

CHARTER TOWNSHIP OF GARFIELD
VIRTUAL PLANNING COMMISSION MEETING

Wednesday, March 10, 2021 at 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

The Wednesday, March 10, 2021, Planning Commission meeting at 7:00 pm will be held virtually due to the revised MDHHS Michigan Emergency Order and the Open Meetings Act amendment extending the remote attendance provision to March 31, 2021. To provide input on any business that will come before the Commission or to contact the Commissioner(s), please send an email to the Township Planning Director, John Sych, at jsych@garfield-twp.com.

You are invited to join the Planning Commission meeting on March 10, 2021 at 7:00 pm. Please click the link below to join the webinar:

<https://us02web.zoom.us/j/88246835855>

Or iPhone one-tap :

US: +13126266799,,88246835855# or +19292056099,,88246835855#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

Webinar ID: 882 4683 5855

International numbers available: <https://us02web.zoom.us/j/88246835855>

Procedure for public comment if joining the webinar by phone: If you wish to make a comment during the Public Comment portion of the meeting, dial *9 to raise your hand. Public comment will be conducted following the guidelines below.

A G E N D A

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance-

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. **Review and approval of the Agenda – Conflict of Interest**
3. **Minutes** – February 24, 2021
4. **Correspondence**
5. **Reports**
 - a. Township Board
 - b. Planning Commissioners
 - c. Staff Report
6. **Unfinished Business**
 - a. BATA/TCHC Transit-Oriented Mixed-Use Development PUD – Update
7. **New Business**
 - a. PD 2021-32 – Burger King Cherryland SPR
 - b. PD 2021-31 – Chick-fil-A SUP – Introduction
 - c. PD 2021-30 – Prince of Peace Lutheran Church SUP – Introduction
8. **Public Comment**
9. **Other Business**
10. **Items for Next Agenda – March 24, 2021**
 - a. Zoning Ordinance Use Chart – Article 3 Discussion
 - b. Kensington Park PURD – Discussion
 - c. Seasonal Agritourism – Discussion
 - d. 4051 Cedar Run Road – Discussion
11. **Adjournment**

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
February 24, 2021**

Call Meeting to Order: Chair Racine called the February 24, 2021 Planning Commission meeting to order at 7:00pm on the ZOOM platform.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: **Joe McManus** (Garfield Township, Grand Traverse County, MI), **Molly Agostinelli** (Garfield Township, Grand Traverse County, MI), **Pat Cline** (Long Lake Township, Grand Traverse County, MI) **Joe Robertson** (Garfield Township, Grand Traverse County, MI), **Robert Fudge** (Garfield Township, Grand Traverse County, MI), **Chris DeGood**, (Garfield Township, Grand Traverse County, MI) , and **John Racine** (Garfield Township, Grand Traverse County, MI)

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:02)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:02)

Agostinelli moved and Fudge seconded to approve the agenda as presented.

Yeas: Agostinelli, Fudge, Cline, DeGood, Robertson, McManus, Racine

Nays: None

3. Minutes (7:03)

a. February 10, 2021

McManus moved and Cline seconded to adopt the minutes of February 10, 2021 as amended noting that on page two, it would be noted that three accesses to the site were being proposed – two on LaFranier and one on Hammond Road; and on page three in the first sentence, the word “transit” would be added before the word “developers” and a sentence would be added which states that BATA has yet to receive the three year grant authorization.

Yeas: McManus, Cline, Fudge, DeGood, Robertson, Agostinelli, Racine

Nays: None

4. Correspondence (7:06)

None

5. Reports (7:06)**Township Board Report**

Agostinelli reported that the board accepted the Planning Commission Annual Report and the text amendment affecting signage was set for a public hearing. The board will fill the two alternate positions on the Zoning Board of Appeals rather than amending the bylaws to allow for more members.

Planning Commissioners

No Reports

Staff Report

Sych reported that new application forms will soon be uploaded to the township website with fillable PDF's. Packets will be in digital format, making them clearer for commissioners. Sych also commented on the building height as it pertains to the BATA/TCHC PUD. Underlying zoning does not meet the height requirement, but the R-3 zoning would allow for a 3 story/40-foot building.

6. Unfinished Business**a. PD-2021-26 – 2021 Priorities and Master Plan Implementation – Revised (7:13)**

Commissioners reviewed the revised 2021 Priorities and Master Plan Implementation and suggested that the township board also review the plan. Commissioners inquired about a joint meeting to discuss the CIP plan and asked Sych about any other possible discussion items.

b. PD-2021-27 – Zoning Ordinance Use Chart – Article 2 and Article 3 Discussion #2 (7:17)

The Planning Commission has been studying several proposed amendments to the Zoning Ordinance with the intention of developing a Use Chart. Commissioners have already studied Article 2 Definitions for the proposed use chart and are reviewing the various districts and regulations found in Article 3. Staff said that all uses should correspond to the definitions. Commissioners briefly reviewed the Article 2 definitions and asked to add language explaining contiguous lots, a site condominium definition under property ownership and a correct high water mark for Silver Lake.

Commissioners then began to review Article 3 which involved District Regulations and the additional standards for each zoning district. Cemeteries and parks were discussed in the R-1 One Family Residential district and staff will add a reference to the LARA regulations pertaining to cemeteries. The R-3 SUP process ensures a Planning Commission review for multi-family housing. Staff pointed out the difference between the medical office, clinic use and the medical office, surgical center use as

used in some of the commercial districts as well as the low, medium and high volume retail uses. The major and minor vehicle service center use was also discussed. Commissioners agreed that a document which tracked all changes would be useful and will begin discussion with the C-H Highway Commercial uses next time.

7. New Business

None

8. Public Comment (8:51)

Carey Waldie commented that commissioners were invited to a March 14th dinner at the Living Hope Church to celebrate the completion of the new addition to the church.

9. Other Business (8:53)

None

10. Items for Next Agenda – March 10, 2021 (8:53)

- a. BATA/TCHC Transit-Oriented Mixed-Use Development PUD – Update
- b. Burger King Cherryland SPR
- c. Chick-fil-A SUP – Introduction
- d. Prince of Peace Lutheran Church SUP – Introduction


11. Adjournment

Fudge moved to adjourn the meeting at 9:03pm.

Yeas: Fudge, Agostinelli, Robertson, McManus, DeGood, Cline, Racine

Nays: None

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2021-32			
Prepared:	March 3, 2021	Pages:	10
Meeting:	March 10, 2021 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Burger King – Site Plan Review		
Applicant:	Jim Riemersma, JSR Construction		
Owner:	Casciano Traverse City, Inc.		
File No.	SPR-2021-01		
Parcel No.	05-014-049-80		

PURPOSE OF APPLICATION:

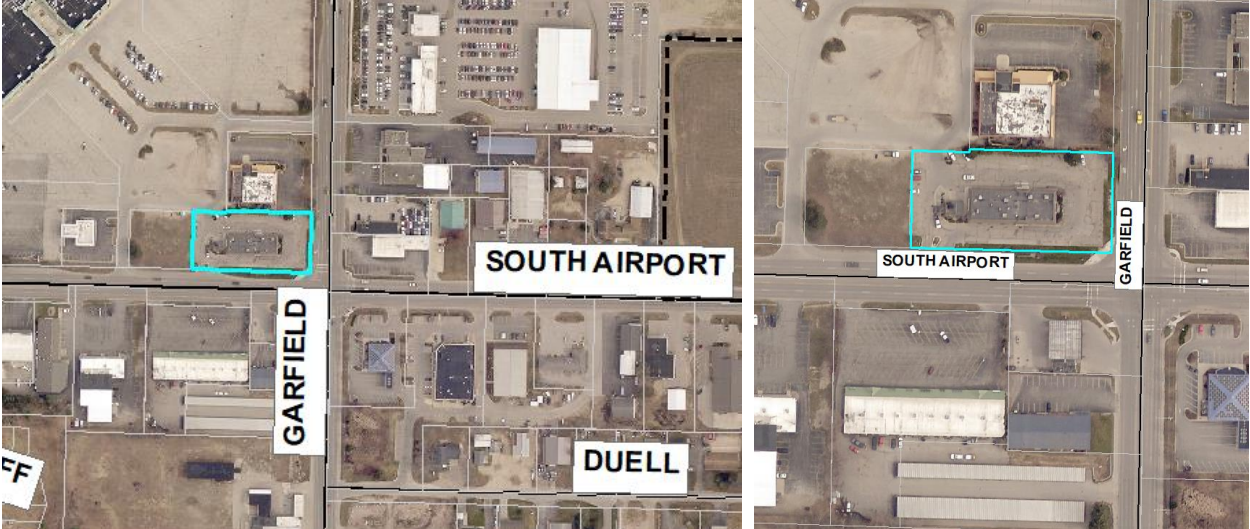
Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

The project is to demolish and replace the existing Burger King at 1800 South Garfield Avenue, located at the northwest corner of South Garfield Avenue and West South Airport Road. The existing site (Parcel ID #05-014-049-80) is just over one (1) acre. The proposed development is for a restaurant with drive-through, which is a use by right in the C-P Planned Shopping Center district. The intent of the C-P district as stated in the Zoning Ordinance is as follows:

“It is the intent of the C-P (Planned Shopping) Districts to recognize the various areas of our community that have been developed in a grouped retail setting with department store anchors and expansive parking areas. These planned centers are typically located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity. This section recognizes the transition from antiquated development patterns and encourages multi-use, multi-story, infill development of the parking areas to create a more pedestrian-friendly, mixed-use area. Multi-story structures are encouraged.”

Zoomed-out (left) and zoomed-in (right) aerial images of the subject property (highlighted in blue):



SITE DEVELOPMENT REQUIREMENTS:***(1) General***

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards. The following criteria as listed in Section 424.F(1)(a)-(j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

(a) Required Information. *All required information shall be provided.*

- Staff has determined the application and site plan to be substantially complete.

(b) Outside Agencies. *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals that are not received may be made conditions of the site plan approval.

(c) Essential Facilities and Services. *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- The project is a demolition and reconstruction of a building on an existing developed site, and thus many essential facilities and services are in place.
- The site has been used as commercial without overburdening area municipal services.
- The site is accessed from a major road and is serviced by existing public sewer and water.

(d) Natural Features. *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- The project is a demolition and reconstruction of a building on an existing developed site. There are no known sensitive natural features that would be impacted by this project.

(e) Site Design. *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- The reconstructed Burger King will be appropriate in character with the general vicinity including the Robby's Mexican restaurant next door.
- One of the purposes of this project is to improve functionality of the drive-through, which will minimize adverse effects on adjacent properties and the neighborhood.
- For a drive-through, a setback of at least 60 feet from the right-of-way line of any existing or proposed street shall be maintained. The site plan shows that at least a 60-foot setback is maintained between the right-of-way line and the new building.
- Commissioners should consider the appropriateness of landscaping proposed for this site as it contributes to the existing appearance and character of the general vicinity. Please see Staff comments on the proposed landscaping described below in this letter.

