paved surfaces. Snow on

November 7 was more sporadic and not as heavy. Precipitation in the area for the year-to-date has been about 12 inches above average.

A general reconnaissance of the property showed most of the site is covered by an asphalt-paved parking lot that slopes gently to the north. Two storm water retention basins are situated to the west and north of the parking lot. Off-site catch basins direct storm water runoff to the south end of the west basin. A plastic culvert at the north end of the west basin serves as an emergency overflow to the north basin, which also receives runoff from two catch basins at the north end of the parking lot.

The retention basin north of the parking lot did not have any standing water. No obvious signs of soil saturation were observed, but most of the soils observed has some water present due to recent rain events prior to the site visit and the snow melt during the site visit. A few small trees and saplings were scattered around the edge of the bottom of the basin except for the west end, which was dominated by sandbar willow (*Salix interior*) shrubs. The east end (plot 1) had a water table at 14 inches deep and a thin dark surface soil but did not have hydrophytic vegetation. Upland and facultative upland plants were observed around the slope down into the basin (plot 2) and clearly did not have hydrology to support a wetland as no water table was observed in the narrow excavation that extended to 24 inches deep. The west end of the north retention basin (plot 3) met the criteria for a wetland where the water table was only 8 inches deep and the sandbar willows dominated with a soil exhibiting sandy redox conditions in the gravelly loamy sand. Wetland delineation flagging was tied to shrubs around the plot 3 boundary.

The retention basin west of the parking lot is approximately 5 feet across at the bottom and 240 feet long with an approximate depth of 5 feet. Both plots in this basin (plots 4 and 5) showed evidence of hydrophytic vegetation but did not have wetland hydrology because the water table was 25 inches deep and the sandy soil did not exhibit hydric indicators. A plastic culvert for emergency overflow connects the north end of this basin to the west end of the north basin but is barely below the level of the gravel drive between the two basins.

The elevation drops approximately 5 feet from the parking lot to a relatively flat terrace that parallels the creek. The banks of Kids Creek are about 1 foot tall and steeply cut to undercut. Substrate in the creek bed is mostly sand with some gravel and cobble in faster stretches, and a few portions had small patches of bare clay. Kids Creek is a cold-water stream as evidenced by

several post-spawn salmon and dead salmon that were observed in the water. The part of the property east of Kids Creek is a moderate to steep slope uphill and is entirely forested.

Two areas between the parking lot were investigated further based on a quick visual assessment of the vegetation. The first area had scattered stems of scouring rush (*Equisetum hyemale*) among some grasses and shrubs in a slight depression off of the southeast part of the parking lot (plot 6). Despite the scouring rush, there was no water or saturation to a depth of 24 inches and no indication of hydric soil. Plot 7, on the west bank of Kids Creek, was slightly higher than plot 6 and only 7 feet from the creek, but despite some Trembling aspen (*Populus tremuloides*) tree cover and scouring rush it did not have any wetland indicators. Another plot (plot 8) was placed along the west bank of Kids Creek east of the topsoil pile between the north retention basin and the creek. This area was also on the terrace between the parking lot grade and the creek and had some taller herbaceous vegetation with scattered sandbar willow and a few other shrubs. However, the soil and hydrology did not indicate the presence of a wetland. Despite being only 10 to 12 feet from the creek, no saturated soil or water table was encountered in the soil excavation that extended to a depth of 25 inches. The dark surface layer of loamy sand extended to a depth of 20 inches but did not meet the criteria for a thick dark surface.

The wetland boundary was delineated using neon pink plastic flagging bearing the printed words "wetland delineation." The position of each wetland delineation flag was recorded using a Trimble Global Positioning System (GPS) unit. Not all wetland types within the wetland boundary were delineated, but wetland classification according to the *Classification of Wetlands and Deepwater Habitats of the United States System* (Cowardin et al 1979) was noted. Appendix F contains photos of representative areas from the project area taken during the site inspection. These photos are intended only to provide visual information about the project area and the wetland features. The wetland data sheets completed during the site inspection provide written documentation supporting the designation as wetland and are presented in Appendix G.

CONCLUSION

The NWI Map and EGLE Final Wetland Inventory Maps do not indicate the presence of wetlands within the project area beyond the presence of Kids Creek. Contrary to the soil survey, no muck soil was identified at the surface or in any of the narrow soil excavations at any depth investigated. The identification of conditions indicating the presence of a wetland is limited to a small area on the west end of the northern storm water retention basin (Figure 2, Appendix A). The wetland is limited to an area of 830 square feet and is the result of the construction of the

northern storm water retention basin. The wetland is dominated by sandbar willow, a common shrub of storm water basins. The storm water basin does not have a surface water connection to Kids Creek except for an emergency overflow near the top of the bank on the east end of the basin. This limited wetland area inside the man-made storm water retention basin does not represent quality habitat for wetland related flora and fauna.

Dusty Christensen of Mansfield Land Use Consultants attended a pre-application meeting with Robyn Schmidt of EGLE on October 23, 2019, to discuss the proposed project. A copy of the EGLE pre-application response letter (dated November 7, 2019) letter summarizing that meeting is provided in Appendix H. As detailed in the letter, the small wetland area at the west end of the northern storm water retention basin is not regulated by EGLE despite being within 500 feet of Kids Creek under the exemption in Section 30305(4)(b), which states:

“(4) A wetland that is incidentally created as a result of 1 or more of the following activities is not subject to regulation under this part:

(b) Construction and operation of a water treatment pond, lagoon, or storm water facility in compliance with the requirements of state or federal water pollution control laws.”

Because the wetland is not regulated by EGLE, a permit from EGLE is not required for any disturbance to the wetland, including placement of any fill in the wetland.

The EGLE pre-application letter also states that a wetland is “present in a small area off the south edge of the existing grade on the parking lot.” As detailed in this report, this area was investigated during Envirologic’s delineation, and no wetland was identified based on the available data. Additionally, this area in the southeast corner is not within 25 feet of the edge of the existing grade of the parking lot which will be maintained as part of the proposed development.



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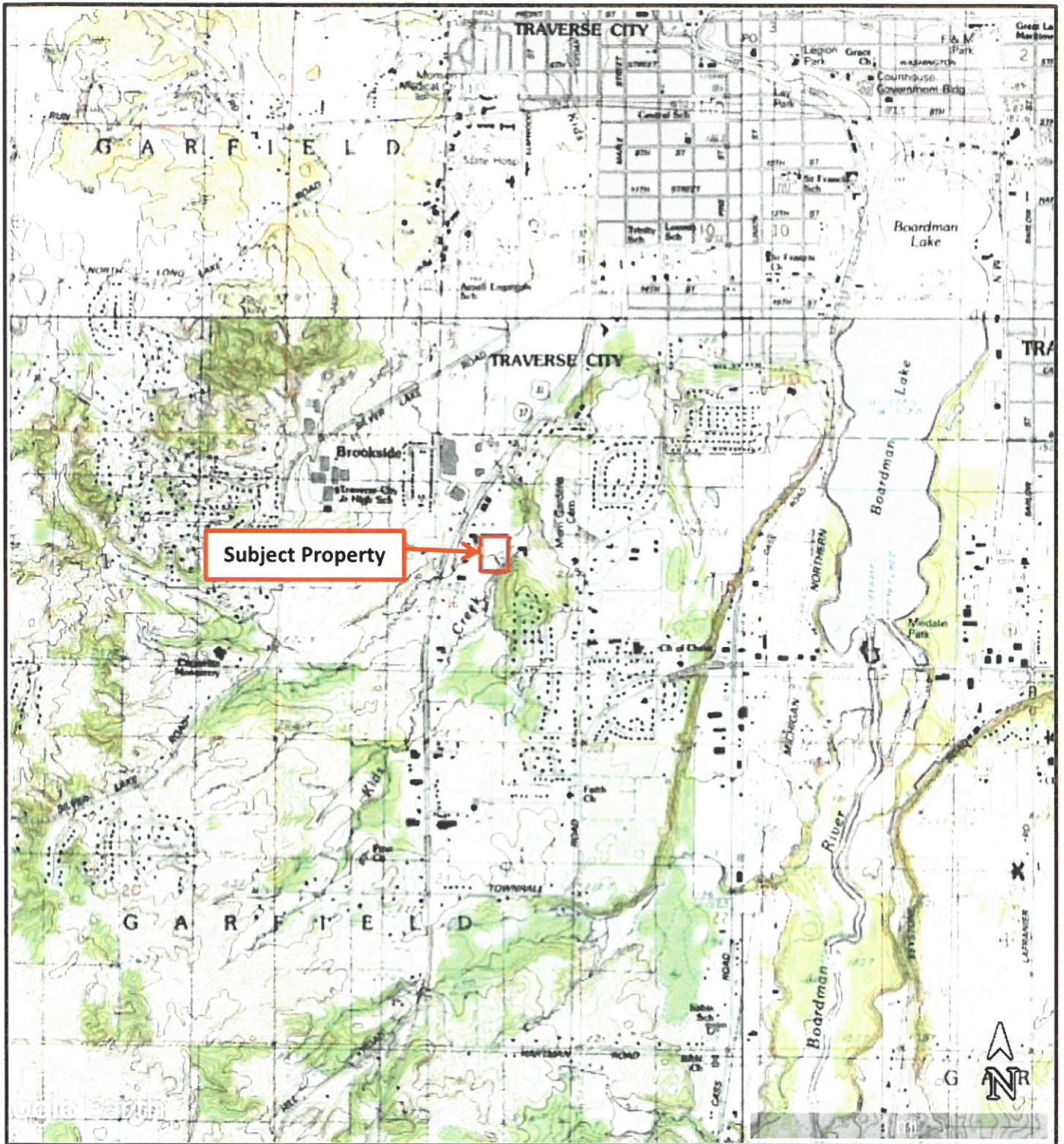
APPENDIX A

FIGURES

Figure 1. Location Map

Figure 2. Wetland Map






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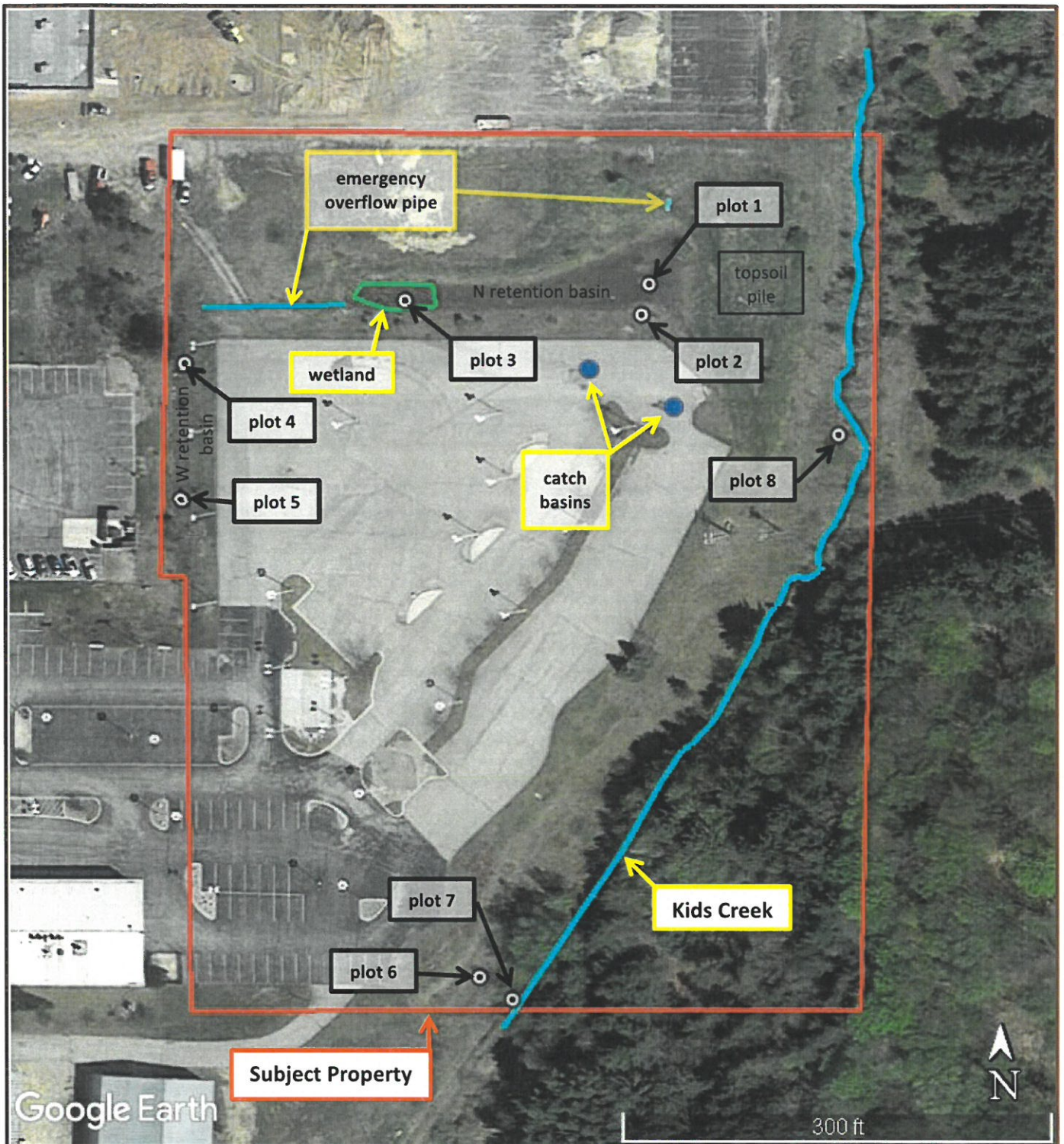
2960 Interstate Parkway | Kalamazoo, MI 49048
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PROPOSED HOTEL SITE
3570 AND 3654 N US-31 SOUTH
Garfield Twp., Michigan
LOCATION MAP

T27N R11W SEC 16

Project No.
190207

1




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PROPOSED HOTEL SITE
3570 AND 3654 N US-31 SOUTH
Garfield Twp., Michigan
SITE MAP

T27N R11W SEC 16

Project No.
190207

2

 Charter Township of Garfield Planning Department Report No. 2020-40			
Prepared:	March 4, 2020	Pages:	6
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Chick-fil-A Restaurant Special Use Permit-Introduction		
File No.	SUP-2020-01	Parcel No.	05-016-002-10 & 05-016-007-10
Applicant/Owner:	Chick-fil-A Restaurants		
Agent:	Progressive AE		

BRIEF OVERVIEW:

- 3980 US-31 South
- 1.80 acres in area
- Existing Flap Jack Restaurant and parking area
- C-G General Commercial District

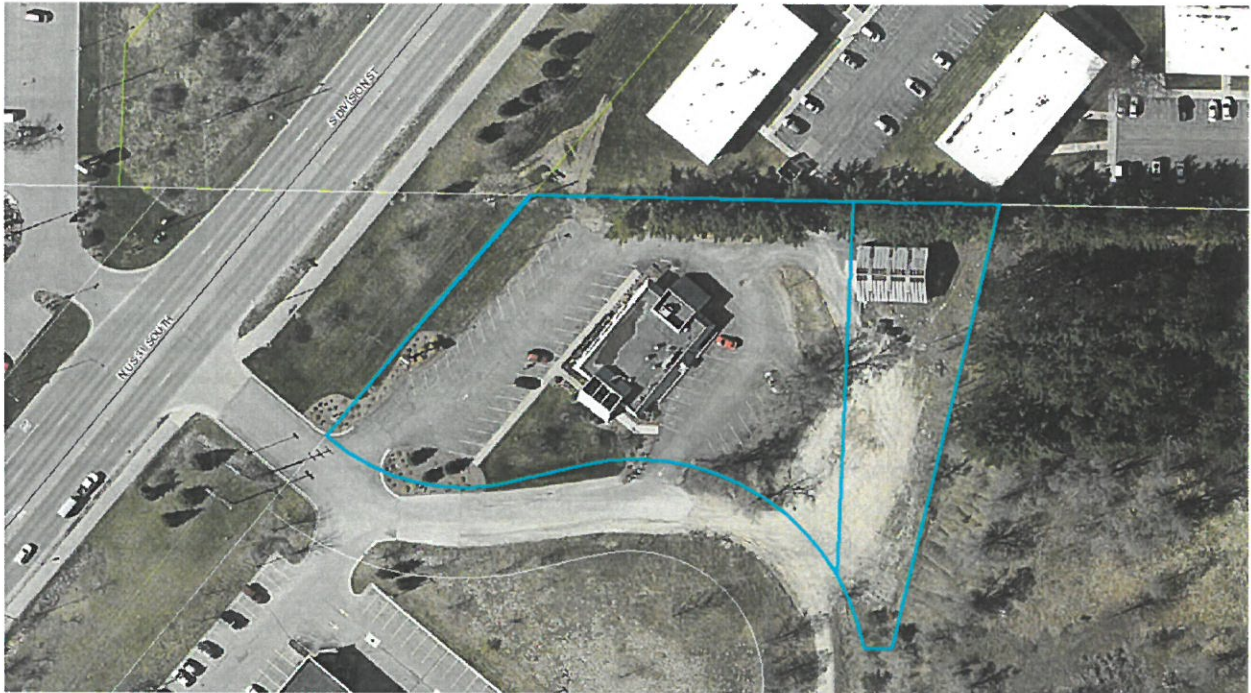
PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for a proposed 4,998-square foot restaurant with seating for 110 inside the building and 12 outside at the patio. There will be parking for 71 vehicles and a drive-through window that could accommodate 32 cars. Drive-through businesses uses are permitted via Special Use Permit in the C-G General Commercial District.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress:

For ingress and egress from US-31 South, the existing driveway serving the subject site is proposed to be improved to a 30-foot wide paved drive with curb and gutter. To address concerns of left turns out onto US-31 South, the applicant is currently working with Walgreens to gain approval to post a sign directing

US-31 southbound traffic to the existing signal at the Walgreens/Meijer entrances. A traffic impact study has been prepared by Progressive AE. The study will be reviewed by the Township Engineer.

Drive-Through

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.

The site plan shows a drive-through service lane around the north side of the parcel that widens to two lanes for orders and then is reduced back to one lane for pick up. Service will be provided to customers in automobiles with a small outdoor dining area; all other proposed activities will be inside the building.

A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.

The drive-through lane at the front of the site measures 60 feet from the right-of-way line of US-31.

Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.

There are no intersecting streets within 50 feet.

Pedestrian areas shall be clearly marked and maintained.

The site plan shows internal sidewalks around the front and sides of the building with a designated connection to the pathway on US-31.

Only one (1) ingress-egress drive shall be allowed per major thoroughfare.

There is only one existing ingress-egress drive for this site onto US-31. The applicant is currently working with Walgreens to gain approval to post a sign directing US-31 southbound traffic to the existing signal at the Walgreens/Meijer entrances.

All parking requirements shall comply with Article 5 of this Ordinance.

Restaurants with a drive through have a minimum parking requirement of 1 space for each 150 square feet of floor area and a maximum parking requirement of 1 space for each 75 square feet of floor area. The proposed building will be 4,998 square feet, giving a minimum of 33 spaces and a maximum of 67 spaces. There will be 71 total parking spaces, including 3 barrier-free, as well as 1 loading space.

The proposed parking area does encroach on the adjacent parcel. The Ordinance requires that all off-street parking spaces shall be located on the lot occupied by the building, structure or use for which the parking spaces are required. To address this deficiency, the number of parking spaces need to be reduced and reconfigured.

As the proposed number of parking spaces exceeds the maximum requirement, reducing the number of spaces is possible.

A no-build buffer strip, not less than ten (10) feet in width, is required on the perimeter of every parking area, drive, shared drive, alley, or loading area that is not located adjacent to a building. This buffer strip shall be used for landscaping, screening or drainage. A portion of the buffer strip on the south side of the parcel is impeded by parking spaces. Reducing and reconfiguring the number of parking spaces will help to provide an area for the buffer strip.

Bicycle parking shall be provided at the rate of 2 spaces per 25 motor vehicle spaces. There are 4 bike racks proposed which will give space for 8 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long. An off-hours loading zone is provided within the parking lot.

Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.

The parcel width is 210 feet.

Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).

There is one drive-through service lane around the north side of the parcel that widens to two lanes for orders and then is reduced back to one lane for pick up. 32 queuing spaces are proposed.

Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.

This requirement shall be enforced as needed as part of the operation of the site.

The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

The applicant shall provide information demonstrating that this requirement is met.

Pedestrian Circulation:

An existing bike path, the Mall Trail, traverses across the frontage of the site along US-31. A 5-foot wide sidewalk is proposed from the Mall Trail to front of the restaurant building.

Dumpster Enclosure:

The proposed dumpster enclosure is located on the northeast corner of the parking lot.