(f) **Orientation.** *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The site is a corner lot at the intersection of Garfield Avenue and South Airport Road. The main entrance of the proposed building is on the south side facing South Airport Road.
- A proposed internal sidewalk and crosswalk will connect the front of the new building with a proposed new sidewalk along South Airport Road.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.*

- The site will maintain existing ingress and egress points: at the southwest corner of the site to South Airport Road, about 200 feet west of the intersection between South Airport Road and Garfield Avenue, and at the northwest corner of the site to Cherryland Center. There is no existing or proposed access to Garfield Avenue. The southwest egress will only allow for right turns from this drive onto South Airport Road.
- The site plan shows the raised island in the middle of the ingress-egress drive is proposed to be removed. Staff is concerned this would likely negatively impact the safety of both pedestrian and vehicular traffic, particularly since the island helps prevent left turns from this drive onto South Airport Road. Staff discussed this issue with staff from the Grand Traverse County Road Commission who echoed these concerns and said that the design of the island may also be improved to reinforce desired traffic patterns. Site plan review will also include review from the County Road Commission.
- The proposed drive-through configuration would create two lanes for ordering that merge into one lane for pickup. The drive-through would be reconfigured to move the ordering menu boards from the west side of the building to the east side, and drivers will only need to circle the building once instead of twice. Commissioners should consider the proposed configuration as it relates to site design and traffic. Staff has observed other drive-throughs in the Township with high traffic volumes, likely reflecting greater usage of drive-throughs due to the COVID-19 pandemic.
- New sidewalks are proposed along both South Airport Road and Garfield Avenue located mostly in the public right-of-way and including some portions located on the development site. According to Section 522 of the Zoning Ordinance, “non-motorized pathways may be constructed within the public street right-of-way or upon private property subject to an appropriate public access easement being recorded.” Since both South Airport Road and Garfield Avenue are arterial roads, the sidewalks are required to be 6 feet wide and are proposed as 6 feet wide. The applicant is required to record a public access easement for the proposed sidewalks.

(h) **Shared Drives.** *Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As stated above, the existing ingress and egress points will be maintained to South Airport Road and to Cherryland Center. There is currently no shared access between Burger King and Robby’s to the north or between the Burger King and the site immediately to the west.

Based on the current development pattern, it appears unlikely that there are opportunities for shared drives on this site. However, any future developments to the west and northwest may provide such opportunity and shared drives should be created in this scenario.

(i) ***Impervious Surfaces.*** *The amount of impervious surface has been limited on the site to the extent practical.*

- The project is on an existing site which is mostly impervious surface. The site plan shows some impervious surface being removed to add landscaping, especially along the Garfield Avenue frontage, and therefore reducing the overall amount of impervious surface.

(j) ***Master Plan.*** *The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The proposal fits with the Future Land Use Map, as the parcel and surrounding vicinity are envisioned as Commercial, which accommodates a wide range of potential businesses.
- The site is part of the Barlow Garfield Neighborhood Plan which guides development in this neighborhood of the Township. This plan included several development principles for this neighborhood encompassing the following:
 - Allow for mixed-use development on primary corridors.
 - Account for public spaces that accommodate a variety of activities.
 - Encourage connectivity through sidewalks, trails, cross-access, and other means.
 - Allow sites to be designed at a scale that encourages a neighborhood character.
 - Allow for new housing with diverse selection of unit types and sizes.
 - Facilitate improvements for public infrastructure upon new development.
- The proposed sidewalks along South Airport Road and Garfield Avenue help support the development principle of encouraging connectivity.
- The proposed site design will be at a similar scale to that of other sites on this corridor and on neighboring properties. The site design development principle in the Barlow Garfield Neighborhood Plan indicates that site design will reinforce the development principles by having consistency in building setback and placement, landscaping and planting elements, and other site features. The building will meet the minimum setback for a drive-through as stated in the Zoning Ordinance. Please see Staff comments on the proposed landscaping described below in this letter regarding the impact on the site design and character.
- The Barlow Garfield Neighborhood Plan envisions a connected, livable, community center within Garfield Township in this neighborhood. The proposed project is to redevelop an existing drive-through use which continues the existing development pattern for this and several nearby sites. However, any further continuation of this development pattern would not likely enhance the vision of this neighborhood.

The following review of the proposal with regards to the relevant sections within Article 5 – Development Standards is also provided:

Access Management

As stated above, the existing ingress and egress points will be maintained to South Airport Road and to the Cherryland Center site. Section 512 states all land located within a single property tax code and fronting on a state highway or county road shall be entitled to one driveway or road access per existing parcel. The site has road access only to South Airport Road, a county road. There is no existing or proposed access to Garfield Avenue. This is consistent with the intent of access management standards. As stated above, any

future developments to the west and northwest may provide opportunities for shared drives, which should be developed as such opportunities arise.

Dumpster Enclosures

A dumpster enclosure is proposed just next to the building within the drive-through loop. Section 516 states that enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. Dumpster enclosure elevations have been included with the site plan and show the outside of the enclosure as brick to match the wall of the building. The enclosure also includes painted, galvanized, corrugated wood gates which are opaque and not plastic or vinyl slats. All standards of Section 516 appear to be met.

Lighting

Lighting standards of Section 517 of the Zoning Ordinance are described as follows:

Zoning Ordinance Lighting Standard	Subject Site
<p><i>A. Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.</p>	<p>None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.</p>
<p><i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.</p>	<p>The lighting plan includes a 3D rendering of the building and site depicting the impacts of the proposed lighting. The fixtures do not appear to direct any glare or light beyond the property line. None of the proposed light fixtures appear to be directing light upwards.</p>
<p><i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.</p>	<p>A few of the wall-mounted lights are over 20.0 foot-candles going as high as 26.2 foot-candles. The average illumination levels for the parking areas and the drive areas appear to be met. The illumination levels appear to be greater than 1.0 foot-candles along the north and west property lines, although it is unclear which light sources are causing this level of illumination. On the photometric plan, there are no values shown on the lot lines. The lighting and photometric plans shall be updated to meet illumination standards of Section 517 of the Zoning Ordinance, and a note shall be added to the site plan that these standards will be met.</p>
<p><i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.</p>	<p>Notes on the lighting plan show that all fixtures will emit light measuring 3,000 K.</p>

Zoning Ordinance Lighting Standard	Subject Site
<i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	The plan shows proposed new fixtures including LED lights for pole-mounted fixtures. Several existing light poles will be moved, and existing fixtures will be replaced with LED lights. No prohibited lighting elements are proposed.
<i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Five pole-mounted lights are shown with heights of 35 feet. Maximum building height in the C-P district is 50 feet.

Stormwater Management

Stormwater review by the Township Engineer will be required prior to the issuance of a Land Use Permit. Stormwater will be managed onsite in an underground detention system.

Landscaping

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including the ingress and egress drives) for each lot line and for the parking lot interior area:

Lot Line (Length)	Adjacent Land Use	Buffer Planting Requirement	Amount Required	Amount Provided
West (145 ft.)	Commercial	Type “B” * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area * Minimum width: 10 feet	3 large trees 2 med./small trees 6 shrubs 10-foot width	6 large trees 0 med./small trees 6 shrubs 5-foot width
North (275 ft.)	Commercial	Type “B” * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area * Minimum width: 10 feet	6 large trees 3 med./small trees 11 shrubs 10-foot width	12 red cedar trees (existing) 2 red pine trees (existing) 0 shrubs 5-foot width
East (150 ft.)	Arterial Road (Garfield)	Type “D” * Ground cover as specified in Section 530.J, plus * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area * Minimum width: 20 feet	6 large trees 5 med./small trees 5 evergreen trees 20-foot width	3 large trees 2 small trees 6 shrubs 10-foot width (narrowest)
South (260 ft.)	Arterial Road (S. Airport)	Type “D” * Ground cover as specified in Section 530.J, plus * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area * Minimum width: 20 feet	11 large trees 8 med./small trees 8 evergreen trees 20-foot width	6 large trees 3 small trees 12 shrubs 10-foot width

The letter from Innovative Design discusses the difficulty in fulfilling the landscaping requirements on the site, including the limitations given the size of the site. The applicant proposes the landscaping described above including buffers along both Garfield Avenue and South Airport Road that would be in line with the Type “B” rather than the Type “D” buffer and requests a waiver from the landscaping requirements from the Planning Commission.

As the approval authority for this project, the Planning Commission may waive or adjust any landscaping requirement in whole or in part provided that one or more of the following conditions exist upon the site:

- (1) Existing conditions such as topography or vegetation provide an established screen or buffer which is equal to or superior in its ability to meet the Purpose of this Section. For the purposes of this subsection, vegetation requirements may be adjusted either in terms of the quantity of plantings otherwise required or in terms of the physical location of plantings otherwise required.

- (2) *Decorative walls or fencing will be provided in lieu of all or some required plantings to provide an equal or superior buffer to meet the Purpose of this Section.*
- (3) *Natural features such as steep slopes or other topographical features make full compliance impractical or impossible.*
- (4) *Space limitations on the site or prevailing development patterns in the surrounding neighborhood justify alternative compliance.*
- (5) *Safety considerations warrant flexibility upon the site.*
- (6) *No practicable alternative in the placement of a building, structure, street or utility construction, access drives, stormwater management facilities, trails or pathways, or other site improvements is available.*
- (7) *In the instance of a waiver being requested, a modification request shall only be approved upon a determination that the existing site conditions or developed form of a property are such that the requirements of this section cannot reasonably be completed, that an alternative landscaping plan cannot be reasonably be substituted, and that the requested modification is the minimum modification necessary resulting from such site conditions or developed form.*

In reviewing this waiver request, Planning Commissioners may consider the existing conditions of the site, other requirements which need to be met, prevailing development patterns along Garfield Avenue and South Airport Road, the visual impacts of site elements such as menu boards, and any other relevant factors.

Almost all plant species proposed are recommended in the Recommended Planting Guidelines for Garfield Township. The Japanese holly / “sky pencil” is not listed as either a recommended or prohibited species.

Staff opinion is that the landscaping on the northern lot line is already well-established and the proposed landscaping on the western lot line is currently adequate, since to the west is an undeveloped parcel with unknown future development. Staff is of the opinion that the proposed landscaping along the eastern and southern lot lines provide a generally adequate buffer from the roadways, but there may need to be better screening of the menu boards on the Garfield Avenue side. The Planning Commissioners should consider requiring the applicant to provide additional screening of the menu boards, either with an island next to the drive-through lane or with additional screening directly along Garfield Avenue.

Parking, Loading, and Snow Storage

Restaurants with a drive-through have a minimum parking requirement of 1 space for each 150 square feet of floor area and a maximum of 1 space for each 75 square feet of floor area. The proposed building will be 3,750 square feet, giving a minimum of 25 spaces and a maximum of 50 spaces. There will be 29 total parking spaces, including 2 barrier-free. Minimum dimensions for regular parking spaces are 9 feet by 20 feet, which have been met.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. Two bicycle racks are proposed and indicated on the plan, which will give space for 4 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long. A loading zone meeting these requirements shall be depicted on the site plan. This may be an off-hour loading zone.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. This site plan indicates 29,160 square feet of parking space and maneuvering lane area and 2,916 square feet of snow storage required. The plan indicates 3,100 square feet of snow storage will be provided.

Signs

Signs require sign permit review and are not approved under the site plan review process. A note shall be added to the site plan elevation drawings that all signs are subject to sign permit review.

(2) External Access

All site plan proposals submitted under the requirements of the C-P Planned Shopping District shall provide for the proper handling of traffic and pedestrians throughout the site. The site plan shall limit ingress and egress along major thoroughfares and access properties by way of internal service drives and pedestrian walkways. Access will be from existing ingress and egress locations at the southwest and northwest corners of the site. The drive-through circulation will be flipped so that vehicles only need to encircle the building once to use the drive-through.

(3) Internal Pedestrian Circulation

Section 522 requires pathways and interior sidewalks. Interior sidewalks are shown along the east, south, and west sides of the building along with a crosswalk connecting the front of the building to the proposed sidewalk along South Airport Road.

(4) Non-Motorized Pathways

Sidewalks are proposed along both South Airport Road and Garfield Avenue. Since both South Airport Road and Garfield Avenue are arterial roads, the sidewalks are required to be 6 feet wide and are proposed as 6 feet wide. The applicant is required to record a public access easement for the proposed sidewalks.

(5) Building Placement

From Section 322 C. (5), buildings shall be placed in a manner that encourages pedestrian circulation and connectivity among the various out lots and internal uses. All buildings shall be located adjacent to a curbed internal roadway with the prominent building wall facing the roadway or access drive. Buildings fronting an internal roadway or access drive shall be accessible by pedestrian walkways.

The building placement is consistent with that of surrounding sites and will help improve circulation on the site. The direct access to South Airport Road is an existing condition. Future development of Cherryland Center may encourage cross access and an internal curbed roadway within Cherryland Center. Sidewalks along both South Airport Road and Garfield Avenue will provide pedestrian access to the site.

(6) Vegetative Transition Strip

A vegetative transition strip of at least fifty feet wide is required if the site abuts a residential or agricultural zone, but this does not apply in this case. Comments on landscaping for the whole site are included above.

(7) Service Drives

Access to the site is not from an interior drive but directly from South Airport Road, a major thoroughfare. However, the direct access to South Airport Road is an existing condition.

(8) Prohibited Outdoor Storage

The applicant does not propose any outdoor storage.

USE STANDARDS – DRIVE-THROUGH:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

1. *Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.*

The site plan shows the building, two drive-through service lanes, and the parking area. There is no outdoor dining proposed for this site.

2. *A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.*

The building measures approximately 75 feet from the right-of-way line of Garfield Avenue.

3. *Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.*

The existing ingress and egress drive is over 200 feet away from the nearest intersection.

4. *Pedestrian areas shall be clearly marked and maintained.*

New sidewalks are proposed along both South Airport Road and Garfield Avenue, with crosswalk connection from South Airport Road to the front of the building. There will also be some internal sidewalks along the east, south, and west sides of the building.

5. *Only one (1) ingress-egress drive shall be allowed per major thoroughfare.*

The only ingress-egress drives are from South Airport Road, a major thoroughfare, and from the internal ingress-egress location to Cherryland Center at the northwest corner of the site.

6. *All parking requirements shall comply with Article 5 of this Ordinance.*

The parking requirements are described in a previous section of this letter.

7. *Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.*

The parcel is 150 feet wide by 300 feet long.

8. *Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).*

The proposed drive-through lanes will accommodate at least 12 queuing spaces.

9. *Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an*

extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.

This requirement shall be enforced as needed as part of the operation of the site.

10. The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

The applicant shall provide information demonstrating that this requirement is met.

RECOMMENDATION:

To accommodate this proposed development, several key issues must be addressed. These issues may be potentially addressed as conditions of approval if the Planning Commission finds in favor of an approval. Following the applicant presentation and Planning Commission discussion, if the Commission is prepared to decide, then the following motion in support of approval is offered:

MOTION THAT application SPR-2021-01, submitted by Jim Riemersma, JSR Construction on behalf of the owner Casciano Traverse City, Inc., to redevelop a drive-through restaurant on parcel 05-014-049-80, BE APPROVED, subject to the following conditions:

1. Record a public access easement for the proposed sidewalks.
2. The lighting and photometric plans shall be updated to meet illumination standards of Section 517 of the Zoning Ordinance, and a note shall be added to the site plan that these standards will be met.
3. A loading zone meeting all requirements shall be depicted on the site plan. This may be an off-hour loading zone.
4. A note shall be added to the site plan elevation drawings that all signs are subject to sign permit review.
5. The applicant shall provide information demonstrating that the site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
6. All agency reviews, including stormwater and utility review by the Township Engineer, shall be received, and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Application for Site Plan Review – submitted February 4, 2021.
2. Letter from Innovative Design Professional Corporation – dated February 12, 2021.
3. Burger King S. Garfield site plan set – most recently updated March 2, 2021.



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

APPLICATION FOR SITE PLAN REVIEW

This application must be typed or printed in ink and completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays.

A. APPLICANT INFORMATION

Name of Applicant: Jim Riemersma JSR Construction

Address: 83 54th Street SW Grand Rapids MI. 49548

Phone: 616-292-6113 E-mail: jriemersma@yahoo.com

Name of Agent: Mark Tomasik, Architect

Address: 1261 Leonard St. NE, Grand Rapids MI, 49505

Phone: 616-364-4111 E-mail: mark@innovativedesignpc.com

Name of Owner: Casciano Traverse City, Inc

Address: 1800 S. Garfield Ave. Traverse City 49686

Phone: 231-947-0630 E-mail: _____

Please specify to whom all communications should be sent: Applicant Agent Owner

B. LOCATION/LEGAL DESCRIPTION OF SUBJECT LANDS

Tax Parcel ID Number: 05-014-049-80

Parcel Address: 1800 S. Garfield Ave. Traverse City 49686

Legal Description: PRT NE1/4 SE 1/4 SEC 14 T27N R11W COM E 1/4 COR SD SEC 14 TH S O DEG 32' E 1121.12' TH S 89 DEG 57' W 50' TO POB TH S 89 DEG 57' W 215' TH S O DEG 32' E 5' TH S 89 DEG 57' W 85' TH S O DEG 32' E 145' TH N 89 DEG 57' E 300' TH N O DEG 32' 150' TO POB

Are there any easements or restrictive covenants affecting the subject lands? Yes No

If yes, describe the easement or covenant and its effect: _____

Present zoning: C-P Planned Shopping Center

C. PROPERTY INFORMATION

Present use of the subject lands: Burger King Restaurant

Proposed use of the subject lands: Burger King Restaurant

Present use of adjacent properties: West - vacant land, North- Restaurant , East- Music store, South- Gas Station

If known, the length of time the existing uses have continued on the subject lands: 30+ years

Are there any existing buildings or structures on the subject lands? Yes No

Are any existing buildings on the subject lands designated as being historically significant? Yes No

If yes, identify and provide details of the historically significant building(s).

If known, the date existing buildings or structures were constructed on the subject lands: _____

D. PREVIOUS USE OF THE PROPERTY

Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes No Unknown If yes, specify the use(s): _____

Has a gas station been located on the subject lands or adjacent lands at any time?

Yes No Unknown

Has there been petroleum or other fuel stored on the subject lands or adjacent lands at any time?

Yes No Unknown

Is there reason to believe the subject lands may have been contaminated by former uses on or adjacent to the site?

Yes No Unknown

If you answered yes to any of the above questions, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the inventory attached?

Yes No

F. DATA SUBMITTAL REQUIREMENTS

<i>Required Site Plan Element</i>	Site Diagram	Admin. Site Plan / SDP	Township Use Only: Information Provided?		
			Y	N	W
A. Basic Information					
1. Applicant's name, address, telephone number and signature	●	●			
2. Property owner's name, address, telephone number and signature	●	●			
3. Proof of property ownership	●	●			
4. Whether there are any options or liens on the property	●	●			
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	●	●			
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	●	●			
7. A vicinity map showing the area and road network surrounding the property		●			
8. Name, address and phone number of the preparer of the site plan	●	●			
9. Project title or name of the proposed development	●	●			
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	●	●			
11. Land uses and zoning classification on the subject parcel and adjoining parcels	●	●			
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		●			
B. Site Plan Information					
1. North arrow, scale, and date of original submittal and last revision.	●	●			
2. Boundary dimensions of natural features		●			
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features.		●			
4. Proposed alterations to topography and other natural features		●			

<i>Required Site Plan Element (cont.)</i>	Site Diagram	Admin. Site Plan / SDP	Township Use Only: Information Provided?		
5. Existing topographic elevations at two foot intervals except shown at five foot intervals where slopes exceed 18%		●			
6. Soil erosion and sediment control measures as required by the Grand Traverse County Drain Commissioner.	●	●			
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		●			
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities.		●			
9. Proposed finish floor and grade line elevations of any structures. <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	See note*	●			
10. Existing and proposed driveways, including parking areas	●	●			
11. Neighboring driveways and other vehicular circulation features adjacent to the site		●			
12. Location, size and number of parking spaces in the on-site parking areas	●	●			
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		●			
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		●			
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		●			
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		●			
17. Location of water supply lines and/or wells	●	●			
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	●	●			
19. Location, specifications, and access to a water supply in the event of a fire emergency		●			
20. Location and design of storm sewers, retention or detention ponds, waste water lines, clean out locations, connection points and treatment systems		●			
21. Location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		●			
22. Location, size and specifications of all signs and advertising features, including cross sections		●			
23. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used		●			
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		●			
25. The proposed sizes of landscape materials not previously existing. All vegetation to be retained on site must also be indicated, as well as its typical size by general location or range of sizes as appropriate		●			
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		●			

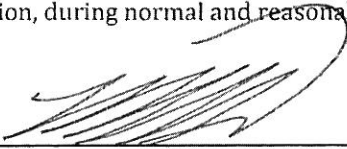
27. Changes or modifications required for any applicable regulatory agencies' approvals		•	
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G. OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

H. PERMISSION TO ENTER SUBJECT LANDS

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.



Signature Owner Applicant Agent 2-1-2021 Date

I. DECLARATION

I, MARK TOMASIK solemnly declare that all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.


Signature Owner Applicant Agent _____ Date

J. OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We CASCIANO DEVELOPMENT CO. am/are the registered owner(s) of the lands that is the subject of this application for a zoning ordinance amendment.

I/We authorize INNOVATIVE DESIGN P.C. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 2/4/2021
 Owner's Signature Date

Owner's Signature _____ Date



2-12-2021

Proposed new Burger King 1800 S. Garfield Road, Traverse City, MI 49686

Casciano Traverse City Inc. built the existing Burger King 35 years ago. This existing building is old and outdated to today's building standards. Restaurants operate different today because of covid-19.