Landscaping:

Landscaping buffers are required along each of the property lines of the subject site:

- Type “B” buffer is required to the south. Type “B” buffer includes ground cover as specified in Section 530.J, plus two large trees, one medium or small tree, and four shrubs per one hundred (100) linear feet of greenspace area. The Type “B” Buffer area shall be a minimum width of ten (10) feet. This requirement has not been met. Reducing and reconfiguring the number of parking spaces will provide an area for the landscaping buffer.
- Type “D” buffer is required along the north property line and west along the state highway. The Type “D” buffer includes ground cover as specified in Section 530.J, plus four large trees, three medium or small trees, and three evergreen or coniferous trees per one hundred (100) linear feet of greenspace area. The Type “D” buffer area shall be a minimum width of twenty (20) feet. As proposed, this requirement has been adjusted to accommodate underground utilities along north and west property lines. As proposed, the requirement along the north property line has also been adjusted to create a hedge row of evergreens as a strong buffer between the proposed apartments and the proposed restaurant.
- Type “C” buffer is required to the east. The type “C” buffer requires ground cover as specified in Section 530.J, plus three large trees, three medium or small trees, one evergreen or coniferous tree per one hundred (100) linear feet of greenspace area. The Type “C” Buffer area shall be a minimum width of ten (10) feet. In lieu of the required buffer to the east, a screening fence is proposed along the east lot line. Where a screen of non-living material is used, at least one (1) shrub or vine shall be planted on the neighboring residential property side for each ten (10) lineal feet of screen.

The Planning Commission may waive or adjust any landscaping requirement in whole or in part provided that certain conditions exist upon the site. In this case, the topography of the site and construction of a retaining wall are conditions that can be addressed by the proposed screening fence.

Snow Storage:

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified.

Lighting:

A photometric plan and lighting fixture specifications have been submitted. The plan and specifications meet ordinance requirements. The Impact Statement notes that “lighting will be full cut off fixtures that meet the Township photometric standards.” Details of the lighting fixtures shall be noted on the plan to ensure that the fixtures have full cut-off and shall not direct light upwards.

Sewer and Water:

Proposed sewer and water utility improvements will be reviewed by the Township Engineer.

Stormwater:

Parking lot stormwater runoff will be managed completely onsite via an underground detention system. The proposed stormwater improvements will be reviewed by the Township Engineer.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT application SUP-2020-01, submitted by Progressive AE, for a Special Use Permit for a drive-through restaurant at Parcels 05-016-002-10 & 05-016-007-10, BE ACCEPTED, and BE SCHEDULED for a public hearing for the April 8, 2020 Regular Planning Commission meeting, subject to the following additional information being provided by the applicant:

1. Stormwater, water/sewer utilities, and the traffic impact study will be reviewed by the Township Engineer.
2. The proposed parking area encroaches onto the adjacent parcel. All off-street parking spaces shall be located on the lot occupied by the building, structure or use for which the parking spaces are required. To address this deficiency, the number of parking spaces need to be reduced and reconfigured.
3. A no-build buffer strip, not less than ten (10) feet in width, shall be required on the perimeter of every parking area, drive, shared drive, alley, or loading area that is not located adjacent to a building. This buffer strip shall be used for landscaping, screening or drainage. A portion of the buffer strip on the south side of the parcel is impeded by parking spaces. Reducing and reconfiguring the number of parking spaces will help to provide an area for the buffer strip.
4. In lieu of the required buffer to the east, a screening fence is proposed along the east lot line. Where a screen of non-living material is used, at least one (1) shrub or vine shall be planted on the neighboring residential property side for each ten (10) lineal feet of screen.
5. Details of the lighting fixtures shall be noted on the plan to ensure that the fixtures have full cut-off and shall not direct light upwards.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Project Narrative and Impact Statement dated February 11, 2020
2. 11" X 17" plan set provided by applicant dated March 3, 2020

Chick-fil-A Special Land Use Application
3938 US 31 South, Traverse City, MI
Garfield Township
02/11/2020

Prepared by : Cheryl Scales, PE
Progressive AE
1811 4 Mile Road, NE
Grand Rapids, MI

Impact Statement

Chick-fil-A is applying for a special land use permit to construct a restaurant with a drive thru. The current site is the Flap Jack Shack restaurant with no drive thru. Our plans are to remove this facility and its associated site parking and rebuild a new Chick-fil-A restaurant with a drive thru in its place.

The site is currently about 50% developed as a restaurant with parking and retaining walls. There are sever grade changes on the site that will require major land grading and a new retaining wall. There are several mature pine trees along the north boundary that will need to be removed to relocate a public sanitary sewer around the site. These trees will be replaced with a new evergreen buffer. There are no creeks or streams on the site. We intend to work with the existing topography as much as possible. The site and the drive will need to be lowered and retaining walls added to allow for our development. We will keep the existing natural features in the front of the site and the back of the site.

The proposed Chick-fil-A restaurant will be 4,998 square feet and will seat 110 inside the building and 12 outside at the patio. There will be parking for 71 cars and a drive thru window that could accommodate 32 cars. We will have 15-20 employees at our busiest shift, and we will employ approximately 75-100 new employees total. Our site plan includes an order canopy that is stand-alone in the drive thru lane, a stand-alone pickup canopy over the pick-up window, and a separate trash dumpster with a full masonry enclosure. A pedestrian connection to the non-motorized trail along US-31 is proposed. Our driveway will connect with the shared driveway to the south. This driveway provides access to the parcel behind us and the Walgreens adjacent to the site.

This project will be constructed in one phase. We anticipate that construction will begin after the Flap Jack restaurant has enough time to find an alternate location and relocate their business – all of which would happen after we finish the municipal approval processes.

The site is currently serviced with public water and sanitary sewer. The sanitary sewer line runs diagonally across the site. We worked with Garfield Township DPW and Township Engineer to find an appropriate path to reroute this sewer around our site. This will be a public sewer relocation.

Currently the site does not have any storm water detention or sediment filtration. Discharge is overland and via a storm sewer that is connected to MDOT storm sewer. We are adding underground storm water detention and storm water sediment filtration with a controlled discharge to the MDOT storm sewer. This will require MDOT approval. Our site will have a soil erosion and sediment control plan that will meet the Township, County and State standards. Methods for soil erosion control include silt

fencing, catch basin sediment filters and sumps, timely seeding and mulching, and dust control/truck runoff pads.

We do not anticipate any increases in effluent discharge to the air or an increase in noise level. All lighting will be full cut off fixtures.

The proposed use is consistent with other commercial uses along US-31. Across the street is a long-standing Burger King Restaurant with a drive thru, a Meijer Store with a drive thru, and adjacent to the south is a Walgreens with a drive thru. Several banks and other fast food restaurants along the street also have drive thru windows

Lighting will be full cut off fixtures that meet the Township photometric standards.

Deed Restrictions:

- Utility Easement to Garfield Township, Liber 393, page 867 for public sanitary sewer. This will be relocated, and a new easement put in place.
- Underground Utilities Liber 427, page 314 open easement with no clear legal description. We think this is part of the sewer that runs on a diagonal across the site, and that it will be relocated as part of the sewer reroute.
- Highway easement to State of Michigan Liber 162, page 210. No billboard or sign or advertising device can be added within a distance of 300 feet from the center line of the road. We propose to install our sign a little closer to the road (to match others along this corridor) so we intend to ask for a variance of this requirement.
- Highway Easement Liber 164, Page 21 granting a strip of land 200 feet wide for ROW.
- There is an access easement across the drive (Parcel C) that allows this site to access the site.
- We intend to combine parcel A and B as part of this development.

Basis of Determination

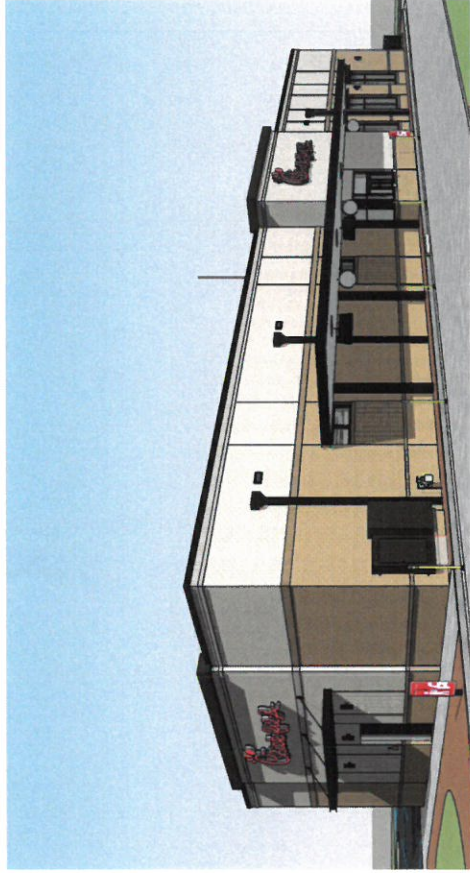
1. General Standards (outlined in Section 8.1.3)
Chick fil-A will construct a facility that will be harmonious, compatible, and appropriate in appearance with the existing character of development in this area. Our building, as shown on the attached building elevations, is similar in color and style to the surrounding developments. The site changes will be an improvement by adding a new building, parking and landscape. It is a redevelopment of an existing restaurant site. Our drive thru stacking is at the back of the site, and there is ample space for the stacking so that it will not interfere with public streets. The drive thru along the north side will have a new evergreen screening to buffer the adjacent apartments parking area. Chick-fil-A will improve this site at its own costs and will not cause any additional requirements for public facility upgrades.
2. Specific Standards
Chick-fil-A agrees to meet all the specific standards as outlined in Section 8.1.3 of the Zoning Ordinance.



PERSPECTIVE VIEW - REAR LEFT



PERSPECTIVE VIEW - FRONT RIGHT



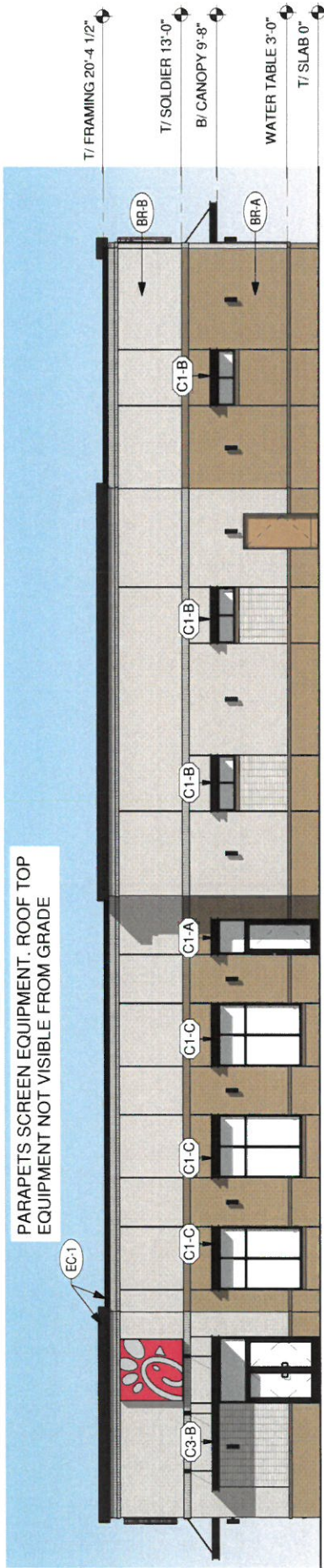
PERSPECTIVE VIEW - REAR RIGHT

PERSPECTIVE VIEWS

04523, TRAVERSE CITY FSU, 3980 US 31 SOUTH, TRAVERSE CITY, MI 49684

02/10/2020





EXTERIOR ELEVATION - WEST
1" = 10'-0"



EXTERIOR ELEVATION - EAST
1" = 10'-0"

EXTERIOR ELEVATIONS

04523, TRAVERSE CITY FSU, 3980 US 31 SOUTH, TRAVERSE CITY, MI 49684

02/10/2020



ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-A	Exterior Canopy	1	3'-9"	1'-0"	0"	Yes
C1-B	Exterior Canopy	3	5'-8"	1'-0"	0"	No
C1-C	Exterior Canopy	7	6'-4"	1'-0"	0"	No
C3-B	Exterior Canopy	1	15'-0"	3'-6"	2'-4"	Yes
C4-E	Exterior Canopy	1	6'-6"	4'-0"	2'-4"	Yes
C4-F	Exterior Canopy	1	6'-6"	4'-0"	2'-4"	No
C4-M	Exterior Canopy	1	17'-4"	4'-0"	2'-4"	No
Grand total		15				

APPROVED BRICK ALTERNATES

(SEE NATIONAL ACCOUNTS LIST FOR CONTACT INFORMATION)

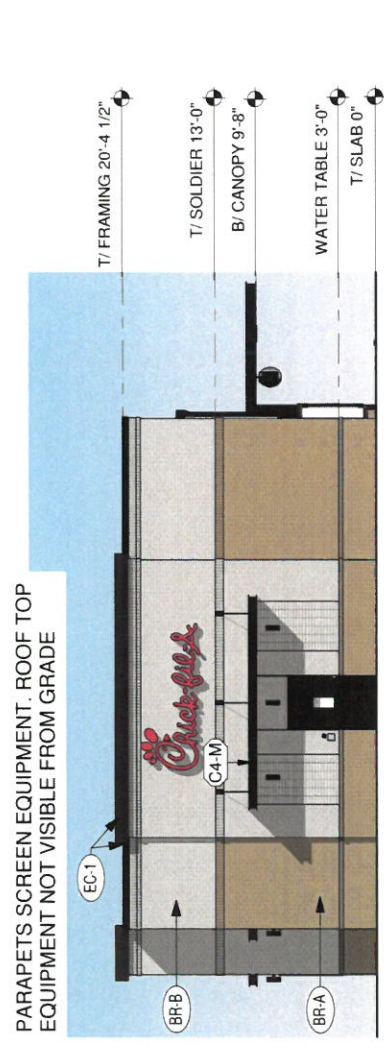
FINISH	MANUFACTURER	MODEL	MORTAR	PLANT LOCATION
BR-A	PRIMAVERA BRICK			
BR-B	ALBION BRICK	PALOMA GRAY	MARQUEE SAND TAN	ELLEN, TX
BR-C	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SACRAMENTO, CA
BR-D	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-E	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-F	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-G	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-H	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-I	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-J	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-K	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-L	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-M	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-N	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-O	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-P	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-Q	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-R	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-S	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-T	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-U	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-V	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-W	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-X	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-Y	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL
BR-Z	ALBION BRICK	SPANISH MOSS	MARQUEE SAND TAN	SPRINGFIELD, IL

EXTERIOR FINISHES

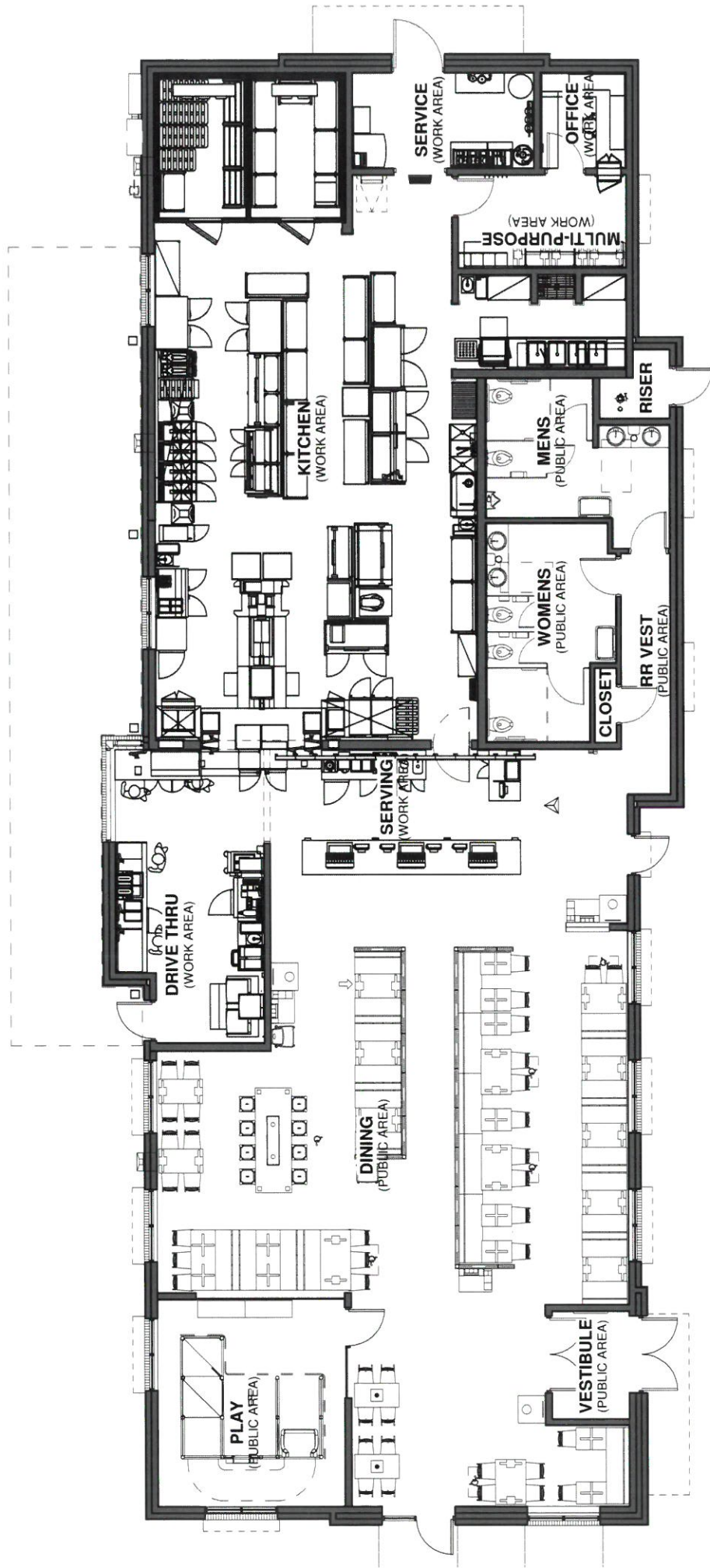
 <p>BR-B BRICK VENEER SEE ABOVE "APPROVED BRICK ALTERNATES"</p>	 <p>EC-1 PREFINISHED METAL COPING COLOR: DARK BRONZE</p>
 <p>BR-A BRICK VENEER SEE ABOVE "APPROVED BRICK ALTERNATES"</p>	 <p>PT-9 EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS</p>
 <p>SI-1 STOREFRONT COLOR: DARK BRONZE</p>	



EXTERIOR ELEVATION - NORTH
1" = 10'-0"



EXTERIOR ELEVATION - SOUTH
1" = 10'-0"



LOOR PLAN
8" = 1'-0"

FLOOR PLAN

04523, TRAVERSE CITY FSU, 3980 US 31 SOUTH, TRAVERSE CITY, MI 49684

02/10/2020



NORTH





Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30346-2998

progressive|ae
 1811 4 Mile Rd NE, Grand Rapids, MI 49525
 616-361-2664 OFFICE 616-361-1837 FAX
 www.progressiveae.com

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CHICK-FIL-A
 TRAVERSE CITY FSU
 3980 US 31 SOUTH
 TRAVERSE CITY, MI 49684

FSU# 04523
 PROJECT SCHEDULE DATE
 DESIGNATION

DATE: 10/15/10
 DRAWN BY: JENNIFER SANTILLI
 CHECKED BY: JENNIFER SANTILLI
 PROJECT: CHICK-FIL-A
 SHEET NO.: 102
 COVER SHEET

Chick-fil-A
TRAVERSE CITY FSU
STORE #4523
SITE PLAN DOCUMENTS
 3980 US-31 SOUTH
 GARFIELD TOWNSHIP
 GRAND TRAVERSE COUNTY
 STATE OF MICHIGAN



INDEX

DESCRIPTION	SHEET NO.
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ALTMANSPE LAND TITLE SURVEY	1-1.0
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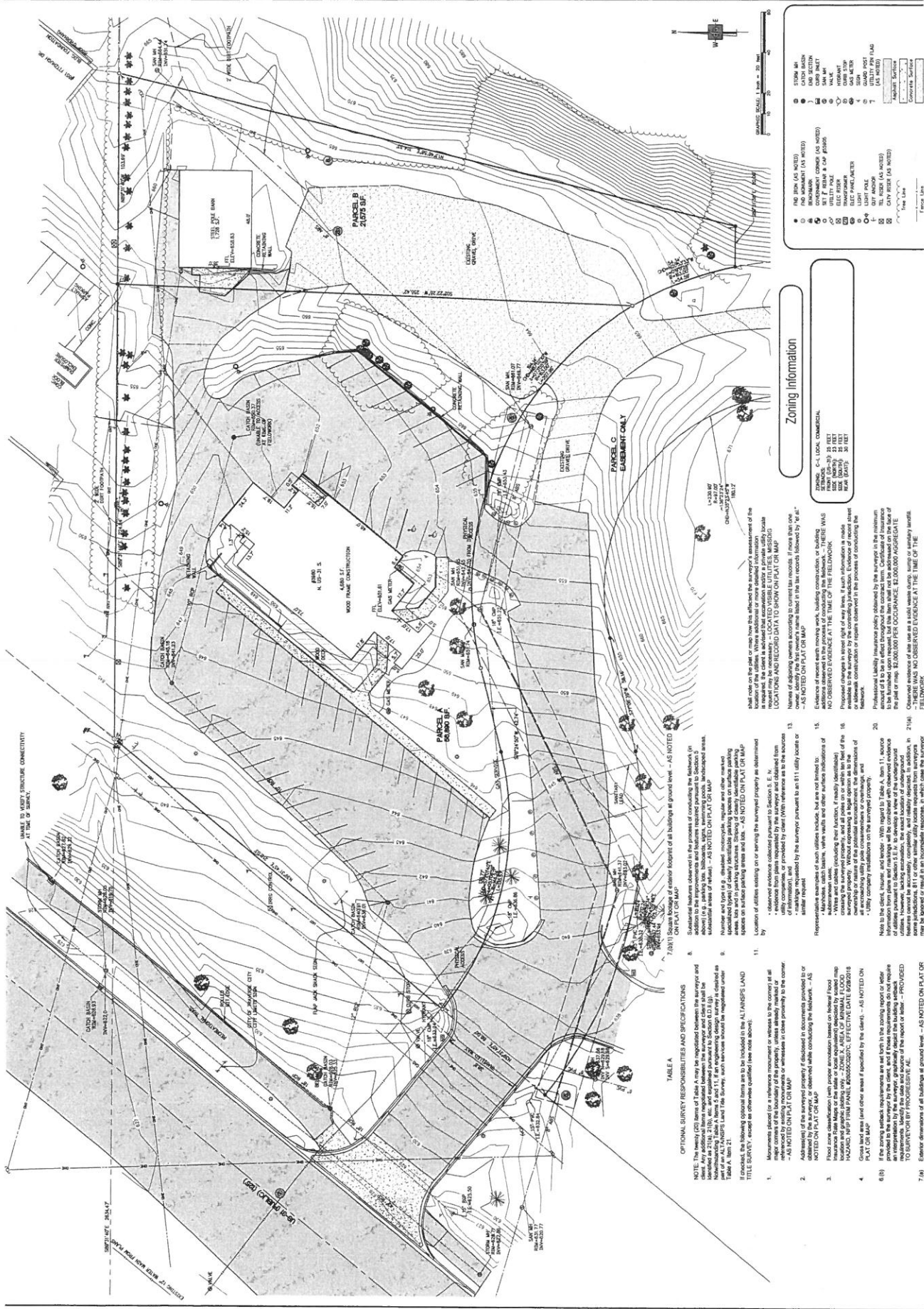
LOCATION MAP
 NOT TO SCALE
 LATITUDE N 43°06'59"
 LONGITUDE W 86°12'24"

PREPARED FOR:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON RD.
 ATLANTA, GA 30346-2998
 CONTACT: JENNIFER SANTILLI
 PHONE: (404) 530-1949
 EMAIL: jenn.santilli@cfacorp.com

PREPARED BY:
progressive|ae
 1811 4 Mile Rd NE, Grand Rapids, MI 49525
 616-361-2664 OFFICE 616-361-1837 FAX
 CONTACT: CHERYL SCALES, P.E.
 EMAIL: scalesc@progressiveae.com



Know what's below.
 Call before you dig.



Zoning Information

ZONING: C-1, LOCAL COMMERCIAL

MIN. LOT AREA: 25,000 SQ FT
MIN. LOT DEPTH: 25 FEET
MIN. LOT WIDTH: 25 FEET
MIN. FRONT YARD SETBACK: 25 FEET
MIN. SIDE YARD SETBACK: 25 FEET

- Small note on the plat or map how this affected the surveyor's assessment of the location of the easement or other structure on a parcel with a local street or utility easement. - AS NOTED ON PLAT OR MAP
- Location and record data to which the plat or map is based. - AS NOTED ON PLAT OR MAP
- Professional liability insurance policy obtained by the surveyor in the minimum amount of \$1 million per occurrence, not less than \$1 million per occurrence, not less than \$1 million aggregate. - AS NOTED ON PLAT OR MAP
1. Measurements plotted for a reference monument or witness to the corner at all corners. - AS NOTED ON PLAT OR MAP
 2. Adversely affected property if discovered in documents provided to or received by a client. - AS NOTED ON PLAT OR MAP
 3. Floor area determination (with proper annotation based on federal flood hazard and graphic labels only). - ZONING: A. AREA OF FLOOD HAZARD, NP19 FEMA PANEL #2005050207C; EFFECTIVE DATE: 8/29/2015
 4. Green belt area and other areas if specified by the client. - AS NOTED ON PLAT OR MAP
- Note to the client, issuer, and record with respect to Table A, Item 11. Source of information used in this survey was derived from aerial photography and other information provided to the surveyor. - AS NOTED ON PLAT OR MAP
- Note to the client, issuer, and record with respect to Table A, Item 11. Source of information used in this survey was derived from aerial photography and other information provided to the surveyor. - AS NOTED ON PLAT OR MAP
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TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

NOTE: The surveyor shall be held responsible for the accuracy and completeness of the data provided by the client. Any additional items requested between the surveyor and client shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP

- 7.(M) Square footage of exterior footprint of all buildings at ground level. - AS NOTED ON PLAT OR MAP
8. Subterranean features observed in the process of conducting the survey (in addition to those shown on the plat or map) shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP
9. Number and types of ground, subsurface, and other monuments observed. - AS NOTED ON PLAT OR MAP
10. Location of utility lines and other structures shown on the plat or map shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP
11. Location of utility lines or other structures shown on the plat or map shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP
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15. Representative features of such utilities include, but are not limited to: underground utilities, water valves and other traffic indications of utility lines, and other utility lines shown on the plat or map.
16. Representations of such utilities shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP
17. Utility company information on the plat or map shall be noted on the plat or map. - AS NOTED ON PLAT OR MAP
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7.(H) Exterior dimensions of all buildings at ground level. - AS NOTED ON PLAT OR MAP



Chick-fil-A
 5200 Burlington Road
 Atlanta, GA 30349-2988

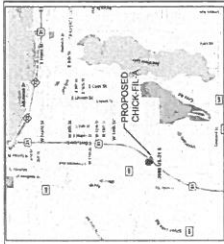
progressive | de
 1811 4 Mile Rd N.E., Grand Rapids, MI 49535
 616.361.7664 OFFICE, 616.361.1483 FAX
 www.progressivede.com



CHICK-FIL-A
 3980 US 31 SOUTH
 TRAVERSE CITY, MI 49684

FSU# 04523
 DESIGN / ARCHITECTURE / DEMOLITION

PROJECT NUMBER: FSU# 04523
 DATE: 08/11/2015
 DRAWING TITLE: SITE DEMOLITION PLAN
 DRAWING NUMBER: C-1.1
 SHEET NUMBER: C-1.1

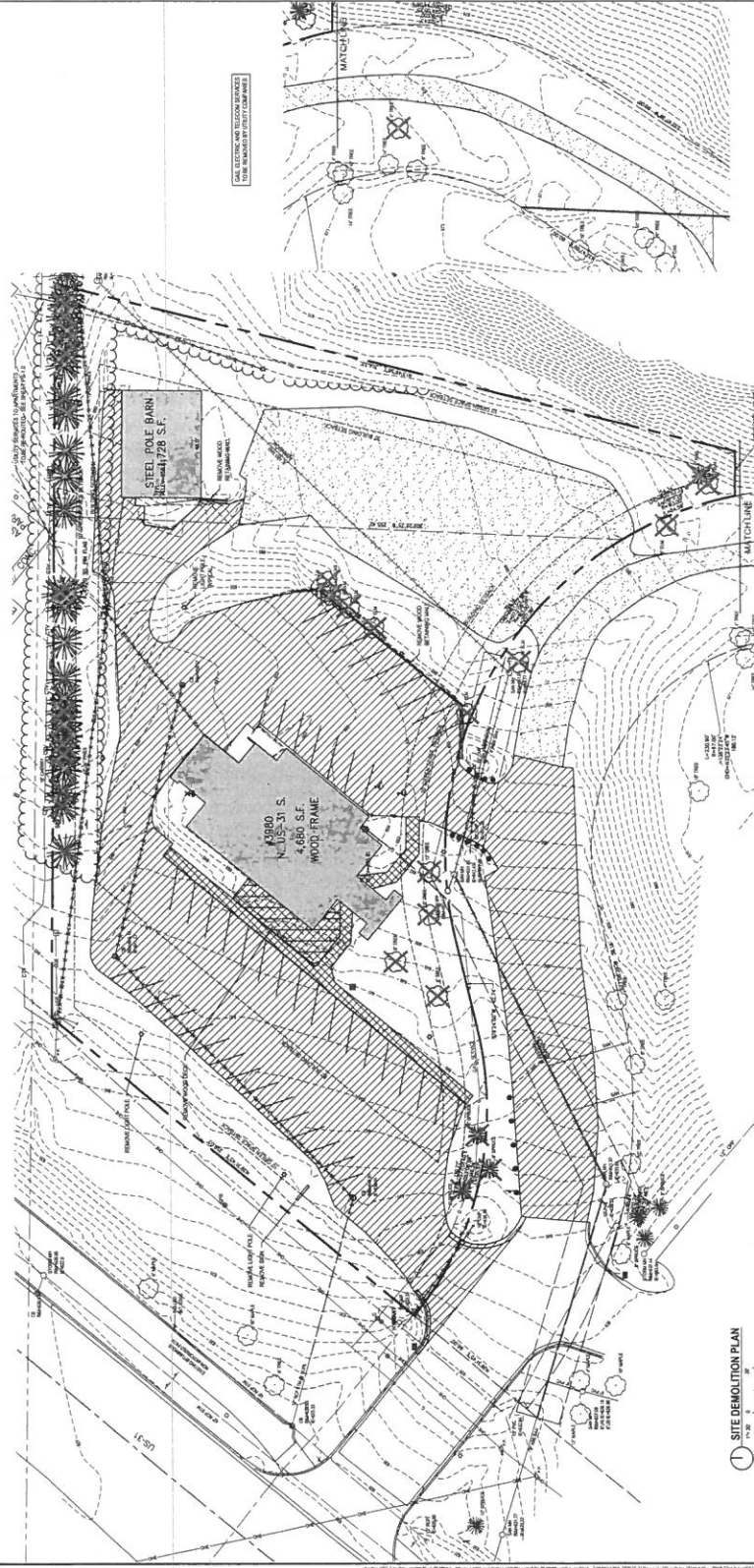


VICINITY MAP
 NO SCALE

DEMOLITION LEGEND

- REINFORCED CONCRETE
 - CONCRETE
 - GRAVEL
 - BUILDING FOUNDATION REMAINS
 - TREE REMOVAL
 - REMOVAL UTILITY LINE
 - REMOVAL UTILITY LINE
- ALL ITEMS IN RED TO BE REMOVED UNLESS OTHERWISE NOTED

- SITE CLEARING AND DEMOLITION NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING THE SITE AND DEMOLITION AREAS.
 2. NO REMOVAL SHALL BE PERMITTED UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED.
 3. ALL REMOVAL SHALL BE PERMITTED WITHIN THE TIME FRAME ESTABLISHED IN THE PERMITTING AND APPROVALS.
 4. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
 5. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
 6. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UTILITIES AND STRUCTURES.
 8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE AND SHALL BE REMOVED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
 9. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
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 14. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.
 15. ALL REMOVAL SHALL BE PERMITTED TO THE DEPTH OF 18 INCHES UNLESS OTHERWISE NOTED.



1 SITE DEMOLITION PLAN
 1/8" = 1'-0"



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 5200 Buffington Road
 Atlanta, Georgia
 30349-3098

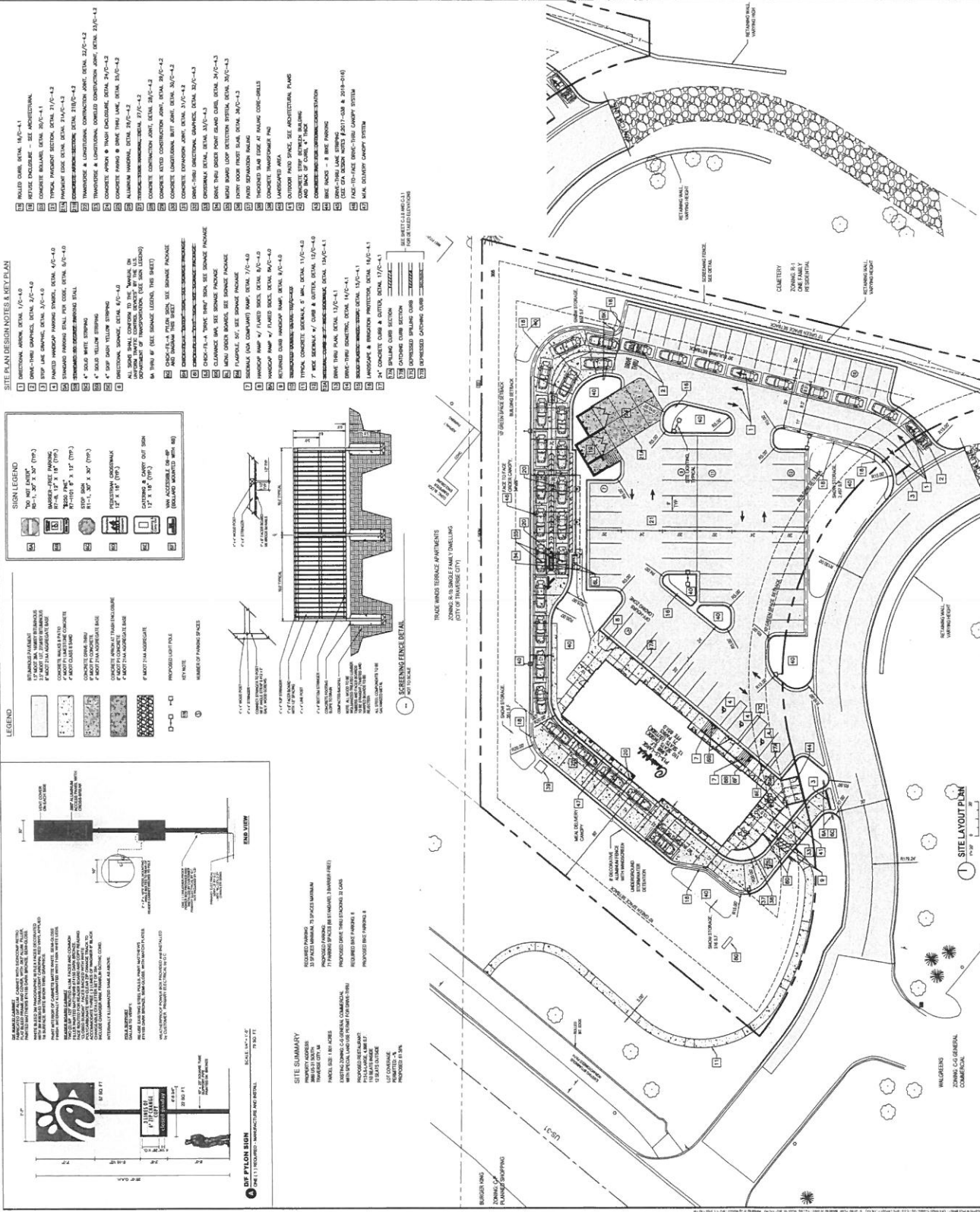
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 www.progressivedp.com

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 TRVERSE CITY FSU

CHICK-FIL-A
 TRVERSE CITY FSU
 3980 US 31 SOUTH
 TRVERSE CITY, MI 49684

FSU# 04523
 REVISIONS SCHEDULE
 DATE REVISION DESCRIPTION

C-2-0
 SITE LAYOUT PLAN
 PREPARED BY: [Name]
 DATE: [Date]

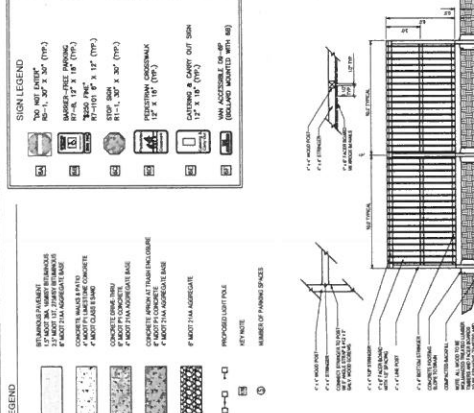


- SIGN LEGEND**
- 1 1' x 1' 6" SIGN
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SITE PLAN DESIGN NOTES & KEY PLAN

1. MILLED CURB, DETAIL 14/C-1.1
2. RETIRED ENCLOSURE - SEE ARCHITECTURAL
3. CONCRETE BANDS, DETAIL 24/C-1.1
4. TYPICAL PAVEMENT DETAIL, DETAIL 17/C-1.1
5. CONCRETE BANDS DETAIL, DETAIL 17/C-1.1
6. CONCRETE BANDS DETAIL, DETAIL 17/C-1.1
7. CONCRETE BANDS DETAIL, DETAIL 17/C-1.1
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9. CONCRETE BANDS DETAIL, DETAIL 17/C-1.1
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50. CONCRETE BANDS DETAIL, DETAIL 17/C-1.1



TRADE WINDOW APARTMENTS
 ZONING IS A SINGLE-FAMILY DWELLING
 (CITY OF TRAVERSE CITY)

SCREEN ENCE DETAIL

1. 1" X 6" SIGN
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TRADE WINDOW APARTMENTS
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 5200 Buffington Road
 Atlanta, GA 30349-2998

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 616.381.2864 OFFICE 616.381.1483 FAX
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CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES AND STRUCTURES.