Costumers use the drive-thru rather than the dining room. With this increase use of drive-thru an additional lane is being added to shorten the length of the drive-thru lane and wait time. The additional lane and efficient building design will help better safely serve the community.

The existing infrastructure, sewer, water, electric, gas, and stormwater will accommodate the new building due to its smaller size with less seating capacity, energy efficient equipment and lighting, water conservative fixtures; toilets, faucets, tankless water heaters, and meeting todays energy codes will use less electric, water, and gas, reducing consumption and creating less waste than the existing building. The stormwater system with the sand soils, will allow to leach the stormwater through basins and perforated storm water pipes reducing the amount of water discharged from the site to the existing storm system.

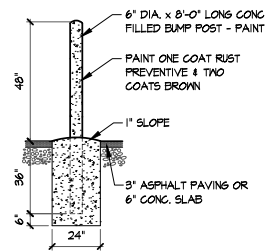
Regarding landscape requirements. The zoning C-P (Planned Shopping Center) requirement ask for 20' greenspace along W. South Airport and S. Garfield and a type "D" buffer. Along the west and north property lines a 10' greenspace and a type "B" buffer. Currently the site has a 10' greenspace along Garfield and Airport a 5' along the north property line and no greenspace along the west property line. Because of the size of the site, increasing the greenspace width will not allow to build this new building. The Burger King plan was specifically designed narrower and shorter to fit this site. We have met the buffer requirements on the west and north property lines and added a 5' greenspace along the west property line, but we cannot meet the 10' greenspace required and need an exception of 5'. Along the two streets we are proposing a type "B" buffer instead of the type "D". We have increased the landscape considerably adding 10 trees along Airport and 5 trees along Garfield. We will need a 10' greenspace and landscape buffer exception on both Airport and Garfield. There is an 18" cal. red oak existing along the north property line that is growing next to the existing parking lot curb. The proposed curb is in the same location. There is a small island that we will be paving. We are planning to keep this oak tree and hope that it will survive.

Adding trees to this corner site we placed larger trees away from the intersection of Airport and Garfield, and to keep the trees required, we used native trees that have more transparency towards the intersection in view of keeping a clear vision at the most dangers intersection in Grand Traverse County according to the Road Commission. Additional trees required per the zoning ordinance we should recognize the necessity of clear vision needed at this intersection.

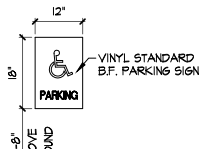
When looking at the required greenspace of 20' "a straight-line setback" along Garfield the plan has one point at 10' width. At the north side of the site, we are at 50' setback and at the south side 28'. Along Airport at the entry, we have 25' and 28' width greenspace.

If granted these exceptions, demolition will start March 22, 2021. Construction of the new building will be completed between late July and early August. The construction schedule will be finalized apond site plan approval.

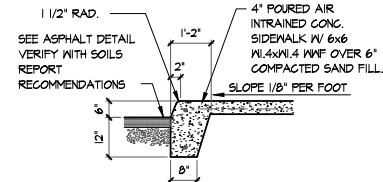
These changes of the building and site with the addition of landscaping, greenspaces, sidewalks, pedestrian and vehicular traffic improvements and an efficient building will have a positive impact on the community.



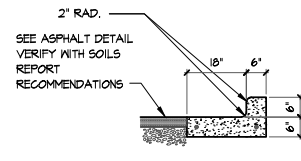
Bumper Post



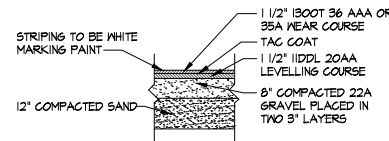
B.F. Sign



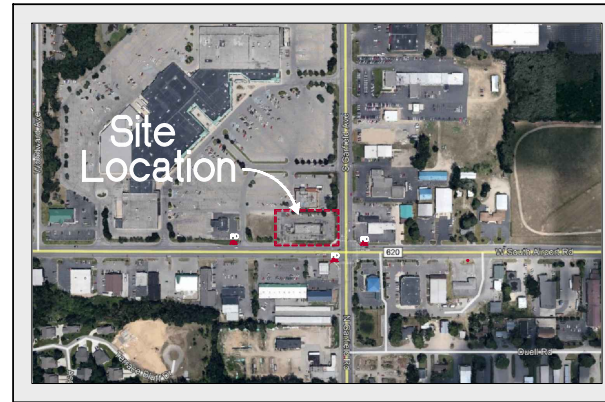
Curb at Sidewalk



Curb and Gutter



Section Thru Parking Lot



General Notes

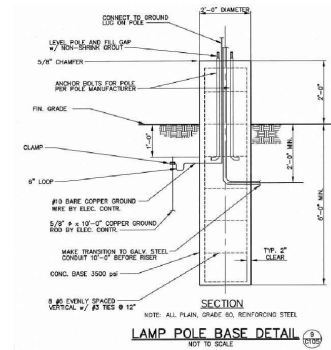
- EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
- ALL CONSTRUCTION METHODS & MATERIALS SHALL COMPLY WITH PLAINFIELD TWP. UTILITY AUTHORITY, & KENT COUNTY REQUIREMENTS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE STAKED AND GRADED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY PROVIDERS PRIOR TO BEGINNING CONSTRUCTION.
- 2 ADDITIONAL FIRE HYD. TO BE PROVIDED AS REQUIRED BY PLAINFIELD TOWNSHIP FIRE DEPARTMENT.

Property Description

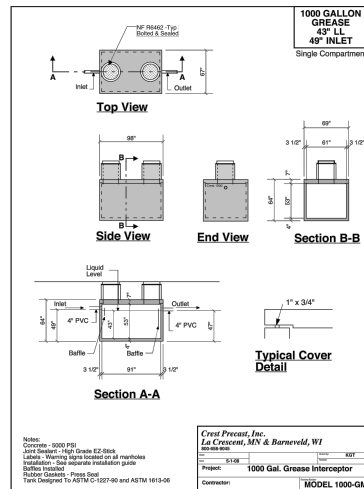
PRT NE 1/4 SE 1/4 SEC 14 T2N R11W COM E 1/4 COR SD SEC 14 TH S O DEG 32' E 1121.12' TH S 84 DEG 51' W 50' TO POB TH S 84 DEG 51' W 215' TH S O DEG 32' E 5' TH S 84 DEG 51' W 85' TH S O DEG 32' E 145' TH N 84 DEG 51' E 300' TH N O DEG 32' W 150' TO POB

Site and Building Information

ADDRESS 1800 S GARFIELD AVE
 APN/PARCEL ID 05-014-044-80
 COUNTY GRAND TRAVERSE
 LAND USE COMMERCIAL SERVICES
 STATE MICHIGAN FLOOD ZONE 1236621B O
 LOT SIZE 1,0230 BUILDING 50 FT 3750
 ZONING DISTRICT C-P PLANNED SHOPPING CENTER
 BUILDING USE- A-2 RESTAURANT
 CONSTRUCTION TYPE- 5-B
 BUILDING AND ACCESSORY BUILDING SETBACK REQUIRED
 FRONT YARD 30'
 SIDE YARD 30'
 BACK YARD 30'
 DRIVE-THRU 60'
 PARKING REQUIRED
 MINIMUM REQUIRED PARKING OF 1 SPACE FOR EACH ONE HUNDRED FIFTY (150) SQUARE FEET OF FLOOR AREA
 3750 SF / 150 = 25 SPACES, 24 SPACES PROVIDED
 SNOW STORAGE AREA REQUIRED
 PARKING AND DRIVES AREA 24159.02 SF / 10 = 2416 SF

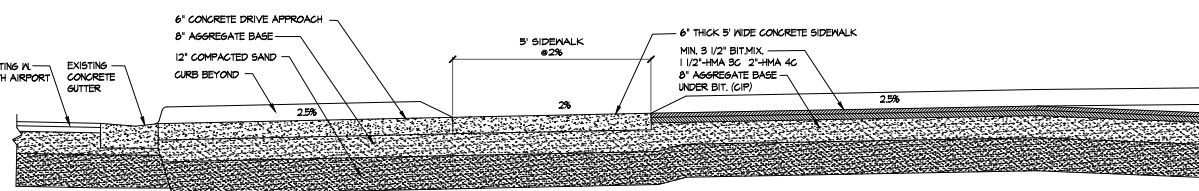
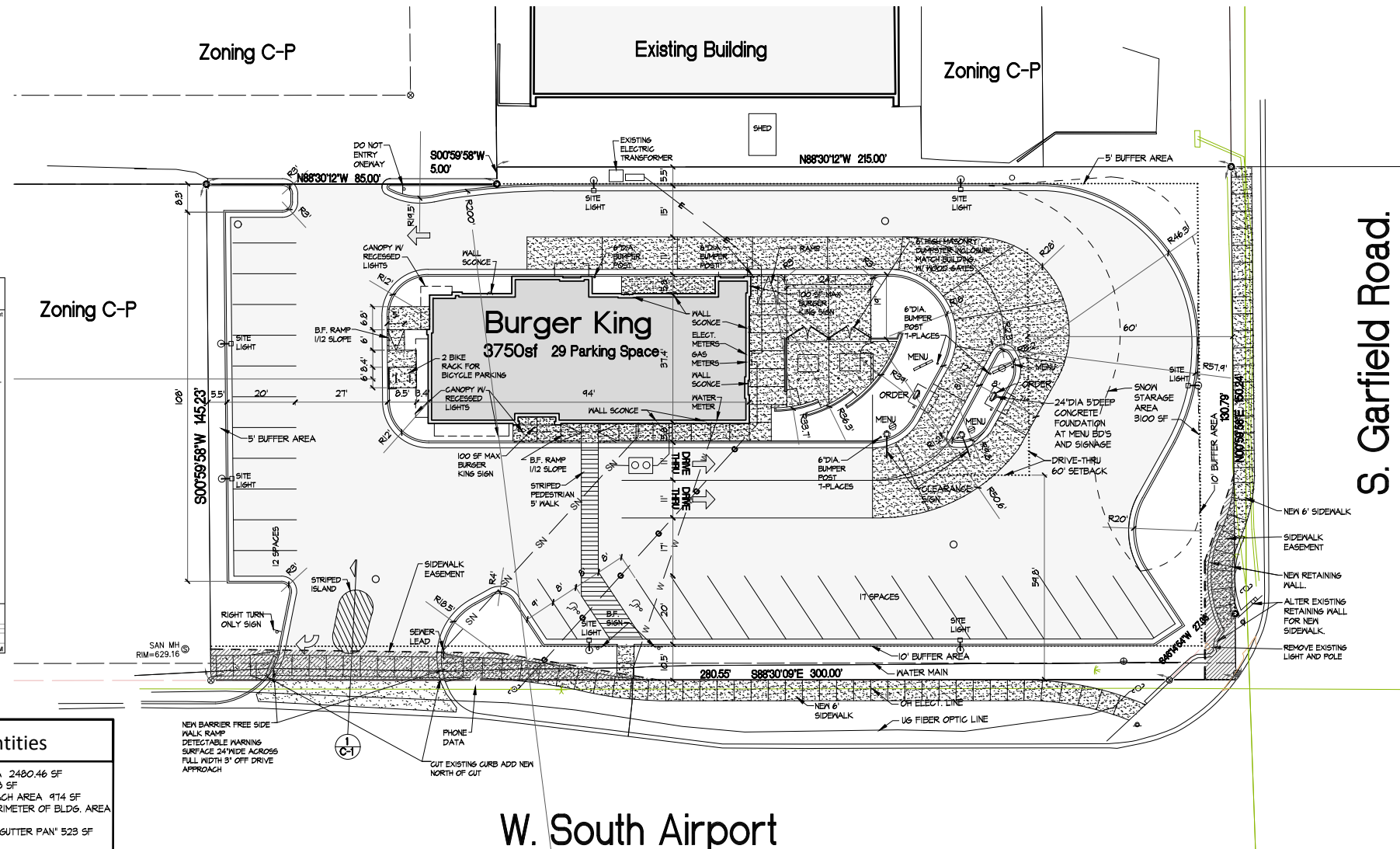