CHICK-FIL-A
 TRAVERSE CITY FSU
 3980 US 31 SOUTH
 TRAVERSE CITY, MI 49684

FSU# 04523
 REVISIONS: 01/04/18
 DATE: 01/04/18

PROJECT NUMBER: FSU# 04523
DATE: 01/04/18
PROJECT LOCATION: TRAVERSE CITY, MI
PROJECT TYPE: COMMERCIAL
PROJECT OWNER: CHICK-FIL-A
PROJECT CONTACT: [REDACTED]
PROJECT PHONE: [REDACTED]
PROJECT FAX: [REDACTED]
PROJECT EMAIL: [REDACTED]
PROJECT ADDRESS: [REDACTED]
PROJECT CITY: TRAVERSE CITY, MI
PROJECT STATE: MI
PROJECT ZIP: 49684
PROJECT COUNTY: GRAND RAPIDS
PROJECT DISTRICT: [REDACTED]
PROJECT SUB-DISTRICT: [REDACTED]
PROJECT ZONE: [REDACTED]
PROJECT PHASE: [REDACTED]
PROJECT SUB-PHASE: [REDACTED]
PROJECT LOT: [REDACTED]
PROJECT BLOCK: [REDACTED]
PROJECT TRACT: [REDACTED]
PROJECT SECTION: [REDACTED]
PROJECT QUARTER: [REDACTED]
PROJECT TOWNSHIP: [REDACTED]
PROJECT RANGE: [REDACTED]
PROJECT MERIDIAN: [REDACTED]
PROJECT DEGREE: [REDACTED]
PROJECT MINUTE: [REDACTED]
PROJECT SECOND: [REDACTED]
PROJECT DEPARTMENT: [REDACTED]
PROJECT DIVISION: [REDACTED]
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PROJECT SUB-SECTION: [REDACTED]
PROJECT LOT: [REDACTED]
PROJECT BLOCK: [REDACTED]
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PROJECT RANGE: [REDACTED]
PROJECT MERIDIAN: [REDACTED]
PROJECT DEGREE: [REDACTED]
PROJECT MINUTE: [REDACTED]
PROJECT SECOND: [REDACTED]

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES AND STRUCTURES.
2. MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION IS COMPLETE. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION IS COMPLETE. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION IS COMPLETE.
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S-E-S-C RETAINING SYSTEM

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
1. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
2. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
3. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
4. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
5. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
6. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
7. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
8. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
9. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00
10. 10' HIGH S-E-S-C RETAINING WALL WITH 6" CONCRETE SLAB ON GRADE	100	100.00	10000.00



1 S-E-S-C PLAN
 SCALE: 1" = 10'-0"



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2996

progressive
 1811 1/2 Mile Rd N.E. - Grand Rapids, MI 49525
 616.361.2664 OFFICE 616.361.1483 FAX
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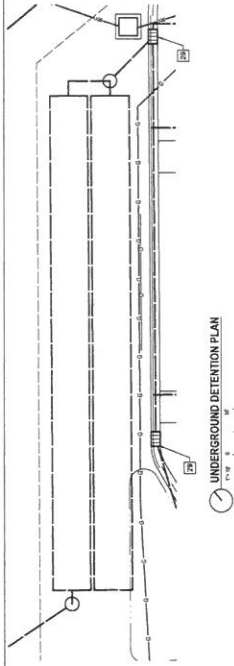


CHICK-FIL-A
 TRAVERSE CITY FSU
 3980 US 31 SOUTH
 TRAVERSE CITY, MI 49684

FSU# 04523
 EXISTING CONDITIONS
 SEE SHEET

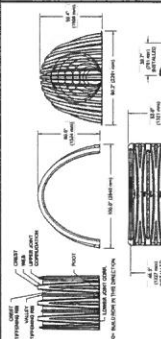
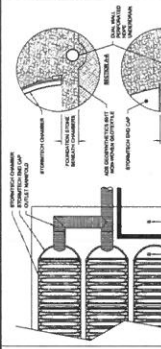
PROJECT NUMBER: 04523
 SHEET NUMBER: 04523-01
 DATE: 08/28/16
 DRAWN BY: JLM
 CHECKED BY: JLM
 APPROVED BY: JLM
 UNDESIGNED DETENTION DETAILS
 SHEET NUMBER

PS-1.1

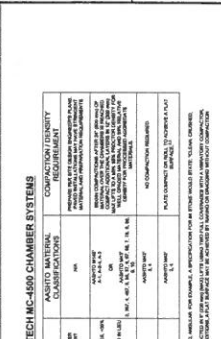
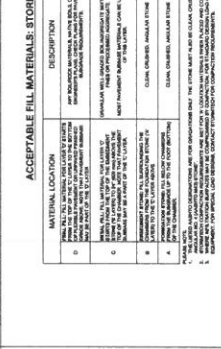
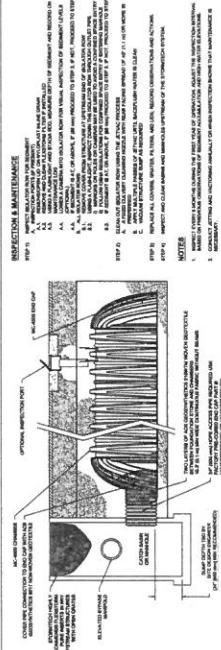


STORMTECH CHAMBER SPECIFICATIONS

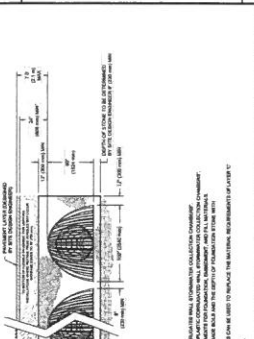
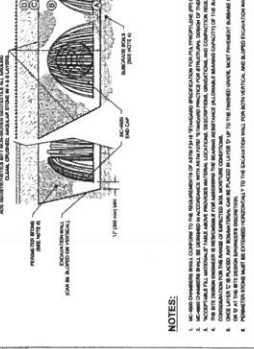
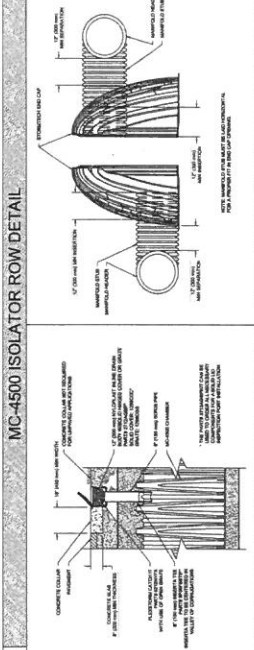
1. CHAMBER SHALL BE MANUFACTURED FROM 100% RECYCLED POLYPROPYLENE (PP) WITH A MINIMUM UL94 V-0 FLAME RATING.
2. CHAMBER SHALL BE MANUFACTURED TO THE FOLLOWING DIMENSIONS: 18" x 18" x 18" (MINIMUM) TO 48" x 48" x 48" (MAXIMUM).
3. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM WALL THICKNESS OF 1/2" (12.7mm).
4. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM WEIGHT OF 15 LBS (6.8kg).
5. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM STRENGTH OF 1000 PSI (6.9 MPa).
6. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM DEFLECTION OF 1/16" (1.6mm).
7. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM TENSILE STRENGTH OF 1000 PSI (6.9 MPa).
8. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM ELONGATION AT BREAK OF 10%.
9. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM IMPACT STRENGTH OF 10 FT-LB (13.7 J).
10. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM COMPRESSION STRENGTH OF 1000 PSI (6.9 MPa).
11. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM TORSION STRENGTH OF 1000 PSI (6.9 MPa).
12. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM SHEAR STRENGTH OF 1000 PSI (6.9 MPa).
13. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM BENDING STRENGTH OF 1000 PSI (6.9 MPa).
14. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM TENSILE STRENGTH OF 1000 PSI (6.9 MPa).
15. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM ELONGATION AT BREAK OF 10%.
16. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM IMPACT STRENGTH OF 10 FT-LB (13.7 J).
17. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM COMPRESSION STRENGTH OF 1000 PSI (6.9 MPa).
18. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM TORSION STRENGTH OF 1000 PSI (6.9 MPa).
19. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM SHEAR STRENGTH OF 1000 PSI (6.9 MPa).
20. CHAMBER SHALL BE MANUFACTURED WITH A MINIMUM BENDING STRENGTH OF 1000 PSI (6.9 MPa).



MC-4500
 STANDARD DETAILS
 DRAWN: JLM DATE: 08/28/16
 REVIEWED: JLM PROJECT NO.:
 NOT TO SCALE



MC-4500 CROSS SECTION DETAIL
 1 OF 1



MC-4500 8\"/>

4 MC-4500 8\"/>

7 MC-SERIES END CAP INSERTION DETAIL

6 MC-4500 CROSS SECTION DETAIL

1 OF 1

PS-1.1



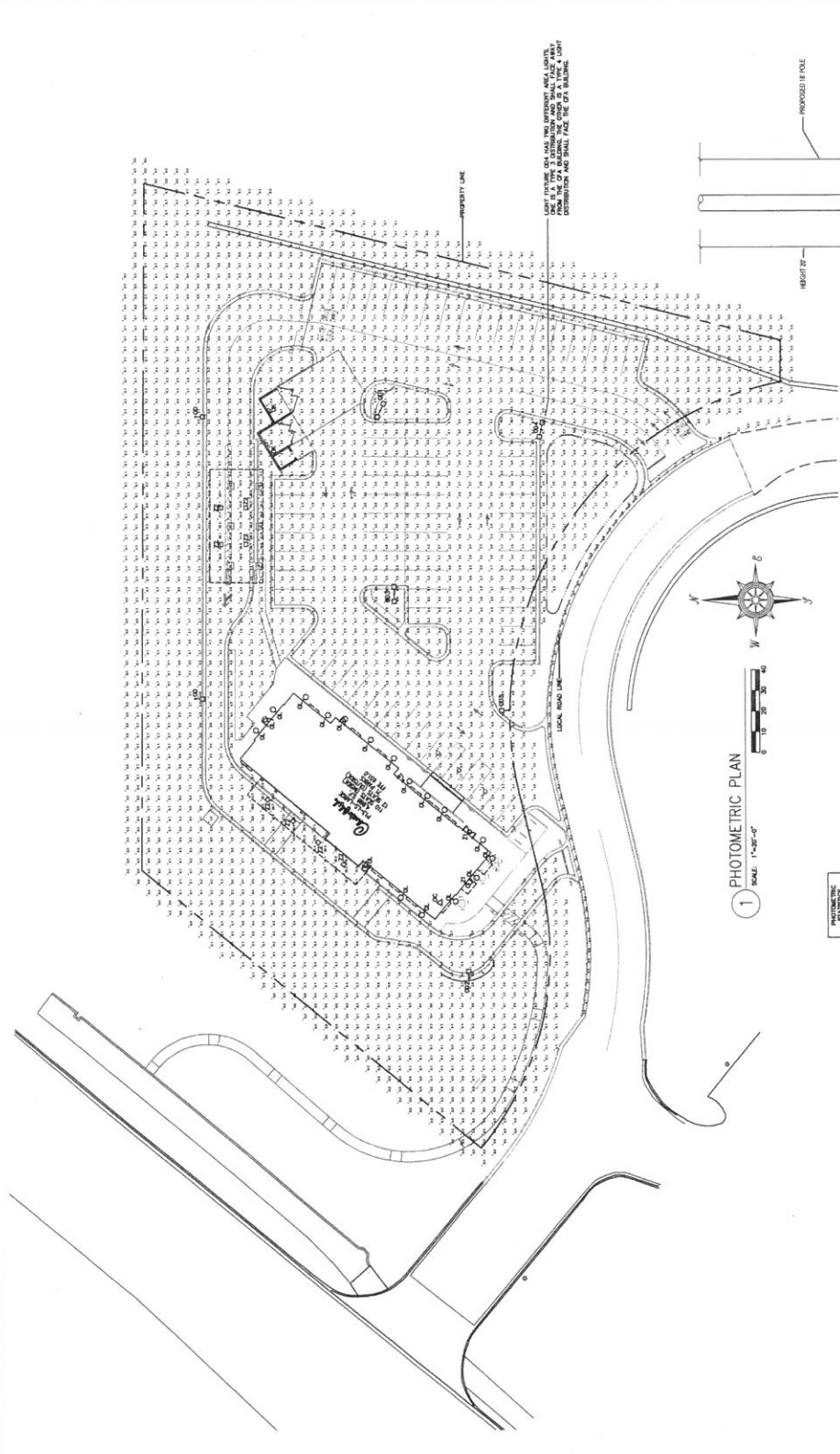
Chick-File
 Chick-File-A
 5200 Buffington Road
 Atlanta, Georgia 30499
 2988

Engineering and Surveying
 Professional Engineer License No. 10000
 License State of Georgia
 Surveyor License No. 10000
 License State of Georgia
 P.O. Box 10000
 Atlanta, Georgia 30409
 Phone: 404.525.1000
 Fax: 404.525.1001

CHICK-FILE-A
 TRAVERSE CITY FSU
 398 US 31 SOUTH
 TRAVERSE CITY, MI 49684

FSR# 04545
 TRAFFIC SIGNAL
 DESIGN
 FSR# 04545
 DATE: 11/21/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PHOTOMETRIC PLAN
 F00011 2



1 PHOTOMETRIC PLAN
 SCALE: 1"=20'-0"

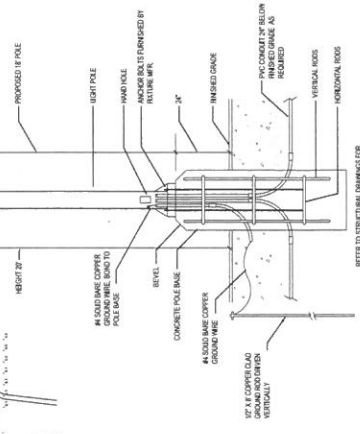
PHOTOMETRIC PLAN SYMBOLS

SYMBOL	MANUFACTURER	MODEL	WATTAGE	HIGHT	WATT PER FOOT CANDLE
[Symbol]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]

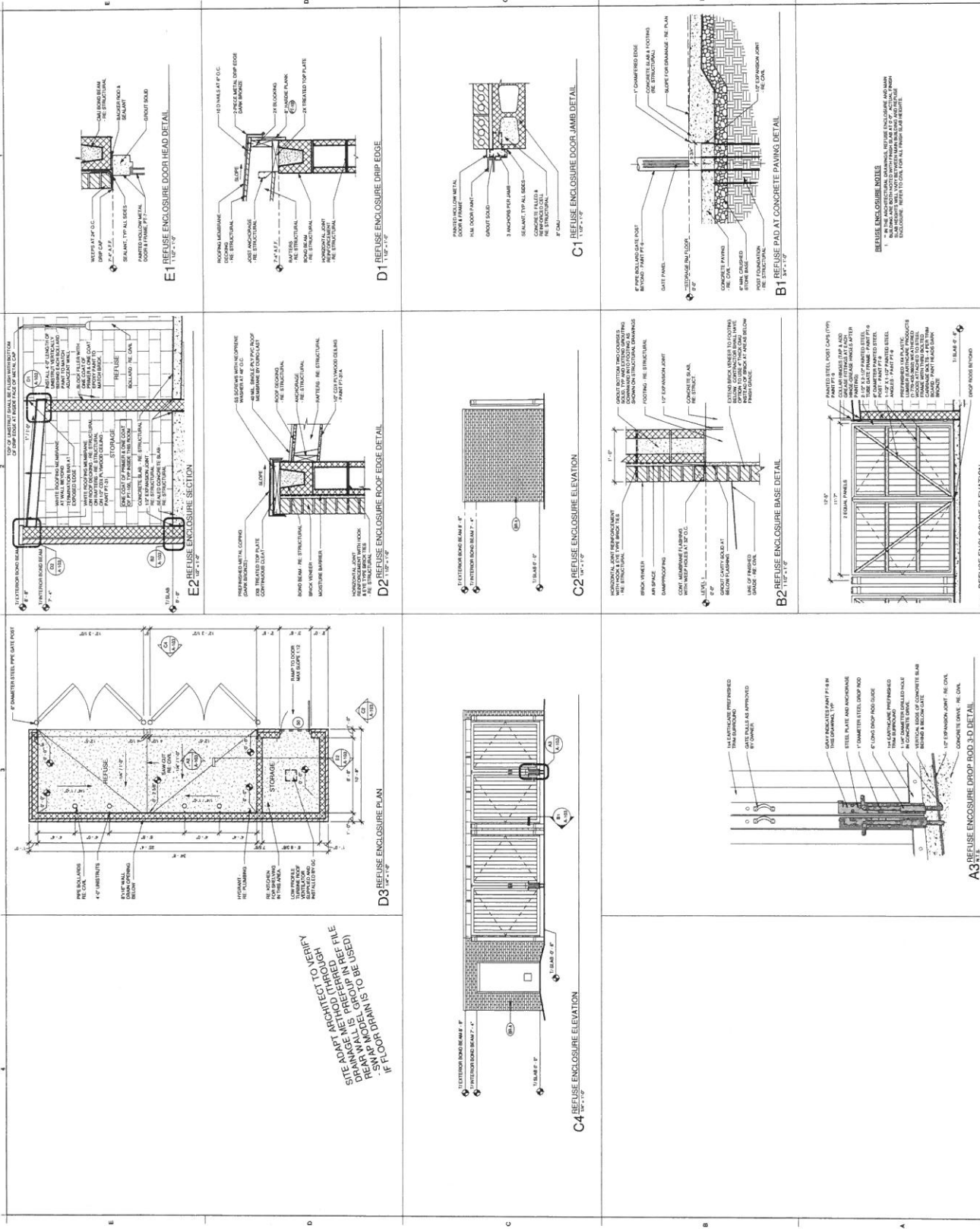
PHOTOMETRIC PLAN SYMBOLS

SYMBOL	MANUFACTURER	MODEL	WATTAGE	HIGHT	WATT PER FOOT CANDLE
[Symbol]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]

FORMER	HIGHT	MANUFACTURER	MODEL	WATTAGE	HIGHT	WATT PER FOOT CANDLE
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]
[Symbol]	[Hight]	[Manufacturer]	[Model]	[Wattage]	[Hight]	[Watt Per Foot Candle]




2 TYPICAL POLE BASE DETAIL
 NOT TO SCALE



NOTE:
 SITE ADAPT ARCHITECT TO VERIFY
 SITE ADAPT METHOD THROUGH
 DEAR WALKING GROUP (IN USED)
 DEAR WALKING GROUP (TO BE USED)
 IF FLOOR DRAIN IS TO BE USED

REFUSE ENCLOSURE NOTES
 1. IN THE ARCHITECTURAL DRAWINGS, THE REFUSE ENCLOSURE AND MAIN
 BEAM SHALL BE CONSIDERED AS A STRUCTURAL MEMBER.
 ENCLOSURE SHALL BE CONSIDERED AS A STRUCTURAL MEMBER.

		Charter Township of Garfield	
		Planning Department Report No. 2020-45	
Prepared:	March 4, 2020	Pages:	6
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	3077 Garfield Conditional Rezoning – Introduction		
File No.	Z-2020-03	Parcel No.	05-014-077-00 (portion)
Owner:	3077 Garfield LLC / Richard Weaver		
Applicant:	Premier Space Solutions		

PURPOSE OF APPLICATION:

This application requests the conditional rezoning of a portion of Parcel #05-014-077-00 at 3077 Garfield Road, identified as the “Subject Lands for Conditional Rezoning” by the applicant. These subject lands consist of approximately 2.85 acres of a 4.43-acre parcel. The request is to conditionally rezone this part of the site from C-G General Commercial to I-G General Industrial via the process described below.

STATEMENT OF CONDITIONS:

The proposed conditions in the Statement of Conditions are attached to this report and described below:

- The only use permitted on the subject lands shall be small warehousing establishments, with totally enclosed storage.
- All other requirements of the I-G General Industrial zoning district and the Garfield Township Zoning Ordinance shall apply to the subject lands.
- No servicing, repair or mechanical maintenance of stored materials will be allowed.
- Hours of operation shall be 7:00 am to 9:00 pm.

SUBJECT PROPERTY:

The subject property is currently vacant including several vacant buildings. The site is on the west side of Garfield Road just south of the intersection with South Airport Road. The neighborhood includes several commercial developments along South Airport and Garfield Roads. The portion of the property which is proposed for conditional rezoning is described by a legal description included as an attachment.

PROCESS FOR CONDITIONAL REZONING:

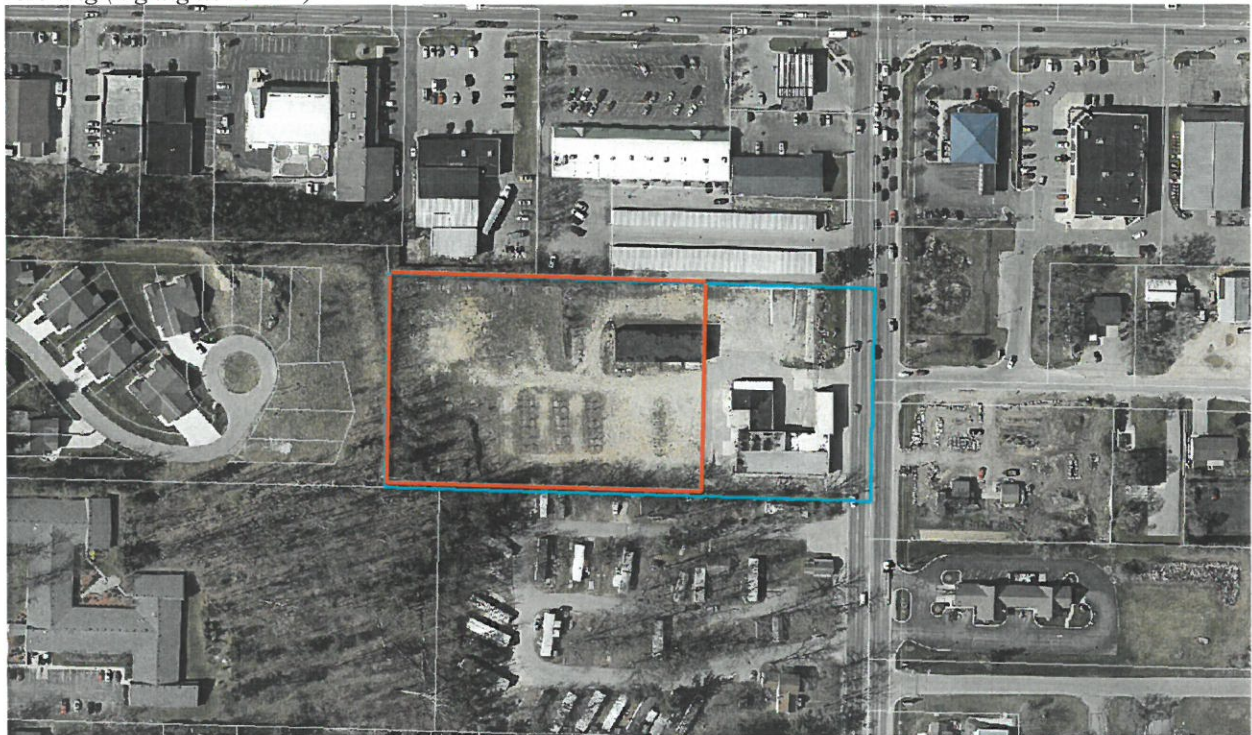
The process for conditional rezoning is described in Section 422 of the Zoning Ordinance. The procedure for approving a conditional rezoning is the same as for a rezoning and includes the following:

- A landowner may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.
- The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
- The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.
- If the Township Board approves the conditional rezoning request and offer of conditions, the offered conditions shall be incorporated into a formal written Statement of Conditions.
- Any failure to comply with a condition contained within the Statement of Conditions shall constitute a violation of this ordinance and be punishable accordingly including by rezoning of the property to its base zoning classification.