LAMP POLE BASE DETAIL



Contractors Site Material Quantities

- 6" FIBER REINFORCED CONCRETE STREET SIDEWALK AREA 2480.46 SF
- 6" FIBER REINFORCED CONCRETE DRIVE-THRU AREA 3478 SF
- 8" FIBER REINFORCED CONCRETE DUMPSTER AND APPROACH AREA 474 SF
- 4" FIBER REINFORCED CONCRETE SIDEWALKS AROUND PERIMETER OF BLDGS. AREA LINEAL FEET OF CONCRETE CURB 1212 LF
- 6" CONCRETE DRIVE APPROACH BETWEEN SIDEWALK AND GUTTER PAN 523 SF
- ASPHALT PAVING AREA 22846 SF



Section Thru Drive Approach
 Scale 3/8" = 1'-0"

Site Plan

Utilities and Dimensions Scale 1"=20'-0"

NOTE: THESE PLANS DO NOT ASSURE THE PRESENCE OR LOCATION OF UTILITIES. UNDERGROUND UTILITY LOCATIONS ARE PLOTTED FROM EXISTING MUNICIPAL AND COMPANY RECORDS WHERE AVAILABLE. UTILITY LOCATIONS SHOULD BE CONSIDERED ONLY AS APPROXIMATE. FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES THE CONTRACTOR SHALL NOTIFY 1-800-DIG-TOLL FREE AT 1-800-482-7171 THREE (3) DAYS BEFORE THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS.

Page Index

- C-1 Utilities and Dimensions
- C-2 Grading and Storm
- C-3 Landscape
- C-4 Lighting Photometric
- C-5 Existing Site
- C-6 Dumpster Enclosure
- A-2 Building Elevations
- A-3 Building Elevations

Innovative Design P.C.
 Site, Building, and Interior Design
 Grand Rapids, MI phone 616-364-4111
 www.innovativedesignpcc.com



JSR 616-530-0482
 83 54th St SW, Grand Rapids, MI 49548

Casciano Traverse City, Inc
 1800 S. Garfield Ave.
 Traverse City, MI 49686 231-941-5107

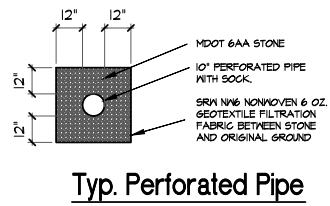
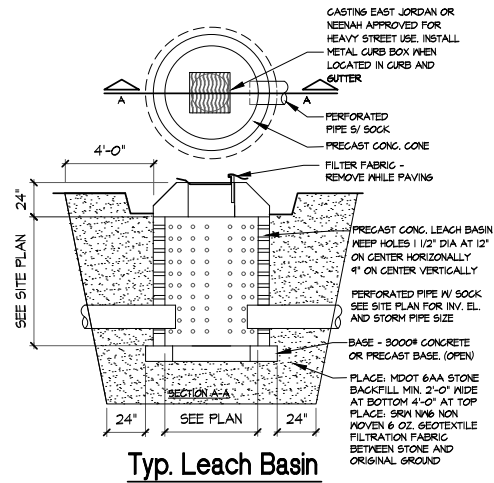
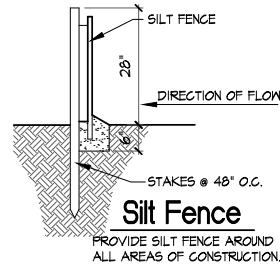


Issued for:
 REVIEW
 Date
 3-2-2021
 Sht.No.
 C-1
 Job. No.
 20-038



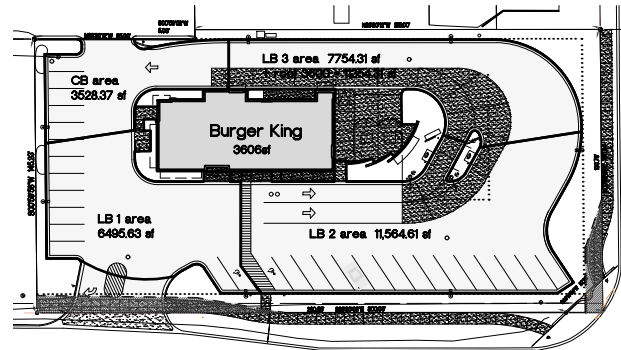
Michigan Unified Keying System	
4	VEGETATIVE STABILIZATION MAY USE A VARIETY OF PLANT MATERIAL STABILIZES SOIL, SLOWS RUNOFF VELOCITY, FILTERS SEDIMENT FROM RUNOFF
9	MULCH BLANKETS ON EXPOSED SLOPES, NEWLY SEEDED AREAS, NEW DITCH BOTTOMS, OR AREAS SUBJECT TO EROSION
11	ROUGHENED SURFACE REDUCES VELOCITY AND INCREASES INFILTRATION RATES COLLECTS SEDIMENT, HOLDS WATER, SEED, AND MULCH BETTER THAN SMOOTH SURFACE.
15	PAVING PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE, COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
53	STABILIZED CONSTRUCTION ACCESS USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
58	INLET PROTECTION FABRIC DROP USE AT STORM-WATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

T-TEMPORARY P-PERMANENT
CONSTRUCT 2' HIGH FABRIC FENCE AT PERIMETER OF SITE TO BE DEVELOPED.



Grading Legend	
Existing Grades	629
New Grades	630
New Spot El.	629.12

Catch and Leach Basin Areas	
CB	3528.37 sf
LB 1	6495.63 sf
LB 2	11564.61 sf
LB 3	7754.31 sf
+roof 3750-	11,504.31 sf
Total	33,092.92 sf
Building Area	3750 sf
Site Area	56755.28 sf
Total Impervious Area	47,799.98 sf
Total Pervious Area	8955.3 sf



Manning Formula Uniform Pipe Flow at Given Slope and Depth
Check out our spreadsheet version of the calculator: [Download Spreadsheet](#) [Open Spreadsheet](#) [View All Spreadsheets](#)

Burger King Garfield Township		Results	
Flow, Q	2.4456 cfs	Velocity, V	4.8466 ft/sec
Velocity head, h _v	4.5991 in H ₂ O	Flow area	71.1525 sq. ft.
Water perimeter	23.4618 in	Hydraulic radius	3.0327 in
Top width, T	7.6416 in	Flow depth, d	3.0327 in
Side slope, Z	0.00	Flow area, A	3.0327 sq. ft.
Shear stress (tractive force), tau	0.01578 lbf/ft ²		

Computations of leaching for Burger King

Leaching Basin or pipe segment	size of pipe or structure (ft)	amount of leaching (ft)	size of wall (ft)	feet of stone	Area of leaching sf	Q design (cfs)	Lineal feet needed
1	4	9	1	4	28	0.7	6
2	8	11	1	4	35	1.22	8
1-2	0.83	2.99	0.16	2	9	1.22	29
3	6.00	10.16	0.16	4	31.9	1.24	9
2-3	0.83	2.99	0.16	2	9.4	1.24	30
EX CB	4	9	1	4	28.3	0.76	16
2-3	0.83	2.99	0.16	2	9.4	0.76	18

Grading Notes

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH MDOT CONTRACT CONDITIONS AND SPECIFICATIONS.
- ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
- ALL EXCESS SOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
- ALL TEMPORARY EROSION CONTROLS MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED.
- NO SEDIMENT SHALL BE TRACKED ONTO A SOUTH AIRPORT AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY. A TRACKING PAD TO BE PROVIDED TO KEEP SOILS FROM BEING TRACKED OFFSITE.
- THE STORM WATER PIPING IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
- ALL SLOPES GREATER THAN 4:1 SHALL BE COVERED IN TOPSOIL SEED AND NORTH AMERICAN GREEN S-50 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. PLACE BLANKET WITH STAPLES OR WOOD PEGS AND PER MANUFACTURERS RECOMMENDATIONS.

Storm Sewer Computations Burger King
Garfield Township

Design criteria:
The criteria to be used for the computations will be by the Grand Traverse Drain Commission and Garfield Township Storm Water Control Ordinance.
• Retain on site the 100-year storm in 24 hours back-to-back with no outlet.
• Provide Water quality for the first flush.
• Use a system with leaching basins and perforated pipe.

Because we are retaining the 100-year flood automatically will provide water quality for the first flush.

Time of concentration:
Determining the time of concentration TOC.
Calculating the TOC using the most critical condition which it will be to the proposed Leaching Basin #2.
L=113 feet
Δ elevation = 630.07-629.00 = 1.07 feet
S=1.07/113 = 95 %
n = 0.012
T_c = (2L)^{0.58} / S^{0.04} = 3 min therefore use 15 min.
I₁₀₀ = 5.08 in/h (from appendix 8 grand traverse county drain commission) for the 24h duration

Conditions
Soils and structure performed two soil borings one in the East and one in the West side of the proposed site (see report), no water was encountered at 10' the two soil borings show a very good permeation, therefore, we are going to propose using leaching basins and if necessary perforated pipe to manage the storm water sewer.