Zoomed-out aerial view of the subject property (highlighted in blue), including portion of property for conditional rezoning (highlighted in red)



Zoomed-in aerial view of the subject property (highlighted in blue), including portion of property for conditional rezoning (highlighted in red)



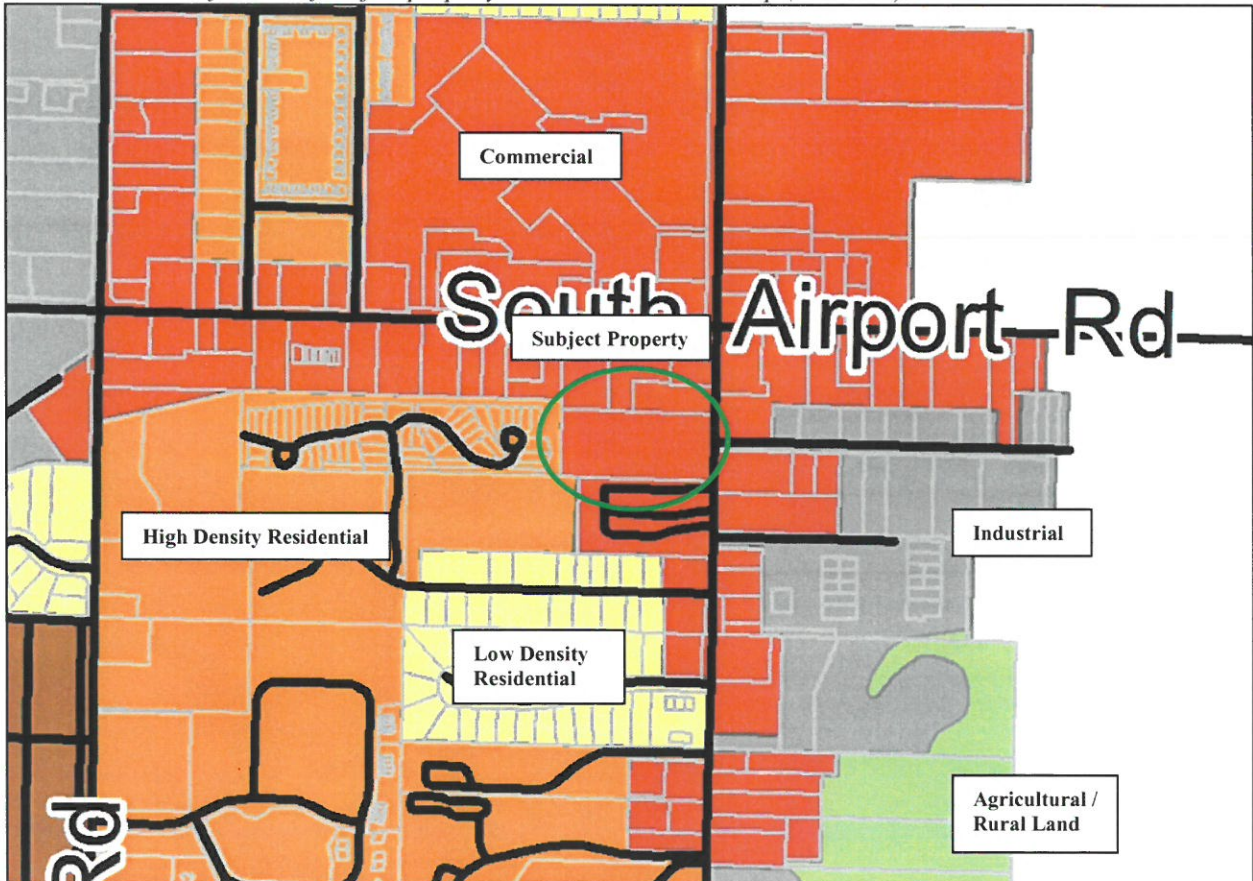
MASTER PLAN CONSIDERATIONS:

A key factor in considering a rezoning request, including conditional rezoning, is whether the request is consistent with the Master Plan. In this case, the Master Plan shows the subject site with the Future Land Use designation of “Commercial.” This designation is intended for commercial uses of varying intensity. The Plan includes only one broad “Commercial” category intended to encompass a variety of commercial zoning districts which may be appropriate on a case-by-case, property-by-property basis. Any of the five commercial zoning districts (C-L Local Commercial, C-P Planned Shopping, C-H Highway Commercial, C-G General Commercial, and C-O Office Commercial) are potentially compatible with this category.

The Future Land Use map shows Commercial along both sides of Garfield Road and South Airport Road in the surrounding neighborhood and High Density Residential to the west and southwest. The sites with Commercial designation are generally zoned C-G General Commercial except for the northwest corner of Garfield Road and South Airport Road, which is zoned as C-P Planned Shopping.

The subject parcel is currently zoned C-G General Commercial, and the request is to conditionally zone a portion of the site as I-G General Industrial. There are some sites zoned I-G General Industrial within the neighborhood behind the C-G parcels on the east side of Garfield Road and south side of South Airport Road. An excerpt from the Zoning Plan for the I-G district is provided below.

Location and classification of subject property on Future Land Use Map (“FLUM”):

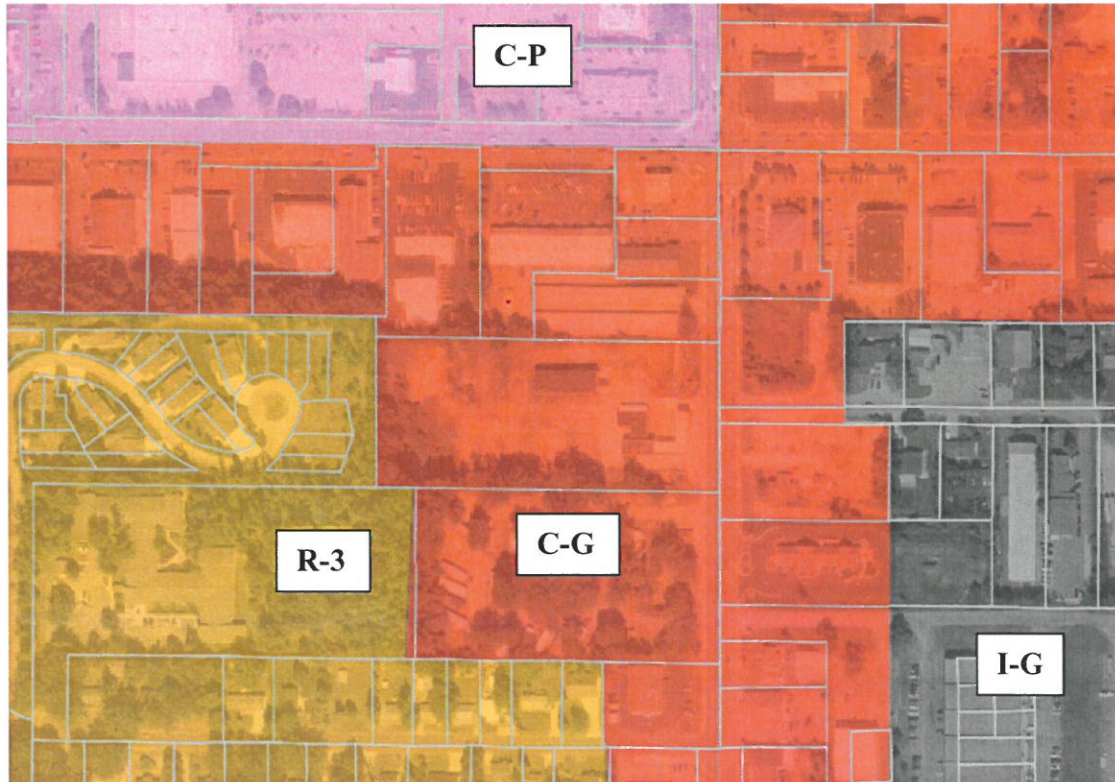


Excerpt from Zoning Plan:

Master Plan Designation	Commercial
[Requested] Zoning	I-G General Industrial (with conditions)
Zoning Ordinance District Intent	The intent of the General Mixed-Use Industrial Business (I-G) district is to remain primarily industrial in nature while allowing a limited number of non-industrial uses that are envisioned as accessory or complimentary to existing and future industrial uses of the districts. Nonindustrial uses of property within these districts are subject to industrial impacts from adjacent parcels including, but not limited to, noise, dust, and vibrations.
Potentially Compatible District	R-M/I-L
Considerations for Downzoning (Less Density)	The R-M district may be deemed compatible in various areas of the Township. These areas could provide workforce housing in close proximity to manufacturing opportunities. Nuisance issues should be considered for future residents when considering a change in zoning to allow for residential uses. Generally, the I-G and I-L districts should remain as employment hubs and not changed to a commercial zoning.
Considerations for Upzoning (More Density)	In areas adjacent to I-L, consideration could be given to rezoning an area to a more intense zoning classification. The I-L district allows far more intense uses so consideration to surrounding areas should be carefully scrutinized.

SUBJECT AND SURROUNDING PROPERTY ZONING:

The subject site is currently zoned C-G General Commercial, shown below in red. Several of the nearby sites are also zoned C-G. To the east are several industrial sites zoned as I-G General Industrial, shown in grey. To the west is the Terrace Estates Condominiums zoned as R-3 Multi-Family Residential, shown in orange. To the north is Cherryland Center zoned as C-P Planned Shopping, shown in pink.



USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject property is currently vacant including several vacant buildings. Immediately adjacent uses are a mobile home park to the south and self-storage units to the north. Across the street is a landscaping and nursery supply business, with Walgreens and Chase Bank further north and a car wash further south.

STAFF COMMENT:

Upon preliminary review of the Master Plan and Future Land Use designation for the subject site, context of zoning and future land uses of the surrounding neighborhood, and other factors, Staff is of the opinion that several different factors must be considered together regarding this conditional rezoning request and recommends the Planning Commission consider the following:

- The proposed conditional rezoning does not match the Future Land Use designation and Zoning Plan of the Master Plan for the subject lands indicated, but the front portion of the parcel would keep its zoning which does match the Future Land Use map and Zoning Plan.
- If the proposed conditional rezoning is approved, the part of the parcel remaining as C-G General Commercial shall not include any aspects of the self-storage use. This portion of Garfield Road is a commercial corridor and it is necessary to maintain commercial activity along the frontage of this site and others along Garfield Road.
- The proposed conditional rezoning would create an area with General Industrial behind General Commercial. This situation can be seen across the street on the other side of Garfield Road and along the south side of South Airport Road, east of Garfield Road.
- The proposed conditional rezoning would create an area with General Industrial next to an area of Multi-Family Residential. This situation is not in the immediate vicinity but is replicated in other areas of the Township.
- The proposed use on the subject lands would be only small warehousing facilities, also known as self-storage units. The adjacent site to the north is used for self-storage units, but the zoning for this site is General Commercial and this is an existing nonconforming use.
- The subject lands for I-G conditional rezoning consist of approximately 2.85 acres of a 4.43-acre parcel with dimensions of 290 feet by 428 feet. The front portion of the parcel remaining as C-G zoning is approximately 1.58 acres with dimensions of 290 feet by 189 feet. The lot size and lot width minimum dimensional standards for the C-G district still apply and are met.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

A conditional rezoning is subject to review of the same criteria as any other Map Amendment. To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

1. Master Plan Consistency
2. Adverse Impacts on Neighboring Lands
3. Suitability as Presently Zoned
4. Changed Conditions
5. Health, Safety, and Welfare

6. Public Policy
7. Size of Tract
8. Other Factors

ACTION REQUESTED:

This item is placed on the agenda to introduce the conditional rezoning request and consider scheduling it for public hearing at the Planning Commission Regular Meeting on April 8, 2020. If, after the applicant's presentation and following discussion, the Planning Commission is prepared to schedule the application for public hearing, then the following motion is suggested:

MOTION THAT application Z-2020-03 BE SCHEDULED for public hearing for the April 8, 2020 Planning Commission Regular Meeting.

Additional information should be added to the motion as deemed necessary by the Planning Commission.

Attachments:

1. Statement of Conditions
2. Survey Sketch dated March 2, 2020
3. Overall Existing Conditions Plan dated January 27, 2020
4. Conceptual Site and Dimension Plan dated January 27, 2020

Statement of Conditions

The following is the Statement of Conditions under which the Charter Township of Garfield, Grand Traverse County, Michigan approved the Conditional Rezoning of the property exhibited in the accompanying Legal Description from General Commercial C-G to General Industrial I-G.

The Conditions

The only use permitted on the subject lands shall be small warehousing establishments, with totally enclosed storage.

All other requirements of the I-G General Industrial zoning district and the Garfield Township Zoning Ordinance shall apply to the subject lands.

No servicing, repair or mechanical maintenance of stored materials will be allowed.

Hours of operation shall be 7:00 am to 9:00 pm.

Requirements

This Statement of Conditions may be recorded by the Township with the Register of Deeds upon approval by the Township. The Conditional Rezoning is not valid until such a time that this document, as well as any other exhibits and applications/narratives that were relied upon in the Conditional Rezoning approval are recorded with the Register of Deeds.

These Conditions as well as any other exhibits or application/narratives that were relied upon in the Conditional Rezoning approval, run with the land and are binding upon successor owners of the land.

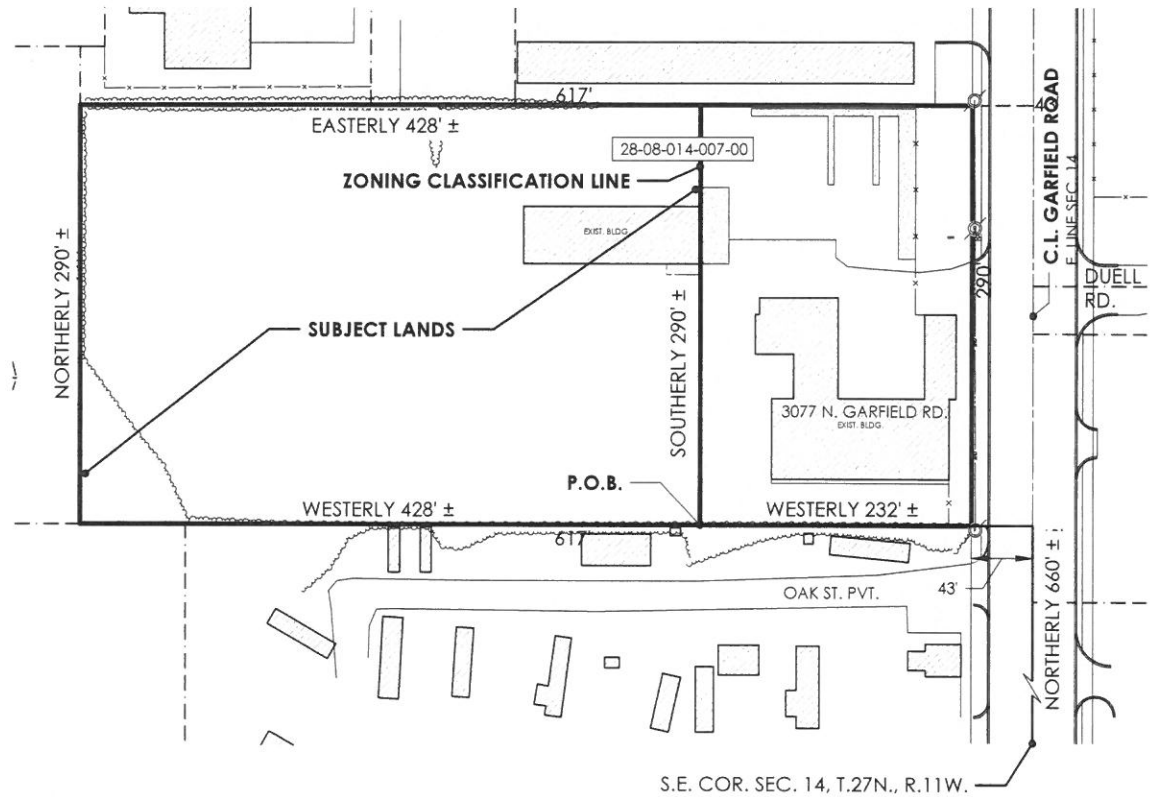
This Statement of Conditions, as well as any other exhibits or applications/narratives utilized in the Conditional Rezoning Process, have been voluntarily offered by the present owner(s) and Applicant, and in such they hereby consent to the provisions contained within this Statement of Conditions as well as any other that were relied upon in the Conditional Rezoning approval.

_____ Date _____
Property Owner (signature)

Property Owner (print name)

Notary _____ Date _____ # _____

Survey Sketch



SUBJECT LANDS FOR CONDITIONAL REZONING:

Subject Lands being part of a parcel described as: The South 290 feet of the Northeast quarter of the Southeast quarter of the Southeast quarter, except road right-of-way, of Section 14, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan. Subject Lands more fully described as follows:

Commencing at the Southeast Corner of said Section 14:

thence Northerly, 660 feet, more or less,

along the East line of said Section to a point on the southerly line of said parcel, as extended, to the East line of said Section 14;

thence Westerly, 232 feet, more or less,

along the southerly line of said parcel to the POINT OF BEGINNING of said Subject Lands;

thence Westerly, 428 feet, more or less,

along the southerly line of said parcel and Subject Lands, to the westerly line of said parcel and Subject Lands;

thence Northerly, 290 feet, more or less,

along the westerly line of said parcel and Subject Lands;

thence Easterly, 428 feet, more or less,

along the northerly line of said parcel and Subject Lands;

thence Southerly, 290 feet, more or less,

to the POINT OF BEGINNING of Subject Lands.

Said Subject Lands contain 2.8 acres, more or less



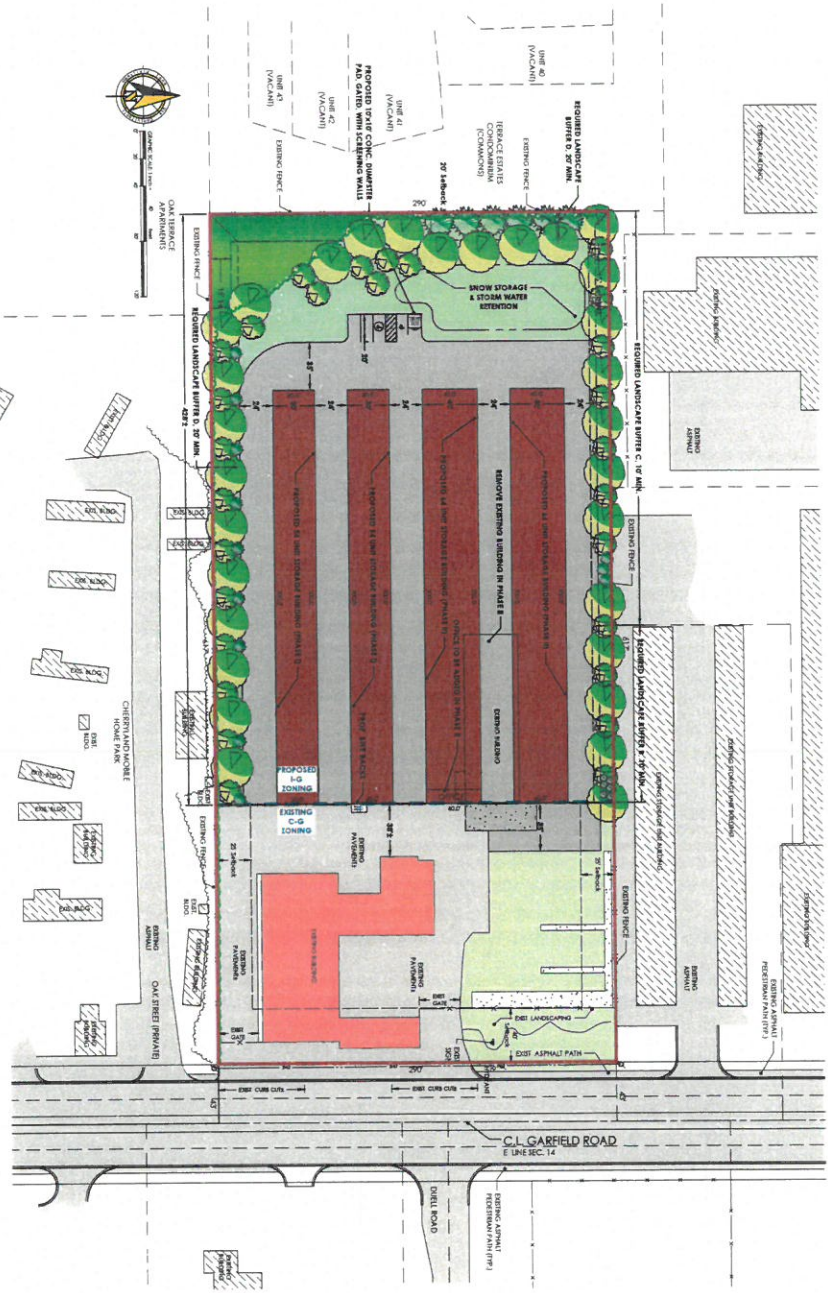
Mansfield
Land Use Consultants
Planners - Civil Engineers - Surveyors

PO Box 4015
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
Ph: (231) 946-9310
Fax: (231) 946-8926
www.maaeps.com

Premier Space Solutions | DRN: mmm | CKD: dlm

Conditional Rezoning Exhibit
Section 14, T.27N., R.11W.
Garfield Township, Grand Traverse County, Michigan

03.02.20
20013
SHT 1 OF 1



EXISTING ZONING: GENERAL COMMERCIAL (GC-2)
 FRONT: 40' (SEE PLAN AND TO EXCEED 25'
 REAR: 10M (SEE PLAN AND TO EXCEED 25'
 (S) COVERAGE: N/A
 PROPOSED ZONING: OF THE WESTERN PART TO GENERAL AGRICULTURE (GA-1)
 FRONT: 40'
 REAR: 20'
 (S) COVERAGE: N/A

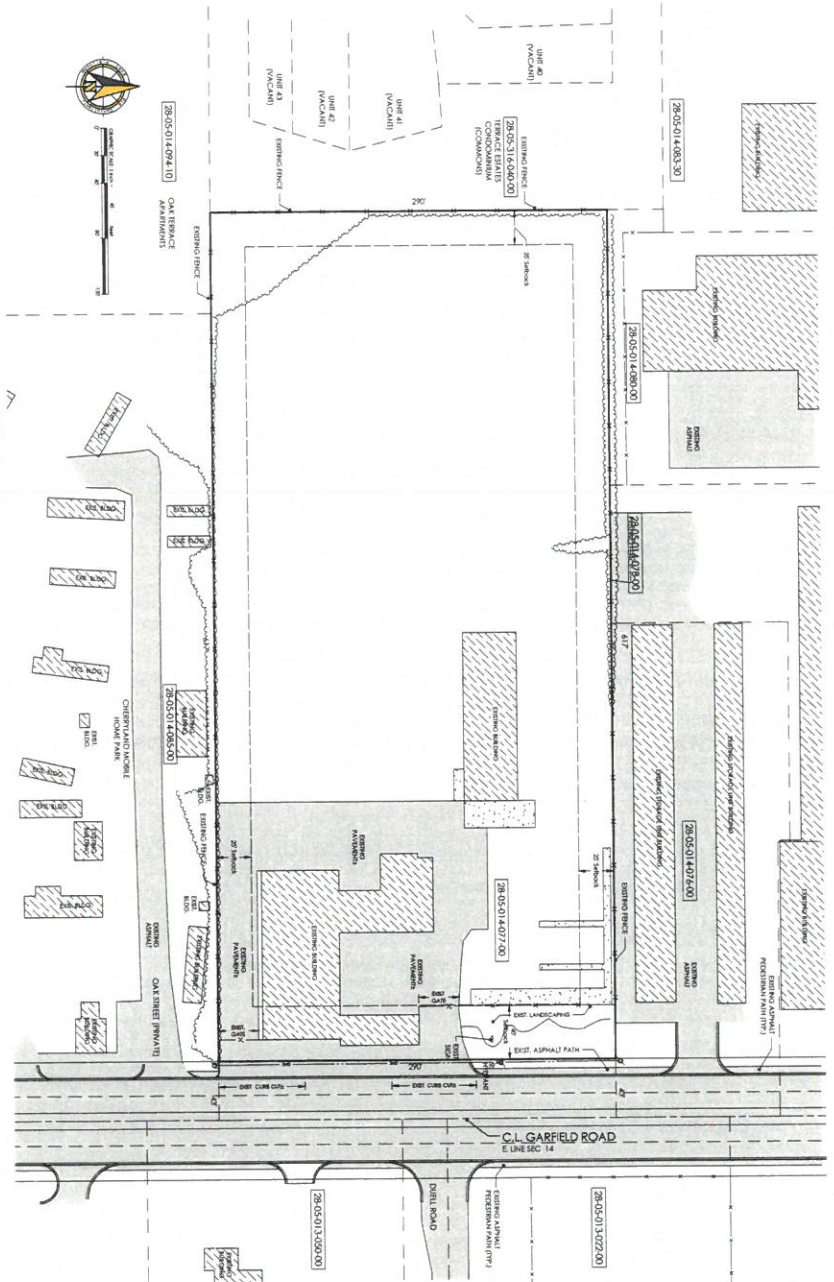
NOTE:
 Property boundaries, land contours,
 and easements shown on this plan are for
 informational purposes only. Modified (and the Consultant's name
 and seal) and the Consultant's name
 and seal are required for all information
 presented on this information.

CONFIDENTIAL
 20013
 CA10

Premier Space Solutions
 Proposed Storage Units
CONCEPTUAL SITE AND DIMENSION PLAN
 Section 14, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

REV	DATE	BY	CHK	DESCRIPTION
01	12-28-13	mm	mm	Conceptual design
02	01-07-14	mm	mm	Revised Conceptual design

Mansfield
 Land Use Consultants
 830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfieldmaps.com
 info@mansfieldmaps.com



Parcel ID	Owner/Address	Parcel Address	Current Zoning	Current Use	Future Land Use
28-05-01-027-00	Dyni Way LLC 791 W. South Airport Road Troy, MI 48068	791 W. South Airport Road Troy, MI 48068	C-2	Commercial	Community
28-05-01-028-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-029-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-030-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-031-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-032-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-033-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-034-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-035-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-036-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-037-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-038-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-039-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-040-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-041-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-042-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-043-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-044-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-045-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-046-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-047-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-048-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-049-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community
28-05-01-050-00	Henry Lee & Thomas Stone Road Building 400 Richmond Ave., Troy, MI 48068	400 Richmond Ave., Troy, MI 48068	C-2	Commercial	Community

PARCEL INFORMATION
 Owner: 3017 GARFIELD LLC
 311 S. FORD RD
 TROY, MI 48068
 PARCEL ID: 28-05-01-050-00
 PARCEL AREA: 0.25 ACRES
 PARCEL TYPE: COMMERCIAL
 CURRENT ZONING: C-2

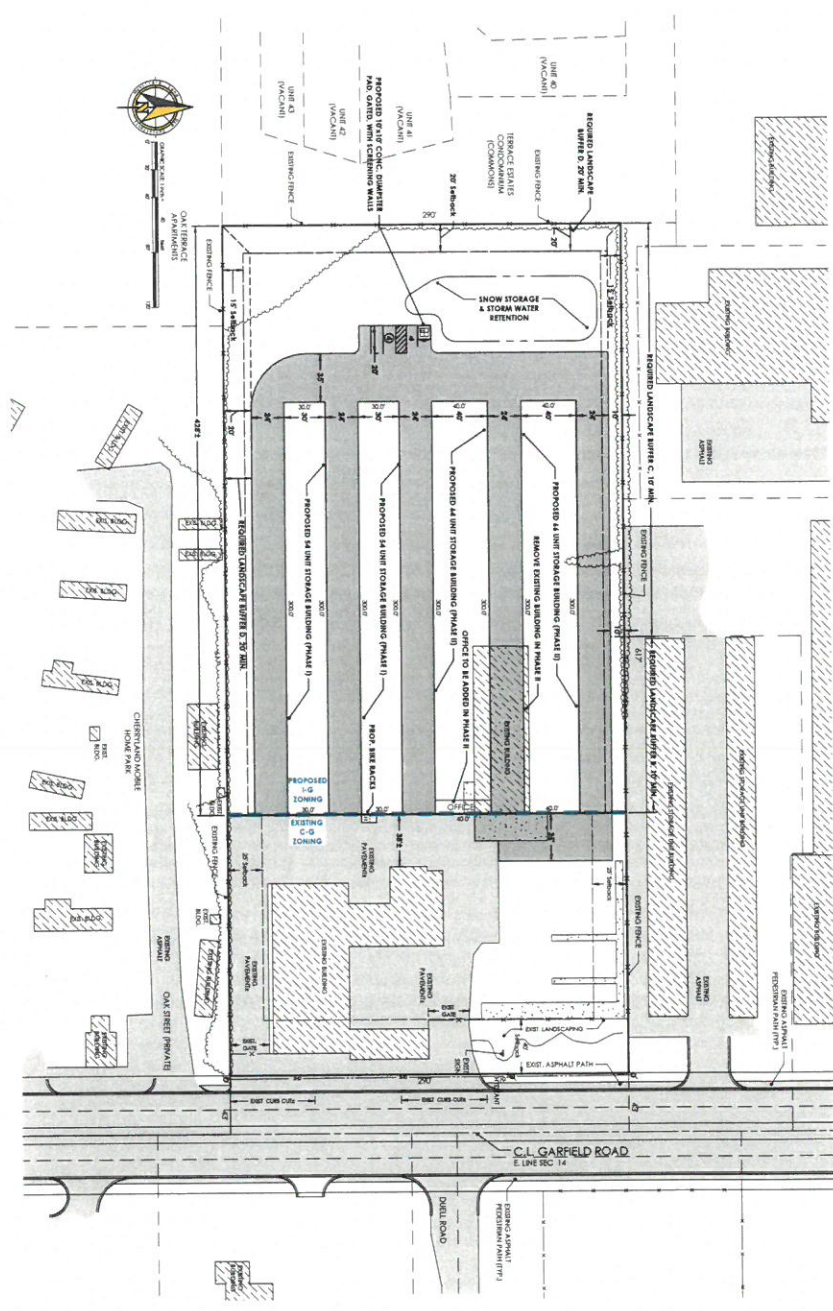
NOTE: Property boundaries, base contours, proposed features, and the site location on this map are for informational purposes only. Mansfield Land Use Consultants makes no representation or warranty for the completeness of the information.

CONCEPTUAL
 20013
 C2.0

Premier Space Solutions
Proposed Storage Units
OVERALL EXISTING CONDITIONS PLAN
 Section 14, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

REV	DATE	BY	CHK	DESCRIPTION
01	10-20-20	dm	dm	Conceptual design
02	11-27-20	dm	dm	Revised Conceptual design

Mansfield
 Land Use Consultants
 830 Conover Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-5310
 www.msps.com
 info@msps.com



DISTRICT BOARD GENERAL COMMISSION (C-9)
 FROM: [Redacted]
 DATE: 10/2013
 LOT COVERAGE: N/A
 PROPOSED RELIEFING OF THE WESTERN PART TO GENERAL MEDIUM DENSITY INDUSTRIAL BUSINESS (B-5)
 FROM: [Redacted]
 DATE: 10/2013
 LOT COVERAGE: N/A

NOTE:
 Property boundaries, lot numbers, proposed features and the site location are shown on this plan. The site location is shown on the map only. Mansfield Land Use Consultants makes no representation or warranty for the accuracy or completeness of this information.

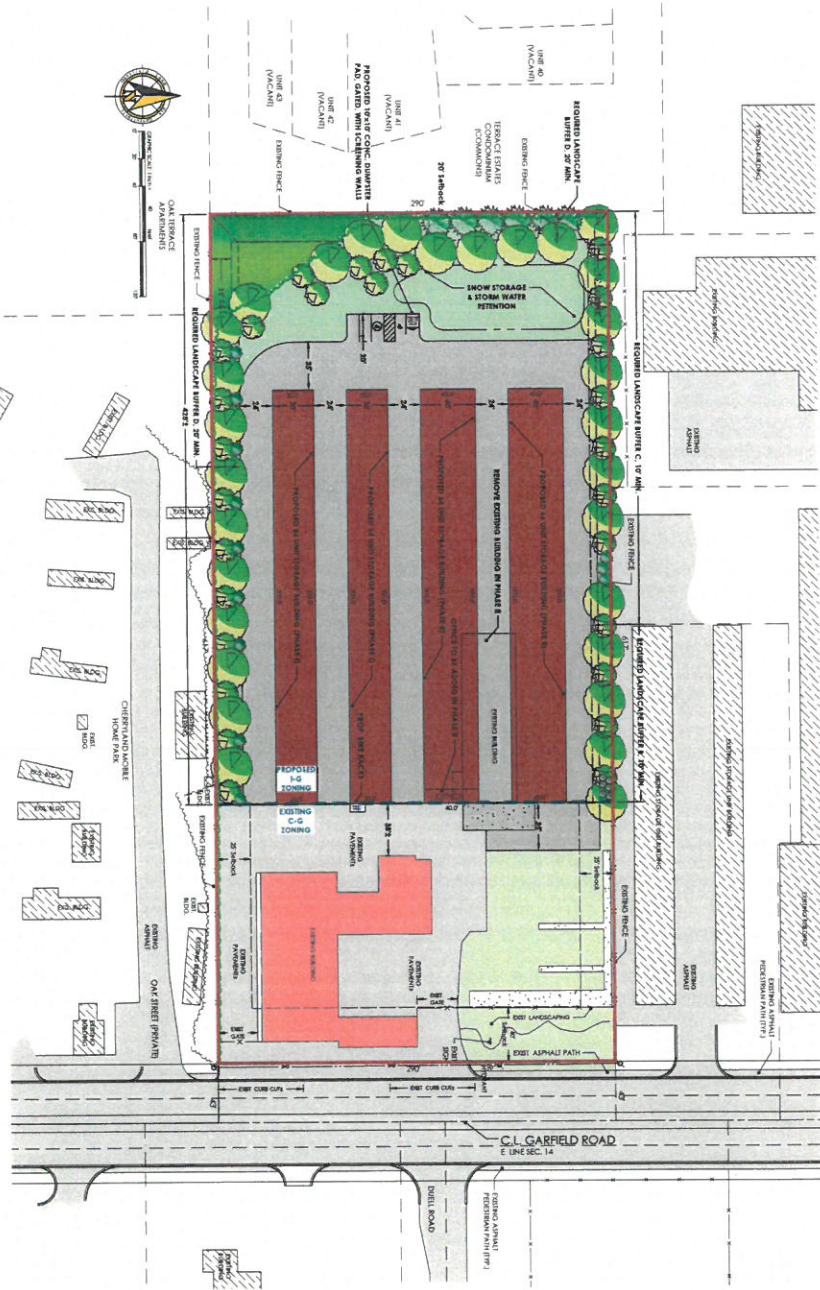
2013
 20013
 C4.0

Premier Space Solutions
 Proposed Storage Units
 CONCEPTUAL SITE AND DIMENSION PLAN
 Section 14, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

REV	DATE	BY	CHK	DESCRIPTION
01	10-20-13	dm	dm	Conceptual design
02	10-27-13	dm	dm	Revised Conceptual design

Mansfield
 Land Use Consultants

830 Convergence Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansps.com
 info@mansps.com



EXISTING ZONING: GENERAL COMMERCIAL (C-2)
 PROPOSED ZONING: GENERAL COMMERCIAL (C-2)
 LOT COVERAGE: 40%
 LOT AREA: 100,000 SQ. FT.
 LOT COVERAGE: 40%
 LOT AREA: 100,000 SQ. FT.
 LOT COVERAGE: 40%
 LOT AREA: 100,000 SQ. FT.

NOTE: Property boundaries, land contours, proposed structures, and other information shown on this plan are for conceptual purposes only. Modified land use conditions, zoning, and other information may vary from the information shown on this plan.


CONCEPTUAL
 20013
 C40

Premier Space Solutions
 Proposed Storage Units
CONCEPTUAL SITE AND DIMENSION PLAN
 Section 14, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

NO.	DATE	BY	DESCRIPTION
01	01-27-01	MS	Final design
02	01-27-01	MS	Final design
03	01-27-01	MS	Final design
04	01-27-01	MS	Final design
05	01-27-01	MS	Final design
06	01-27-01	MS	Final design
07	01-27-01	MS	Final design
08	01-27-01	MS	Final design
09	01-27-01	MS	Final design
10	01-27-01	MS	Final design

Mansfield
 Land Use Consultants

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49665
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

 Charter Township of Garfield Planning Department Report No. 2020-39			
Prepared:	March 4, 2020	Pages:	5
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	4051 Cedar Run C-O Rezoning – Introduction		
File No.	Z-2020-02	Parcel No.	05-008-010-00
Owner:	Chris Millward and Erik Gruber GMLLC		
Applicant:	Chris Millward and Erik Gruber GMLLC		

PURPOSE OF APPLICATION:

This application requests the rezoning of one parcel at 4051 Cedar Run Road, totaling 3.75 acres, from the R-1 One-Family Residential zoning district to the C-O Office Commercial zoning district through the zoning Map Amendment process, without restriction.

SUBJECT PROPERTY:

The subject property is currently vacant. The site is on the south side of Cedar Run Road between Front Street / North Long Lake Road and Barney Road. This neighborhood includes a mix of medical offices and other small commercial and office uses.

Zoomed-out aerial view of the subject property (highlighted in blue)



Zoomed-in aerial view of the subject property (highlighted in blue)



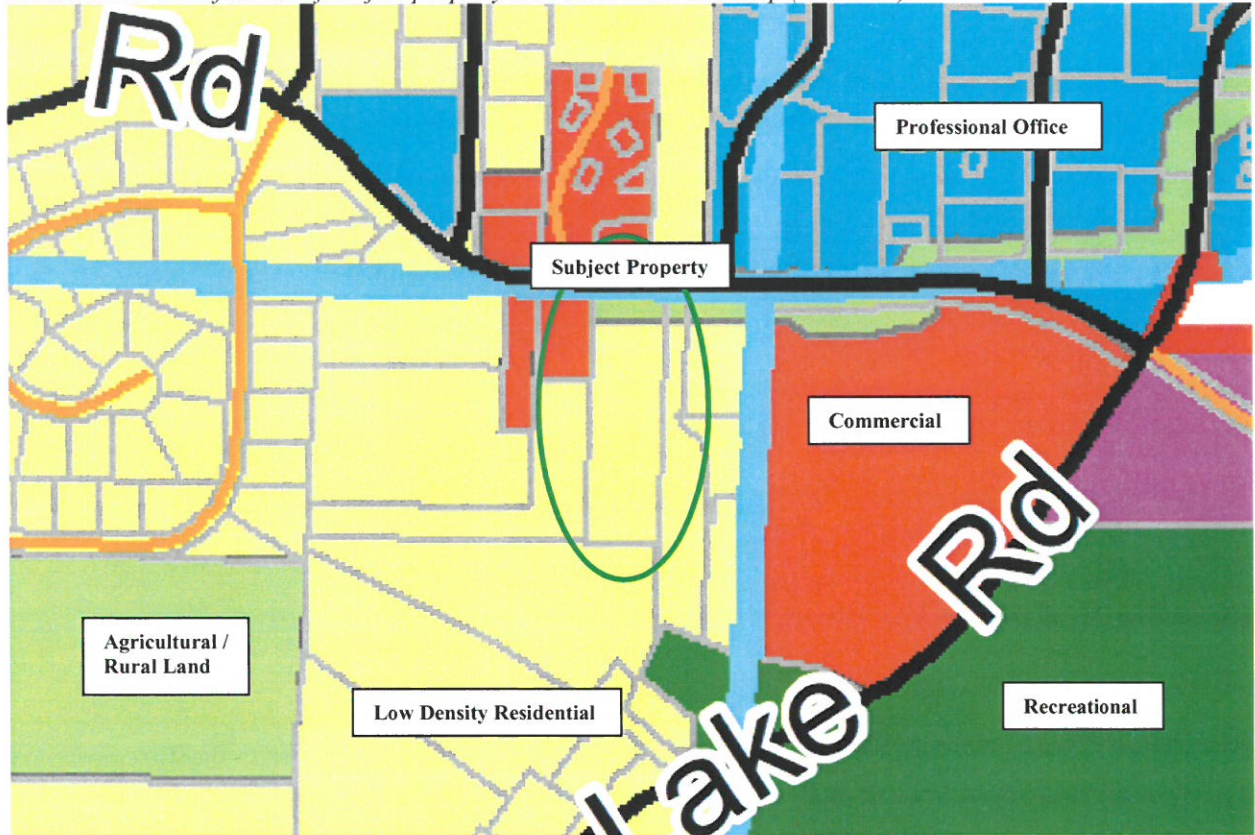
MASTER PLAN CONSIDERATIONS:

A key factor in considering a rezoning request is whether the request is consistent with the Master Plan. In this case, the Master Plan shows the subject site with the “Low Density Residential” designation on the Future Land Use Map. This designation provides area for traditional single-family residential dwelling units. The current R-1 zoning is the most compatible with this future land use designation, with the Rural Residential (R-R) and Agricultural (A) zoning districts as also potentially compatible.