Computing the Q for leaching basing 1
Q=CIA
A= 6,495.63 sf = 15 ac
I₁₀₀ = 5.08 in/h (from appendix 8 grand traverse county drain commission)
C=0.92
Q=0.70 cfs
Rate of leaching for the stone with the sand interface: 2gal/sq. ft./min. this is the standard rate for use for a stone/sand interface rapid filter.
1. Natural Q_{design} = 0 cfs
2. Developed Q_{design} = 0.70 cfs
3. Design Q_{design} = -0.70cfs
4. Amount of leaching =
4'(L.D.)+1'(Wall)+4'(Stone)= 9'
5. Perimeter of leaching = πD = 28 ft²/ft of depth
6. L_a ft. needed = [Q_{design} x 449 gpm/cf] / [28 ft²/ft x 2 gpm/ft²]
7. Storage allowance = 4 ft³/ft.
Lineal feet needed = [7 x 449] / [28 x 2] = 56'

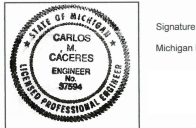
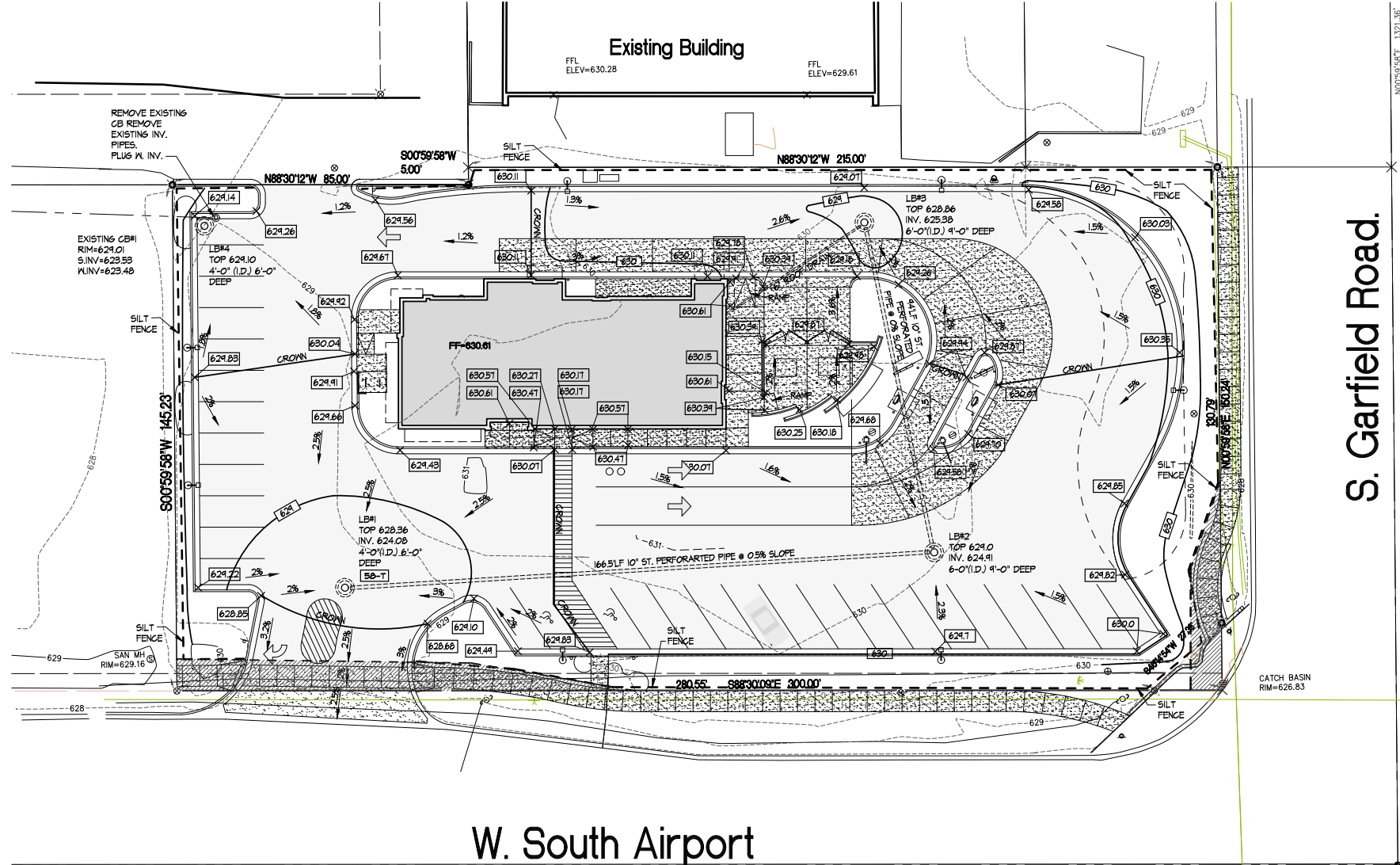
Computing the Q for basing 2
Q=CIA
A= 11,564.61 sf = 0.26 ac
I₁₀₀ = 5.08 in/h (from appendix 8 grand traverse county drain commission)
C=0.92
Q=1.22 cfs
1. Rate of leaching for the stone with the sand interface: 2gal/sq. ft./min. this is the standard rate for use for a stone/sand interface rapid filter.
1. Natural Q_{design} = 0 cfs
2. Developed Q_{design} = 1.22 cfs
3. Design Q_{design} = -1.22 cfs
4. Amount of leaching =
6'(L.D.)+1'(Wall)+4'(Stone)= 11'
5. Perimeter of leaching = πD = 4 ft²/ft of depth
6. L_a ft. needed = [Q_{design} x 449 gpm/cf] / [4 ft²/ft x 2 gpm/ft²]
7. Storage allowance = 8 ft³/ft.
Lineal feet needed = [1.22 x 449] / [4 x 2] = 8'

Computing the Q for basing 3
Q=CIA
A= 11,504.31 sf = 0.26 ac
I₁₀₀ = 5.08 in/h (from appendix 8 grand traverse county drain commission)
C=0.94
Q=1.24 cfs
1. Rate of leaching for the stone with the sand interface: 2gal/sq. ft./min. this is the standard rate for use for a stone/sand interface rapid filter.
1. Natural Q_{design} = 0 cfs
2. Developed Q_{design} = 1.24 cfs
3. Design Q_{design} = -1.24 cfs
4. Amount of leaching =
6'(L.D.)+1'(Wall)+4'(Stone)= 11'
5. Area of leaching = πD = 28 ft²/ft of depth
6. L_a ft. needed = [Q_{design} x 449 gpm/cf] / [28 ft²/ft x 2 gpm/ft²]
7. Storage allowance = 8 ft³/ft.
Lineal feet needed = [1.24 x 449] / [28 x 2] = 9'

Because the ordinance requires a 100-year back-to-back then we will use a perforated pipe to meet this requirement. We need 30' of a 10" pipe with a 1' of stone 6AA all around, since we are using 30' of the 94 feet between LB2 and LB3 then we have 64' that we can use for managing the storm water, then is OK.

Existing CB
The existing CB will be removed and replace with a leaching Basing
Q=CIA
A= 3,528.37 sf = 0.08 ac
I₁₀₀ = 5.08 in/h (from appendix 8 grand traverse county drain commission)
C=0.92
Q=0.37 cfs
1. Rate of leaching for the stone with the sand interface: 2gal/sq. ft./min. this is the standard rate for use for a stone/sand interface rapid filter.
1. Natural Q_{design} = 0 cfs
2. Developed Q_{design} = 0.37cfs
3. Design Q_{design} = -0.37cfs
4. Amount of leaching =
4'(L.D.)+1'(Wall)+4'(Stone)= 9'
5. Perimeter of leaching = πD = 28 ft²/ft of depth
6. L_a ft. needed = [Q_{design} x 449 gpm/cf] / [28 ft²/ft x 2 gpm/ft²]
7. Storage allowance = 6 ft³/ft.
Lineal feet needed = [7 x 449] / [28 x 2] = 11'

Design of the roof drain
Q=CIA
C=0.95
I₁₀₀ = 5.08 in/h
A= 3,750sf = 0.41ac
Q= 2.00cfs
Using Manning we have that we need a 10" pipe @ 1% (see attached)



Signature: *Carlos M. Caceres* P.E.
Michigan Professional Engineer License Number: 3794



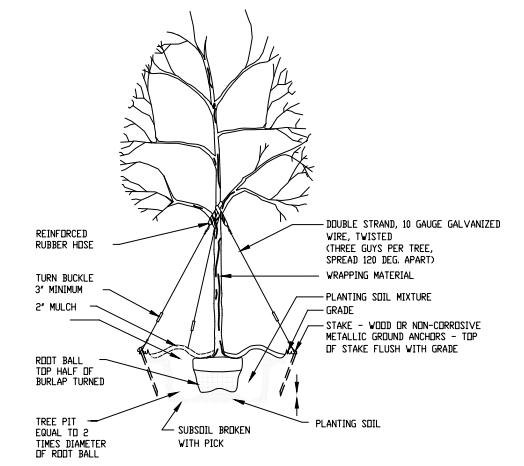
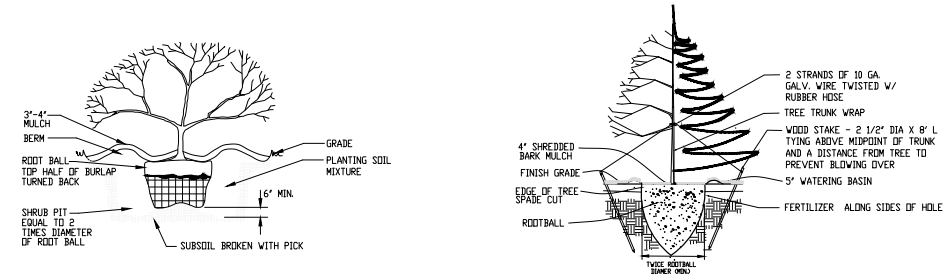
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www.innovativedesignpcc.com

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83 54th St SW,
Grand Rapids, MI 49548

Casciano Traverse City, Inc
1800 S. Garfield Ave.
Traverse City, MI 49686 231-941-5107