Surrounding sites show Future Land Use designations of “Commercial” and “Professional Office.” The Commercial designation is intended to encompass a variety of commercial zoning districts which may be appropriate on a case-by-case, property-by-property basis. Any of the five commercial zoning districts; C-L, C-P, C-H, C-G, and C-O; may be potentially compatible with this future land use designation. The Professional Office designation provides areas for service-oriented enterprises and institutions having relatively low traffic generation. The most compatible zoning district is C-O Office Commercial, with the C-L Local Commercial as a potentially compatible zoning district.

The subject parcel is currently zoned R-1 One-Family Residential. The requested zoning district is C-O Office Commercial, and there are several sites zoned C-O on the other side of Cedar Run to the east and west of the subject site. An excerpt from the Zoning Plan for the C-O zoning district is provided below.

Location and classification of subject property on Future Land Use Map (“FLUM”):

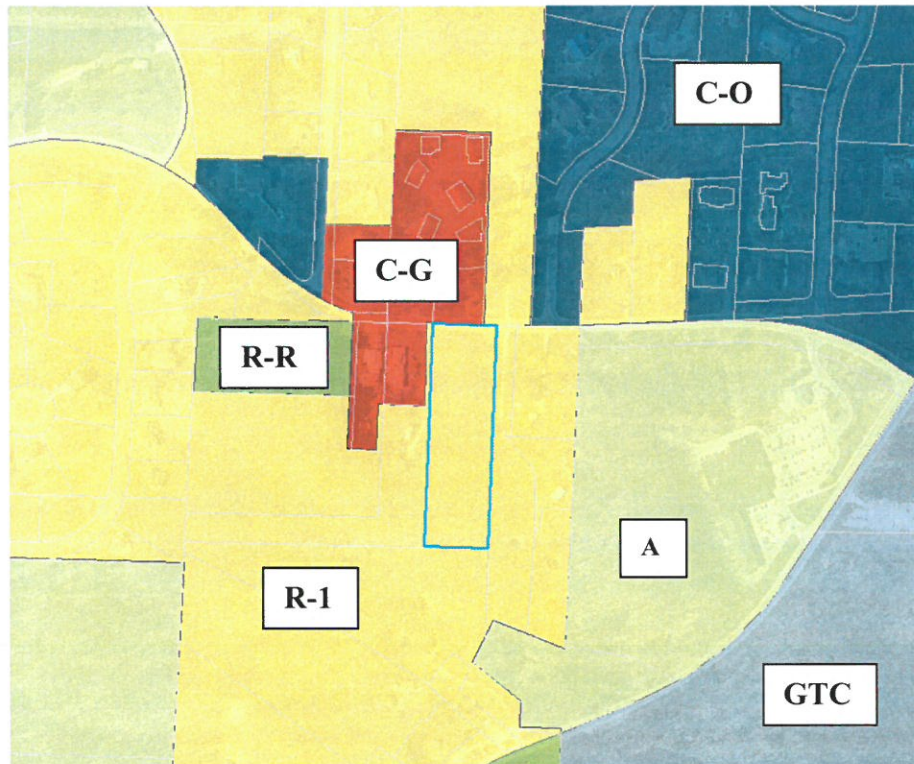


Excerpt from Zoning Plan for subject property’s FLUM classification:

Master Plan Designation	Low-Density Residential
[Requested] Zoning	C-O Office Commercial
Zoning Ordinance District Intent	C-O (Office Commercial) districts provide areas for service-oriented enterprises and institutions having relatively low traffic generation. The districts include areas of existing office developments as well as areas within which such development appears likely and desirable. They are intended to facilitate the support and expansion of local business, while serving as a buffer between residential areas and more intensive commercial areas. The C-O districts are primarily restricted to office and ancillary uses that do not have peak weeknight or weekend usage so as to provide an orderly transition and buffers between uses.
Potentially Compatible District	R-1/A
Considerations for Downzoning (Less Density)	The Professional Office district should be located in areas in close proximity to the City core. Changes from this district should take into account adjoining residential districts.
Considerations for Upzoning (More Density)	Areas zoned professional office should remain as such and changes to more intense commercial districts should be carefully scrutinized.

SUBJECT AND SURROUNDING PROPERTY ZONING:

The subject property is currently zoned R-1 One-Family Residential, shown below in yellow. Several of the adjacent properties to the north and west are zoned as C-G General Commercial, shown in red. There is an office park to the northeast zoned as C-O Office Commercial, shown in blue. To the east, Olesen’s grocery store is zoned as A-Agricultural, shown in light green, although the site is part of a Planned Unit Development. Further east is the Grand Traverse Commons property, shown in lavender. To the west, there is one parcel with a single-family house zoned as R-R Rural Residential, shown in green.



USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject site is currently vacant. There are several professional, medical, and dental offices along this portion of Cedar Run Road, especially to the west and north. Further east, the Olesen’s grocery store is at the intersection of Cedar Run Road and Front Street / North Long Lake Road.

STAFF COMMENT:

Upon preliminary review of the Master Plan and Future Land Use designation for the subject site, context of zoning and future land uses of the surrounding neighborhood, and other factors, Staff is of the opinion that this Map Amendment can be justified. The proposed Map Amendment for the subject site does not match the specific Future Land Use designation in the Master Plan, but there are several relevant factors which can potentially find the proposed Map Amendment to be justified:

- The proposed zoning district is C-O Office Commercial with the proposed use of a professional office. Several other properties on the north side of Cedar Run Road are zoned as C-O and used as professional and medical offices.
- Sites zoned as C-G General Commercial to the north and west are generally used as professional and medical offices as well.
- Although the Future Land Use designation for the subject parcel is Low Density Residential, the neighboring properties along Cedar Run Road include designations of Professional Office and

Commercial, as shown above. The C-O zoning district is the most compatible zoning district for the Professional Office Future Land Use designation, and the C-O district is one of the potentially compatible districts with the Commercial Future Land Use designation.

- Also, Cedar Run Road is designated as a “Major Collector” roadway on the National Functional Classification as described by the Federal Highway Administration (FHWA). According to the FHWA description of the major collectors: “These routes funnel traffic from local and minor collector routes to the arterials. These may directly serve schools, business districts and important public functions.”

The subject parcel is 3.75 acres and has a lot width of about 215 feet. Both the lot size and lot width meet minimum C-O dimensional standards.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:


1. Master Plan Consistency
2. Adverse Impacts on Neighboring Lands
3. Suitability as Presently Zoned
4. Changed Conditions
5. Health, Safety, and Welfare
6. Public Policy
7. Size of Tract
8. Other Factors

ACTION REQUESTED:

The item is placed on tonight’s agenda to introduce the rezoning application and consider scheduling it for public hearing at the Planning Commission Regular Meeting on April 8, 2020. If, after the applicant’s presentation and following discussion, the Planning Commission is prepared to schedule the application for public hearing, then the following motion is suggested:

MOTION THAT application Z-2020-02 BE SCHEDULED for public hearing for the April 8, 2020 Planning Commission Regular Meeting.

Additional information should be added to the motion as deemed necessary by the Planning Commission.

 Charter Township of Garfield Planning Department Report No. 2020-43			
Prepared:	March 2, 2020	Pages:	3
Meeting:	March 11, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Shoe Dept. Encore Sign Review/Grand Traverse Mall		
File No.	1990-04-H	Parcel No.	05-021-015-00
Applicant:	Grand Traverse Mall, LLC		
Owner:	Grand Traverse Mall, LLC		

BACKGROUND:

The Grand Traverse Mall opened in 1992 as an enclosed shopping mall with several anchor stores. The site included an extensive parking and circulation layout, detailed landscaping plan, and a unified sign plan that limited development signs to entryways and limited wall signs to stores having direct access from the parking lots. The purpose of these elements is to create an attractive, uncluttered, cohesive site design.

PURPOSE OF APPLICATION:

The subject site is zoned C-P Planned Shopping Center. The Zoning Ordinance states “It is the intent of the C-P (Planned Shopping) Districts to recognize the various areas of our community that have been developed in a grouped retail setting with department store anchors and expansive parking areas. These planned centers are typically located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity.”

Section 630(G) of the Zoning Ordinance regulates signs permitted in the C-P Planned Shopping Center District. In the C-P District the following signs shall be permitted:

- 1) Signs permitted as of right.
 - a) One (1) wall sign is permitted per exterior storefront. Tenants occupying corner spaces may utilize one sign per elevation with a maximum of two signs. The maximum wall sign area shall be the lesser of 100 square feet or 20% of the area to which the sign is attached.
 - b) One (1) 100 square foot freestanding sign is permitted per public roadway for the specific development.

PROPOSED SIGN:

The applicant is proposing a 100-foot sign for Shoe Dept. Encore located on the south side of the mall adjacent to the food court entrance. The sign is proposed to be located next to the existing Dunham’s Sports store sign. The Dunham’s Sports sign was permitted by a Zoning Board of Appeals decision. Since that decision, the sign requirements of the Zoning Ordinance have been amended to be reflective of the original intent of the plan for the Grand Traverse Mall. Under the current Zoning Ordinance, the Dunham’s Sports store sign would not be permitted.

Based on the above referenced section, the proposed sign for Shoe Dept. Encore is not permitted as the store will not have an exterior storefront.

However, the Zoning Ordinance further states that any proposed sign(s) not meeting the standards for wall signs may be approved by the Planning Commission if the Planning Commission determines that all of the following standards are met:

- a) The proposed sign(s) shall be designed as an integral part of the development, with letter size and location proportional to the overall design.

- b) The Planning Commission determines that the maximum sign standards of the C-P district do not provide for the reasonable use of the planned shopping center.
- c) The proposed sign(s) is (are) appropriate for the site, compatible with surrounding land uses, and necessary for the reasonable use of the planned shopping center.
- d) The permitted sign(s) is (are), in the determination of the Planning Commission, the minimum increase(s) necessary to ensure that the proposed sign(s) is appropriate in scale, bulk and location relative to the site and surrounding land uses.
- e) All approved modifications from the required sign standards shall be specific to the sign(s) approved by the Planning Commission.
- f) The requested increase in wall sign area shall not exceed fifty (50) percent over that allowed in Subsection (1)(a).

STAFF COMMENTS:

Staff offers the following comments for consideration by the Planning Commission:

- a) *The proposed sign(s) shall be designed as an integral part of the development, with letter size and location proportional to the overall design.*

The proposed sign is not an integral part of the development. Typical mall developments do not have multiple exterior wall signs. According to the store directory on the Mall website, there are 57 stores. If all Mall stores were permitted exterior signs, there could be a significant number of exterior wall signs leading to a very cluttered appearance.

- b) *The Planning Commission determines that the maximum sign standards of the C-P district do not provide for the reasonable use of the planned shopping center.*

The sign standards do provide for reasonable use of the planned shopping center. The sign plan for Grand Traverse Mall is typical of many other malls where businesses located within the mall do not have exterior signs. The two development entry signs could be amended to identify anchor stores.

- c) *The proposed sign(s) is (are) appropriate for the site, compatible with surrounding land uses, and necessary for the reasonable use of the planned shopping center.*

The proposed sign is not part of the overall Mall sign plan and would create a precedent leading to additional exterior wall sign requests.

- d) *The permitted sign(s) is (are), in the determination of the Planning Commission, the minimum increase(s) necessary to ensure that the proposed sign(s) is appropriate in scale, bulk and location relative to the site and surrounding land uses.*

The proposed sign does not exceed measurement requirements and the applicant is not seeking a request to exceed those requirements.

- e) *All approved modifications from the required sign standards shall be specific to the sign(s) approved by the Planning Commission.*

The proposed sign does not exceed measurement requirements and the applicant is not seeking a request to exceed those requirements.

- f) The requested increase in wall sign area shall not exceed fifty (50) percent over that allowed in Subsection (1)(a).*

The applicant is not seeking a request to exceed this requirement.

RECOMMENDATION:

Based on the staff comments provided above, the following motion would be appropriate:

THAT application 1990-04-H, submitted by Grand Traverse Mall, LLC dated January 24, 2020, to install an exterior wall sign for Shoe Dept. Encore on parcel 05-021-015-00, BE DENIED.

Attachments:

1. Letter from Steve Russell of Brookfield Properties
2. Sign layout from Attitude & Experience, Inc.

Brookfield Properties

Garfield Township
Attn: Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

Distinguished Commission Members,

Grand Traverse Mall (**Mall**) and Brookfield Properties Retail (**BPR**) is requesting your consideration for additional signage identifying a potential new 14,447 square foot tenant at the Mall.

Per the signage regulations which apply to the Mall's current zoning (C-P Planning Shopping Center Commercial District; **C-P District**):

- (a) One (1) wall is permitted per exterior storefront. Tenants occupying corner spaces may utilize one sign per elevation with a maximum of two signs. The maximum wall sign area shall be lesser of the 100 square feet or 20% of the area in which the sign is attached.
- (b) One (1) 100 square foot freestanding sign is permitted per public roadway for the specific development

The code allows for the Planning Commission (**Commission**) to permit signage outside of the above regulations if the Commission determines that all of the following standards are met:

- (a) The proposed sign(s) shall be designed as an integral part of the development with letter-size and location proportional to the overall design.
- (b) The Commission determines that the maximum sign standards of the C-P District do not provide reasonable use of the planned shopping center.
- (c) The proposed sign(s) is (are) appropriate for the site, compatible with surrounding land uses, and necessary for the reasonable use of the planned shopping center.
- (d) The permitted sign(s) is (are) in the determination of the Commission, the minimum increase(s) necessary to ensure that the proposed sign(s) is appropriate in scale, bulk and location relative to the site and surrounding land uses.
- (e) All approved modifications from the required sign standards shall be specific to the sign(s) approved by the Commission.
- (f) The requested increase in wall sign area shall not exceed fifty (50) percent over the allowed in subsection (1)(a).

We submit the following as the Mall and BPR's thoughts for signage relief.

- (a) The proposed sign(s) shall be designed as an integral part of the development with letter-size and location proportional to the overall design.
 - a. The proposed Shoe Dept. signage is appropriately sized (72" by 100", 100 sq. ft.) under the allowable square footage, smaller than neighboring signs, and constructed in a first-class manner.

- (b) The Commission determines that the maximum sign standards of the C-P District do not provide reasonable use of the planned shopping center.
 - a. The current sign regulations do not consider the revised retail environment. The sign regulations inadvertently penalize tenants of traditional malls, with inward-facing entrance and centralized exterior access. The identification of non-anchor mall tenants is currently not allowed near the exterior shared entrances of the mall. However, if tenants are located in retail strip centers, with independent access, conformance with Section G of the code provides visibility, access, and advertising which allows for business performance. BPR & the Mall consider this unintended within the C-P District and an undue hardship placed on the Mall and its Tenants.
- (c) The proposed sign(s) is (are) appropriate for the site, compatible with surrounding land uses, and necessary for the reasonable use of the planned shopping center.
 - a. Yes.
- (d) The permitted sign(s) is (are) in the determination of the Commission, the minimum increase(s) necessary to ensure that the proposed sign(s) is appropriate in scale, bulk and location relative to the site and surrounding land uses.
 - a. The Mall and BPR believe the submitted meets these requirements.
- (e) All approved modifications from the required sign standards shall be specific to the sign(s) approved by the Commission.
 - a. BPR and the Mall understand if approved, the deviation from the code is specific to the sign presented.
- (f) The requested increase in wall sign area shall not exceed fifty (50) percent over the allowed in subsection (1)(a).
 - a. The sign does not exceed the maximum prescribed.

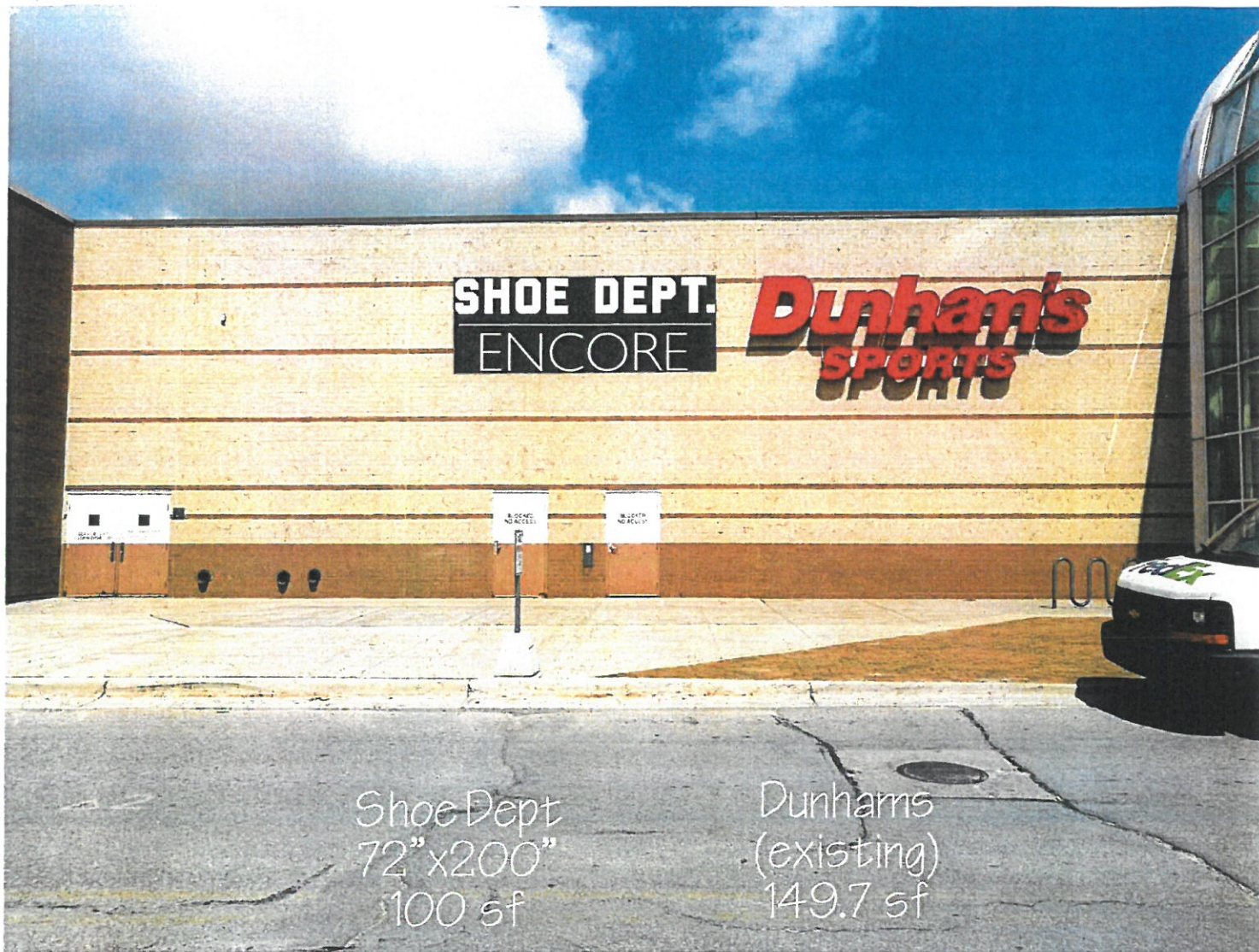
Thank you for your review and consideration of the request. I look forward to meeting with the Commission in March and discussing the concerns of the community and the Mall.

Regards,



Steve Russell, CCIM

Sr. Director | Development | Retail



Shoe Dept
72" x 200"
100 sf

Dunhams
(existing)
149.7 sf



Attitude &

Experience Inc.

1230 M-37 South, Traverse City MI 49685

service@attitudeandexperience.com 231.946.SIGN

signs ● service ● design ● parking lot lighting

This design belongs to Attitude & Experience Inc. and becomes the property of the customer only upon completion of an order, and is otherwise not to be used in whole or in part without written permission



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

MEMORANDUM

To: Planning Commission

From: John C. Sych, AICP
Planning Director

Date: March 4, 2020

Re: **Barlow Garfield Neighborhood Plan – Recommend to TB for Distribution**

Instead of providing a full hard copy of the draft Barlow Garfield Neighborhood Plan, we have enclosed only the chapter that received any revisions. *Chapter V Development Guidelines* has a revised non-motorized transportation plan map and additional information on the Opportunity Zone.

The Township Board will receive full copy of the draft plan for its consideration.

V DEVELOPMENT GUIDELINES

FUTURE LAND USE

The Cherryland Center. This plan envisions the redevelopment of the Cherryland Center as a catalyst for the neighborhood and to spur additional investment. The plan encourages mixed-use development on the site, which may be achieved through the following methods:

- *Zoning Changes* — The current C-P Planned Shopping zoning of the property permits a wide range of uses from entertainment centers to hotels. Further changes to the C-P district could allow for a greater flexibility in uses while also addressing connectivity, design standards, and other issues.
- *Planned Unit Developments* — The application of a planned unit development would provide greater flexibility to developers while also meeting community goals. A full redevelopment would allow for the creation of a public square or park where people could gather as a community and share experiences, as well as other amenities.