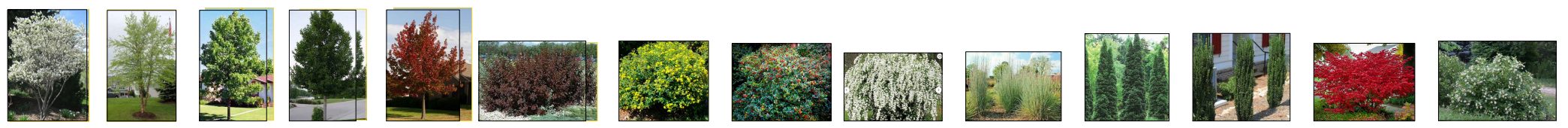
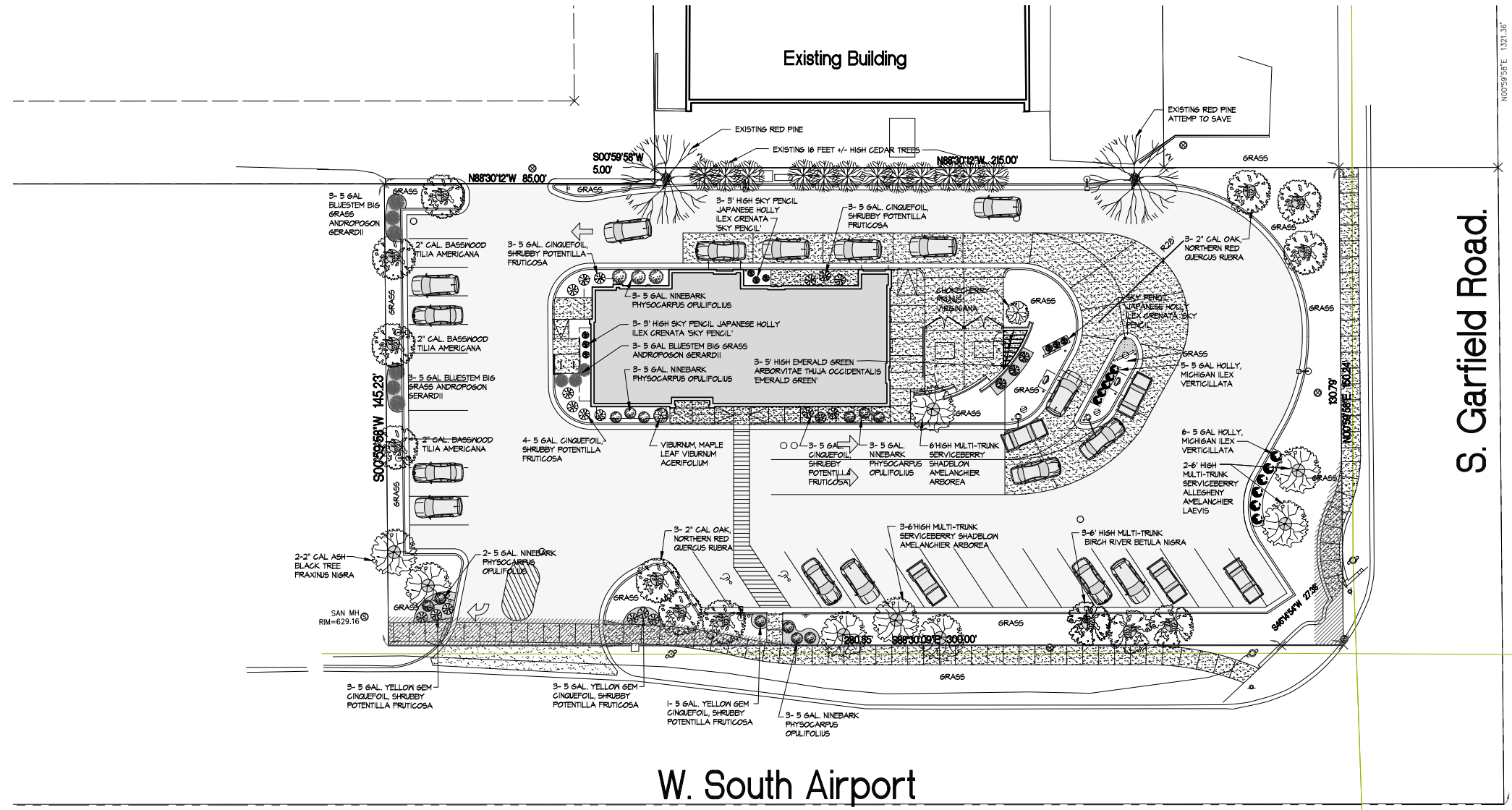
BURGER KING

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Date
3-2-2021
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C-2
Job.No.
20-038



FOR DECIDUOUS AND EVERGREEN TREES

- NOTES:**
- 1-1/2" DIA. MIN. BARK MULCH BED AROUND ALL PLANTINGS (TYP.)
 - ALL LAWN AREA TO HAVE 4"-6" OF SAND-LOAM TOPSOIL.
 - HYDRO-SEED (ALL DISTURBED AREA)
 - 30%-ARGYLE KENTUCKY BLUEGRASS
 - 30%-98/85 KENTUCKY BLUEGRASS
 - 20%-THIRD GENERATION PERENNIAL RYEGRASS WITH ENDOPHYTE
 - 20%-IMPROVED VARIETY CREEPING RED FESCUE
- FERTILIZER:**
 16-32-4 STARTER WITH SULPHUR, IRON, MAGNESIUM QUICK RELEASE NITROGEN AND NO CHLORINE
MULCH:
 90% VIRGIN WOOD FIBER W/ ORGANIC TACKIFIER APPLICATION RATE OF 1.25# POUNDS PER ACRE.



SERVICEBERRY ALLEGHENY AMELANCHIER LAEVIS | BIRCH RIVER BETULA NIGRA | ASH BLACK TREE FRAXINUS NIGRA | BASSWOOD TILIA AMERICANA | OAK, NORTHERN RED QUERCUS RUBRA | NINEBARK PHYSOCARPUS OPULIFOLIUS | YELLOW GEM CINQUEFOIL, SHRUBBY POTENTILLA FRUTICOSA | HOLLY, MICHIGAN ILEX VERTICILLATA | MEADOWSWEET SPIRAEA ALBA | BLUESTEM BIG GRASS ANDROPOGON GERARDII | EMERALD GREEN ARBORVITAE THUJA OCCIDENTALIS EMERALD GREEN | SKY PENCIL JAPANESE HOLLY ILEX GRENATA 'SKY PENCIL' | CHOKECHERRY PRUNUS VIRGINIANA | VIBURNUM MAPLE LEAF VIBURNUM ACERIFOLIUM

- TYPE 'B' BUFFER**
 2 LARGE TREES | MEDIUM OR SMALL TREE AND 4 BUSHES PER 100 LINEAR FEET, 10 FEET WIDE
- W. SOUTH AIRPORT FRONTAGE 300 FEET /100 = 3**
 REQUIRED LANDSCAPE 6 LARGE TREES, 3 MEDIUM TO SMALL TREES, AND 12 BUSHES
- S. GARFIELD AVE. FRONTAGE 150.24/100 = 1.5**
 REQUIRED LANDSCAPE 3 LARGE TREES, 2 MEDIUM TO SMALL TREES, AND 6 BUSHES
- NORTH PROPERTY FRONTAGE 300 FEET /100 = 3**
 REQUIRED LANDSCAPE 6 LARGE TREES, 3 MEDIUM TO SMALL TREES, AND 12 BUSHES
- WEST PROPERTY FRONTAGE 145.2 FEET /100 = 1.5**
 REQUIRED LANDSCAPE 3 LARGE TREES, 2 MEDIUM TO SMALL TREES, AND 6 BUSHES
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH PIPED UNDERGROUND SYSTEM SUITABLE FOR THE TYPE OF PLANTING INSTALLED.

Site Plan
 Landscape Scale 1"=20'-0"

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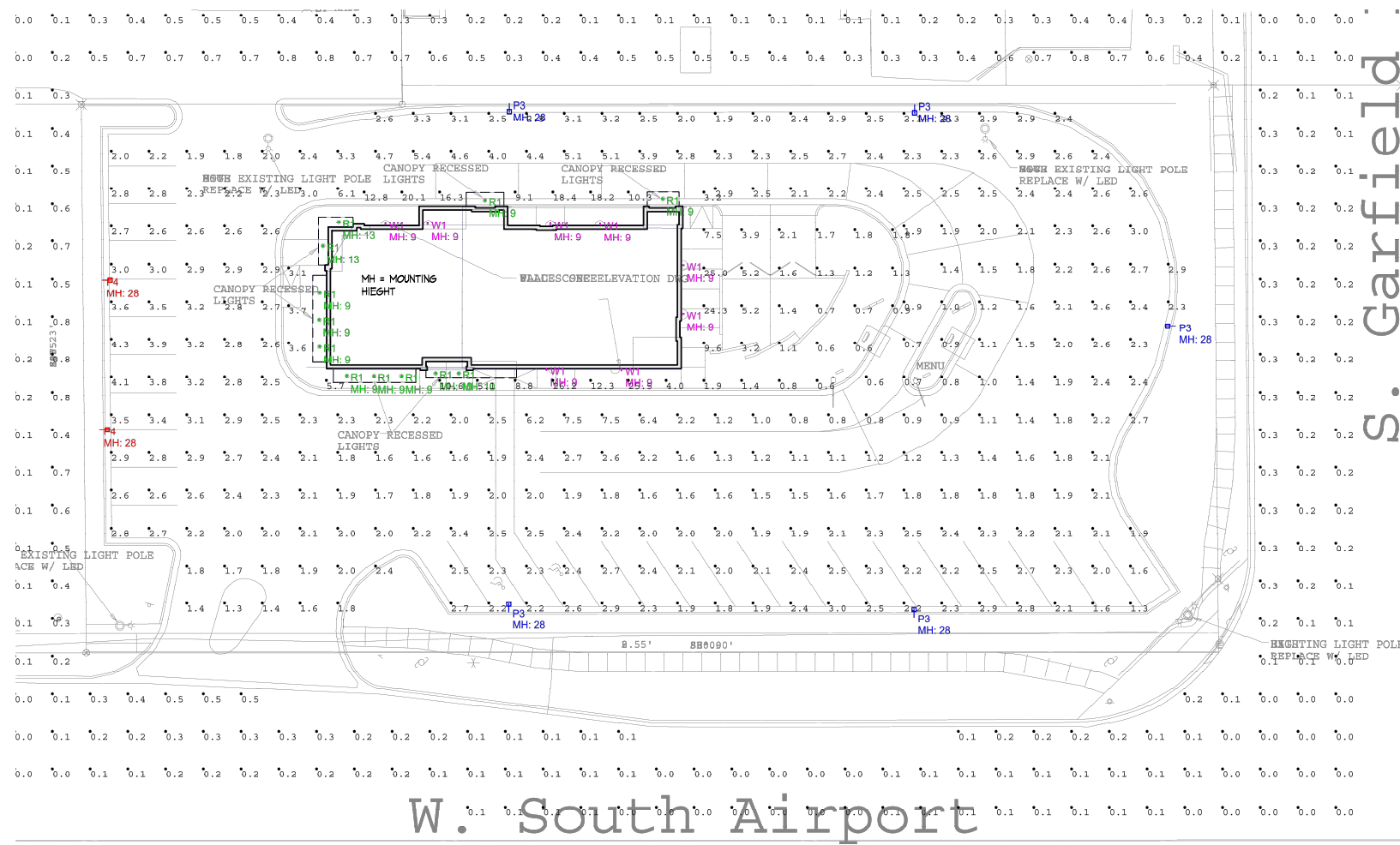


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 C-3
 Job. No.
 20-038



CTA
 Cities, Tidey & Assoc., Inc.
 900C West River Center Dr
 Comstock Park MI 49321
 PH: 616-647-2400
 www.ctatidey.com

DESIGNED FOR:
INNOVATIVE DESIGN PC

BURGER KING
 TRAVERSE CITY

SALES
 T MCBRIDE

DATE
 1.29.2021

DESIGNER
 JEN YONKERS

REVISIONS
 DATE NAME
 XX XX



Symbol	Qty	Label	Arrangement	LLD	LDD	BF	[MANUFAC]	Description	Mnt. Height	Mnt. Type
+	8	W1	SINGLE	0.980	0.940	1.000	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	AXCS4A	10'	WALL
○	12	R1	SINGLE	0.980	0.940	1.000	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	100D10-HM812835-61MDW	VARIES	RECESS
□	5	P3	SINGLE	0.980	0.940	1.000	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T3-BZ-7030-HSS	28'	POLE
□	2	P4	SINGLE	0.980	0.940	1.000	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T4-BZ-7030-HSS	28'	POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EXTERIOR	Illuminance	Fc	7.05	26.2	0.6	11.75	43.67
LIGHT TRESPASS	Illuminance	Fc	0.21	0.8	0.0	N.A.	N.A.
LOT	Illuminance	Fc	2.35	7.5	0.6	3.92	12.50