West Side of Barlow Street. The west side of Barlow Street is mostly light industrial. This plan is intended to encourage the continuation of light industrial uses while also allowing for additional complementary uses that create an innovation district. Business incubators, live-work units, makerspaces, and limited commercial may be considered for this area.

East Side of Barlow Street. At its core, this area is primarily residential. Improvement of this area will see a mix of new single and multi-family dwellings. Office and commercial uses may be permitted on Barlow Street between Floresta and South Airport Road.

Garfield Avenue and South Airport Road (East of Barlow). This area serves as a vital commercial center for the Township and region. Commercial uses along Garfield Avenue and South Airport Road, east of Barlow Street, should be maintained and improved. Improved access to these businesses is important for their continued vitality.

South Airport Road (West of Barlow). Industrial uses are needed to provide essential products and services for the community. Industrial uses should be maintained and improved along South Airport Road, west of Barlow Street. Complementary uses should be applied sparingly to keep it primarily an industrial area.

ZONING AND DESIGN STANDARDS

Standards for setbacks and building placement. Placement, scale, and design of buildings should establish a sense of place, while increasing the allowable density of land development creates a critical mass of activity. This critical mass of activity, through density, mix of uses, architectural character, and recreational opportunities draw new investment, visitors, and residents. This plan envisions any new buildings in the Barlow Garfield area to promote neighborhood character. For streets designed to be walkable, setbacks should be smaller and building placement should be consistent between neighboring sites.

Flexibility in land uses and improved urban design. To provide for a variety of development options, development of a mixed-use zoning district should be considered and the use of Planned Unit Developments should be applied where feasible to provide flexibility in uses and improved urban design.

Pedestrian-oriented design. To increase neighborhood walkability, buildings should be placed in close proximity and sidewalks should be constructed along major roads and interior streets and drives. Drive-thru development often conflicts with walkable areas and should be discouraged.

Connectivity. Shared driveways and cross-access easements should be developed to improve access, connect parking areas, reduce turning conflicts, and improve traffic flow on major thoroughfares. Currently, a limited number of driveways works successfully in providing smooth access to multiple businesses located at Cherryland Center. This same design can be applied to the south side of South Airport Road between LaFranier Road and Garfield Road. By providing cross access and consolidating driveways, access to businesses from South Airport Road is easier and results in an improved level of service on South Airport Road. The Township should work with the Grand Traverse County Road Commission and property owners on access issues.

Community Appearance and Identity. Positive visual aspects of the built and natural environment promote a safe and attractive neighborhood for residents and visitors. Furthermore, community pride is projected through the development and maintenance of a distinctive image. Activities to improve appearance include cleanup of properties, including enforcement of the Township junk ordinance, and upgrade of public infrastructure, including streets and sidewalks. Landscaping and signage create and enforce neighborhood identity.

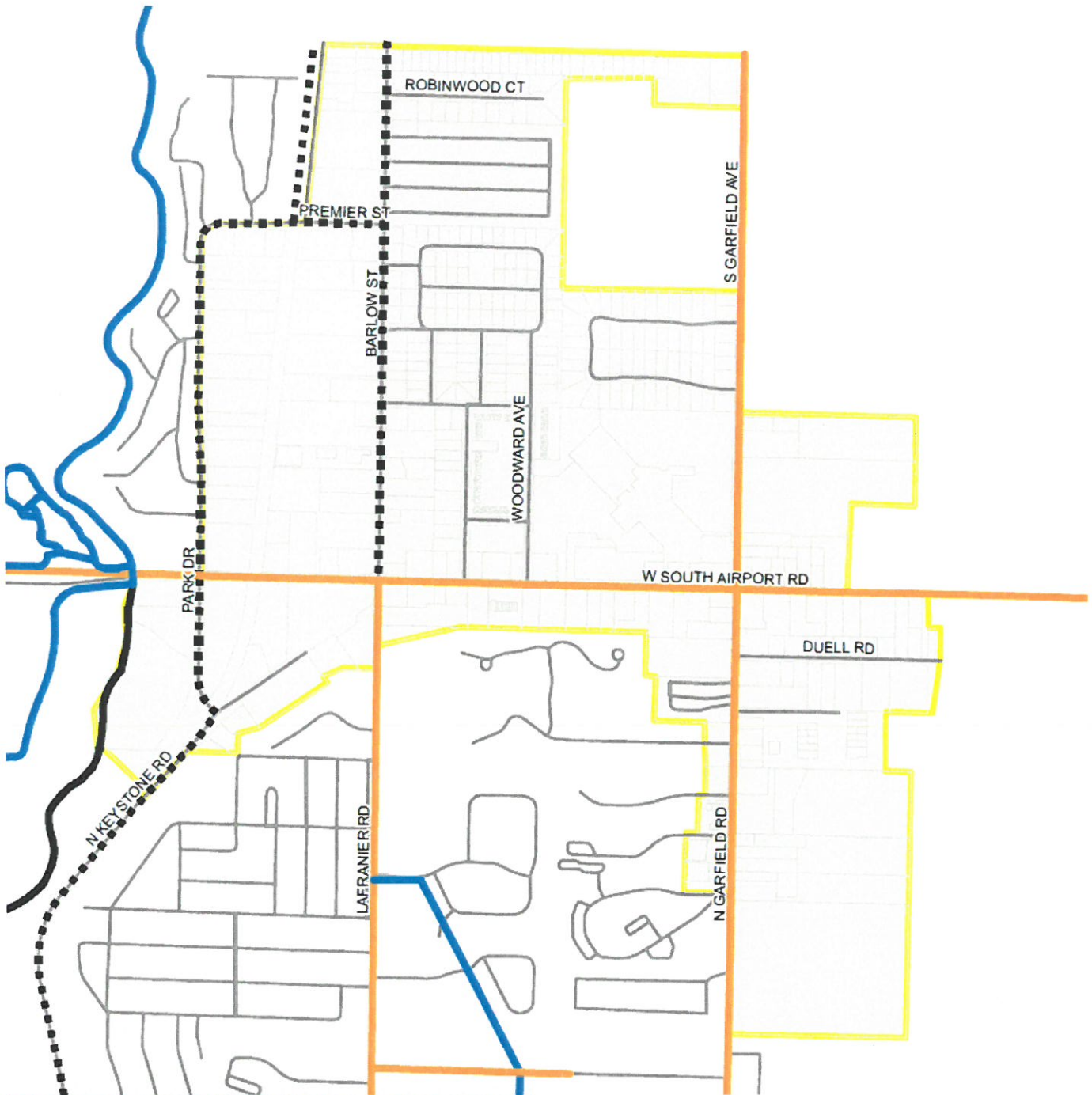
PUBLIC INFRASTRUCTURE

Prioritization of improvements. Coordinated construction of public and private infrastructure will support new development and ensure efficient expenditure of resources. Developing a capital improvement program (CIP) for the neighborhood is recommended for public improvements, including utilities, walkways, and streets.

Parks and gathering places. Establishing public parks and other types of gathering places in key locations within the neighborhood will create a better sense of community and meet the needs of residents and visitors. The parks and gathering places can be small in scale and provide a variety of activities and entertainment.

Non-motorized network. Sidewalks and trails should be built to expand the non-motorized network for the neighborhood and to connect with adjoining neighborhoods and areas. In addition to main corridors, interior streets and drives should also include sidewalks. On the following pages, current and proposed changes to the Township Non-Motorized Plan Map are provided to illustrate current and new sidewalk and bike path priorities for the neighborhood.

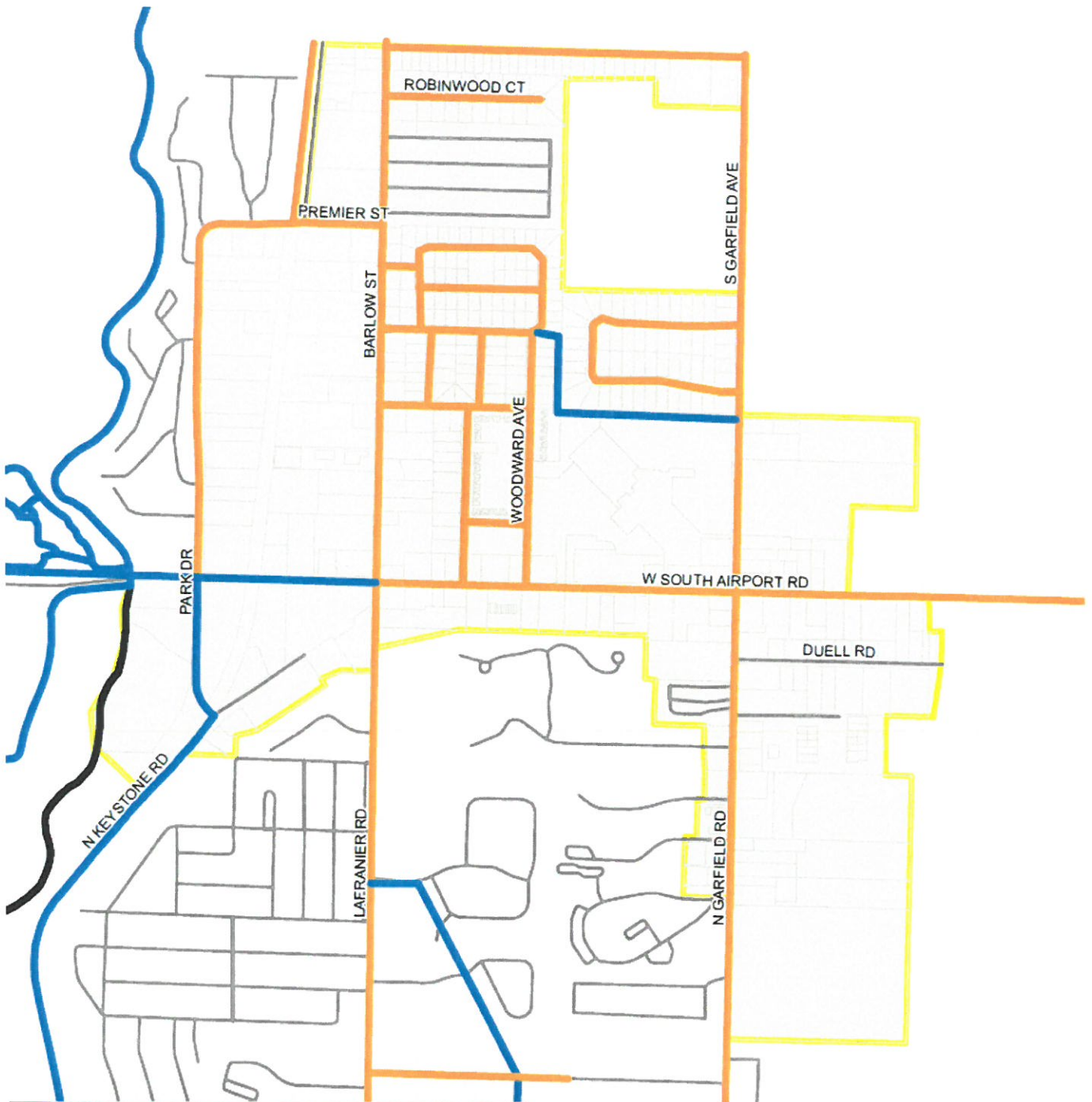
Streetscape improvements. To build neighborhood character and improve appearance, landscaping and pedestrian scale lighting should be provided along major thoroughfares and prominent interior streets.



Current Non-Motorized Plan Map from the Garfield Township Master Plan and Five-Year Parks and Recreation Master Plan

Legend

- Bike Path
- - - Nature Trail / Singletrack
- Sidewalk
- · - · - Connector Trail
- - - Bike Lane / Route
- Township Parkland
- Other Public Parkland
- Street



Proposed Non-Motorized Transportation Plan Map for the Barlow Garfield neighborhood, envisioning a greater density of sidewalks and trails in the neighborhood core

Legend

- Bike Path
- Nature Trail / Singletrack
- Sidewalk
- - - Connector Trail
- - - Bike Lane / Route
- Township Parkland
- Other Public Parkland
- Street

HOUSING

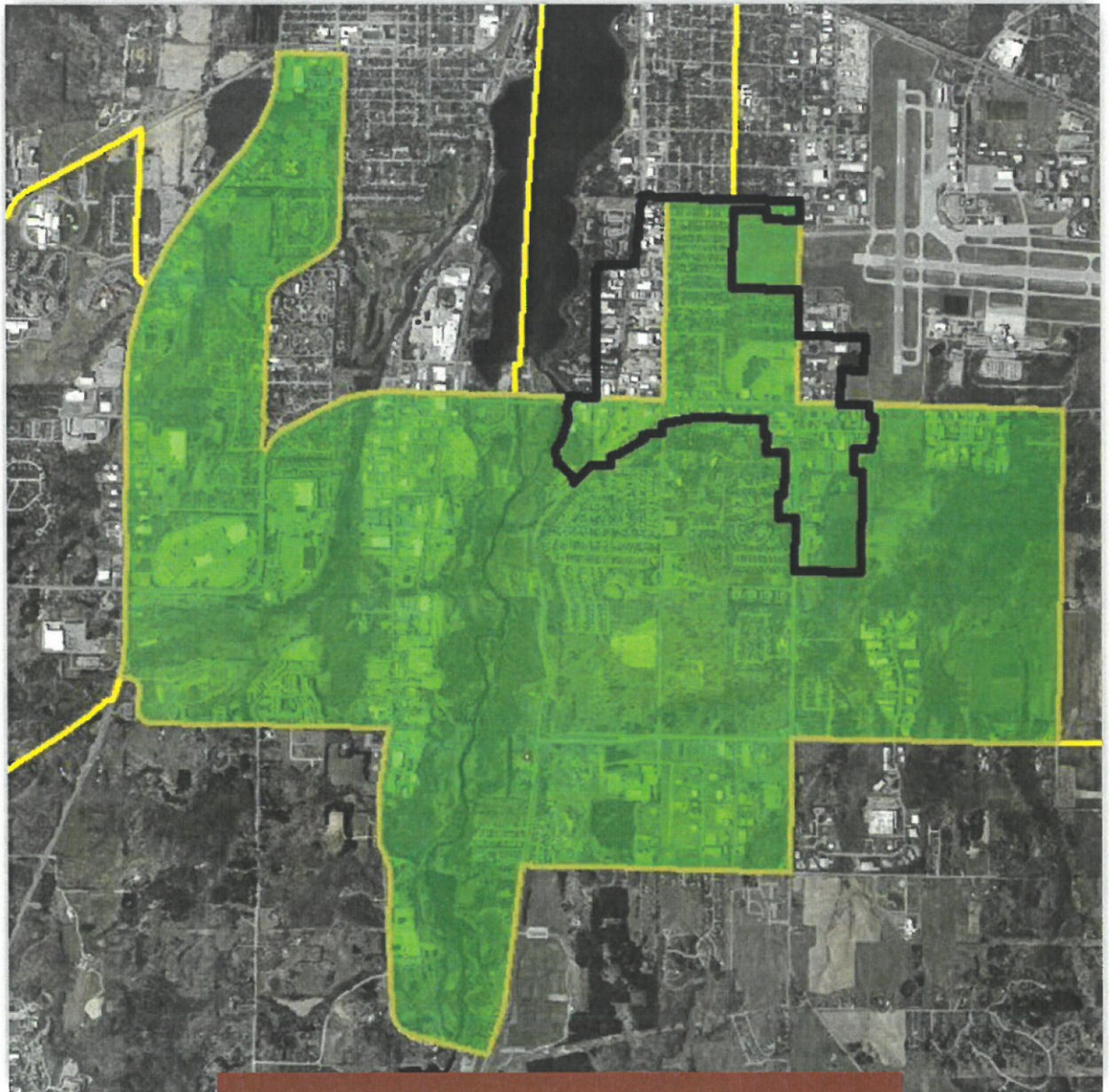
Housing options. A variety of housing densities, unit types, and sizes should be strongly encouraged in this area. Where appropriate, housing may be multiple-stories, provided it does not conflict with FAA height requirements.

Residential options in mixed-use development. Residential options in mixed-use and non-residential districts should be provided where appropriate, including dwelling units above commercial uses and live-work units.

INVESTMENT

Economic development and investing. Various economic development mechanisms serve as incentives for private investment for redevelopment and new development. The following incentive mechanisms should be pursued or promoted:

- **Brownfield redevelopment** uses tax increment financing (TIF) to reimburse brownfield related costs incurred while redeveloping contaminated, functionally obsolete, blighted or historic properties. The Grand Traverse County Brownfield Redevelopment Authority (BRA) is the local jurisdiction entity that manages the development of brownfield plans. After approval of a brownfield plan by the local governing body, the BRA may request capture of state school taxes via a work plan submitted to the State of Michigan. With local and state support, a brownfield plan should be applied to the Cherryland Center as incentive with new private investment.
- As noted above, a capital improvement program is recommended for the neighborhood. A CIP prioritizes public infrastructure improvements and identifies the needed resources to construct and maintain those improvements. One resource is the **Corridor Improvement Authority**. The Corridor Improvement Authority (CIA), Public Act 57 of 2018, is designed to assist communities with funding improvements in commercial corridors outside of a downtown area. The authority could be created and operated in a similar manner to a Downtown Development Authority (DDA). Once created, a Corridor Improvement Authority may hire a director, establish a tax increment financing plan, levy special assessments, and issue revenue bonds and notes for improvements along the corridor. The application of a CIA or similar TIF authority should be further evaluated along the South Airport Road, Garfield Road, and Barlow Street corridors.
- The **Garfield Opportunity Zone** is a United States Census Tract generally composed of economically distressed neighborhoods that qualify for the Opportunity Zone program, according to criteria outlined in the United States Tax Cuts and Jobs Act of 2017. The Opportunity Zone program was created to revitalize these neighborhoods using private investments rather than taxpayer dollars. To stimulate private participation in the program, taxpayers who invest in the Opportunity Zone are eligible to benefit from capital gains tax incentives available exclusively through the program. Continued promotion and awareness of the Opportunity Zone provides added value to potential investors in the neighborhood.



Map showing the Garfield Opportunity Zone, highlighted in green, with the Barlow Garfield neighborhood area outlined in black.

The Garfield Opportunity Zone covers most of the Barlow Garfield neighborhood. To access the tax benefits, investors must invest in the Opportunity Zone specifically through Opportunity Funds. A qualified Opportunity Fund is a US partnership or corporation that intends to invest at least 90% of its holdings in one or more qualified Opportunity Zones.

In exchange for following the rules of the Opportunity Zone program and investing in the Opportunity Zone through Opportunity Funds, investors can receive substantial capital gain tax incentives immediately and over the long term.

How does the Opportunity Zone work?

When an investor divests an appreciated asset, such as stocks or real estate, they realize a capital gain, which is a taxable event. Under the Opportunity Zone Program, if an investor reinvests a capital gain into an Opportunity Fund, they can defer and reduce their tax liability on that gain. Beyond that, they can also potentially receive tax-free treatment for all future appreciation earned through the fund. Together, these tax incentives can boost after-tax returns for Opportunity Fund investors:

- Those who invest realized capital gains into a Qualified Opportunity Fund can defer paying capital gains tax for those earnings until April 2027 for investments held through December 31, 2026. Gains must be invested in a Qualified Opportunity Fund within 180 days in order to qualify for any tax treatment available under the Opportunity Fund program.
- Those who hold their Opportunity Fund investments for at least five years prior to December 31, 2026, can reduce their liability on the deferred capital gain principal invested in the Opportunity Fund by 10%. If the investment is held for a minimum of seven years prior to December 31, 2026, the tax liability can be reduced by 15% total.
- Those who hold their Opportunity Fund investment for at least 10 years can expect to pay no capital gains taxes on any appreciation in their Opportunity Fund investment. That's because Opportunity Fund gains earned from Opportunity Zone investments can qualify for permanent exclusion from the capital gains tax if the investment is held for at least 10 years.

What types of investments are allowed?

Real estate investments using Opportunity Funds must lead to “substantial improvements” within 30 months after the acquisition. Investments in businesses such as liquor stores, massage parlors, country clubs, or casinos are prohibited through Opportunity Funds.

Why should investors be interested?

As part of the Traverse City urbanizing area, investors looking to this area will find projects that are low risk and provide substantial community benefit. Although the Opportunity Zone may be classified as an economically distressed area, Garfield is a market that has experienced continuous lucrative investment with future growth potential.

Redevelopment Ready Communities (RRC). Township enrollment in the RRC program operated by the Michigan Economic Development Corporation will help to attract and retain businesses, offer improved customer service, and streamline the development approval processes.

Further information on the Opportunity Zone, corridor improvement authorities, and tax increment financing is available in Appendix A.