BURGER KING | **PRV-C40-D-UNV-T3-SA-BZ-7030** | Type: P3

Lumark
 PRV / PRV-XL Prevail LED
 Area / Site Luminaire

Typical Applications:
 Outdoor - Parking Lot - Walkways - Sidewalks - Building Areas

Interactive Menu

- Ordering Information
- Mounting Details
- Optical Configurations
- Product Specifications
- Energy and Performance Data
- Control Options

Product Certifications

Quick Facts

- Lumark packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces T8W up to 7,000W HID equivalents
- Efficiencies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

BURGER KING | **PRV-C40-D-UNV-T4-SA-BZ-7030** | Type: P4 & P4-2

Lumark
 PRV / PRV-XL Prevail LED
 Area / Site Luminaire

Typical Applications:
 Outdoor - Parking Lot - Walkways - Sidewalks - Building Areas

Interactive Menu

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- Standard universal quick mount arm with universal drill pattern

Dimensional Details

BURGER KING TC | **AXCS4A** | Type: W1

Lumark
 Axcnt
 Wall Mount Luminaire

Typical Applications:
 Walk - Sidewalk - Entrance - Footing - Pathway

Interactive Menu

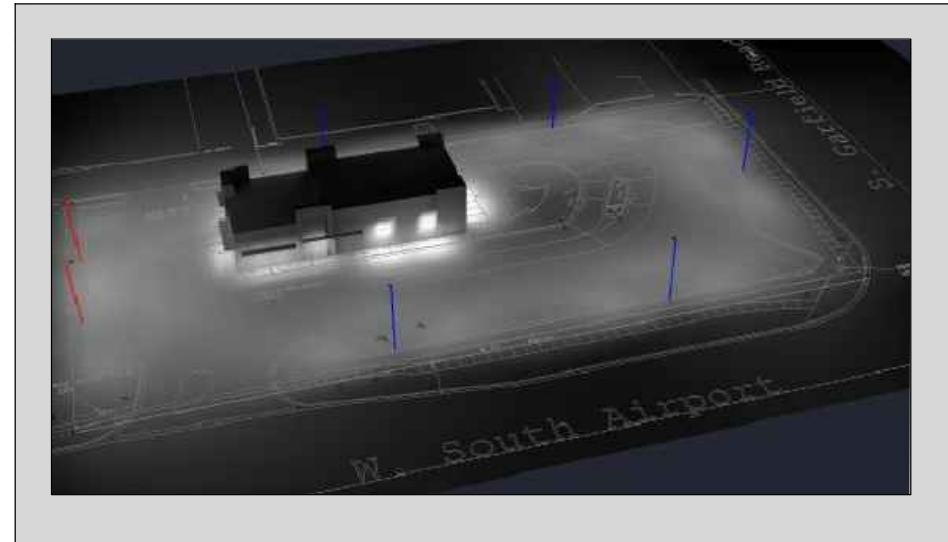
- Ordering Information
- Mounting Details
- Optical Configurations
- Product Specifications
- Energy and Performance Data
- Control Options

Product Certifications

Quick Facts

- Available in 14W - 123W (1,800 - 17,000 lumens) models
- Full cutoff and reflective lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 144 LPW
- Replaces T8W up to 450W HID equivalents

Dimensional Details



Site Plan
 Lighting Photometric Scale 1"=20'-0"

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C-4
 Job. No.
 20-038

BASIS OF BEARING
MICHIGAN STATE PLANE COORDINATE SYSTEM
CENTRAL ZONE - NAD83 (2011)
REFERENCED TO THE (fill in the blank) CORS

BASIS OF ELEVATION
NAVD 88 DATUM REFERENCED TO THE
(fill in the blank) CORS

Legend	
● Iron Found	☒ Utility Riser
○ Iron Set	⊗ Gate Valve
⊙ Monument Found	⊕ Fire Hydrant Assembly
⊙ Government Corner	○ Utility Pole
⊙ Nail Found	○ Guy Pole
⊙ Nail Set	⊖ Guy Anchor
⊙ Benchmark	⊕ Sign
⊙ Sanitary Manhole	⊕ U/G Utility Sign
⊙ Storm Manhole	⊕ Curb Stop & Box
⊙ Unknown Manhole	⊕ Light Pole
⊙ Catch Basin Inlet	
⊙ Catch Basin	
⊙ Electric Box	
⊙ Electric Meter	
— Tree Line	
— Fence Line	
— Asphalt Surface	
— Concrete Surface	
— OH ELEC.	
— UG FIBER OPTIC	
— UG TELE	
— WATERMAIN	
— UG GAS	



SANITARY SEWER							
STRUCTURE #	SIZE	MATERIAL	RIM ELEV.	INV. N	INV. E	INV. S	INV. W
19006	48"	CONCRETE	629.16		4" PVC 5.09		4" PVC 5.13

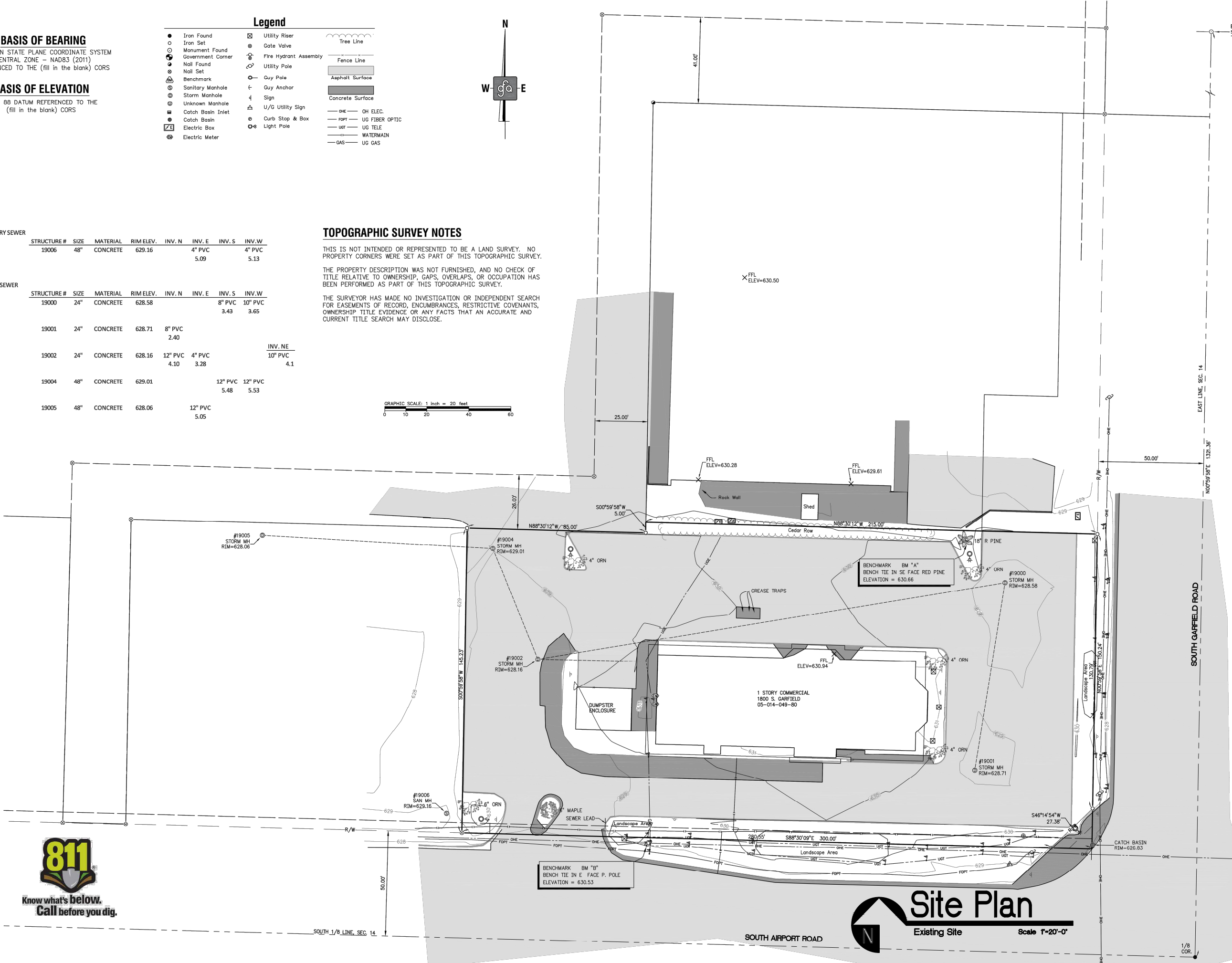
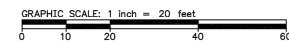
STORM SEWER							
STRUCTURE #	SIZE	MATERIAL	RIM ELEV.	INV. N	INV. E	INV. S	INV. W
19000	24"	CONCRETE	628.58			8" PVC 3.43	10" PVC 3.65
19001	24"	CONCRETE	628.71	8" PVC 2.40			
19002	24"	CONCRETE	628.16	12" PVC 4.10	4" PVC 3.28		INV. NE 10" PVC 4.1
19004	48"	CONCRETE	629.01			12" PVC 5.48	12" PVC 5.53
19005	48"	CONCRETE	628.06		12" PVC 5.05		

TOPOGRAPHIC SURVEY NOTES

THIS IS NOT INTENDED OR REPRESENTED TO BE A LAND SURVEY. NO PROPERTY CORNERS WERE SET AS PART OF THIS TOPOGRAPHIC SURVEY.

THE PROPERTY DESCRIPTION WAS NOT FURNISHED, AND NO CHECK OF TITLE RELATIVE TO OWNERSHIP, GAPS, OVERLAPS, OR OCCUPATION HAS BEEN PERFORMED AS PART OF THIS TOPOGRAPHIC SURVEY.

THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.



Site Plan
Existing Site
Scale 1"=20'-0"



http://gfa.tc
231.946.5874 (p)
231.946.3703 (f)



ENGINEERING SURVEYING TESTING & OPERATIONS
123 West Front Street
Traverse City, MI 49684

REV	DATE	BY	CHK	DESC

INNOVATIVE DESIGN PC
EXISTING CONDITIONS - TOPOGRAPHIC SURVEY
1800 S. GARFIELD ROAD, TRAVERSE CITY, MI 49686
SECTION 14, TOWN 27 NORTH, RANGE 11 WEST
GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

P.L.	JASON JULLIETT, P.S.
D.R.	
J.P.T.	J.A.U.
JOB NO.	20369
SHT	1 OF 1

These documents are prepared in accordance with the contractual terms and conditions for this project.

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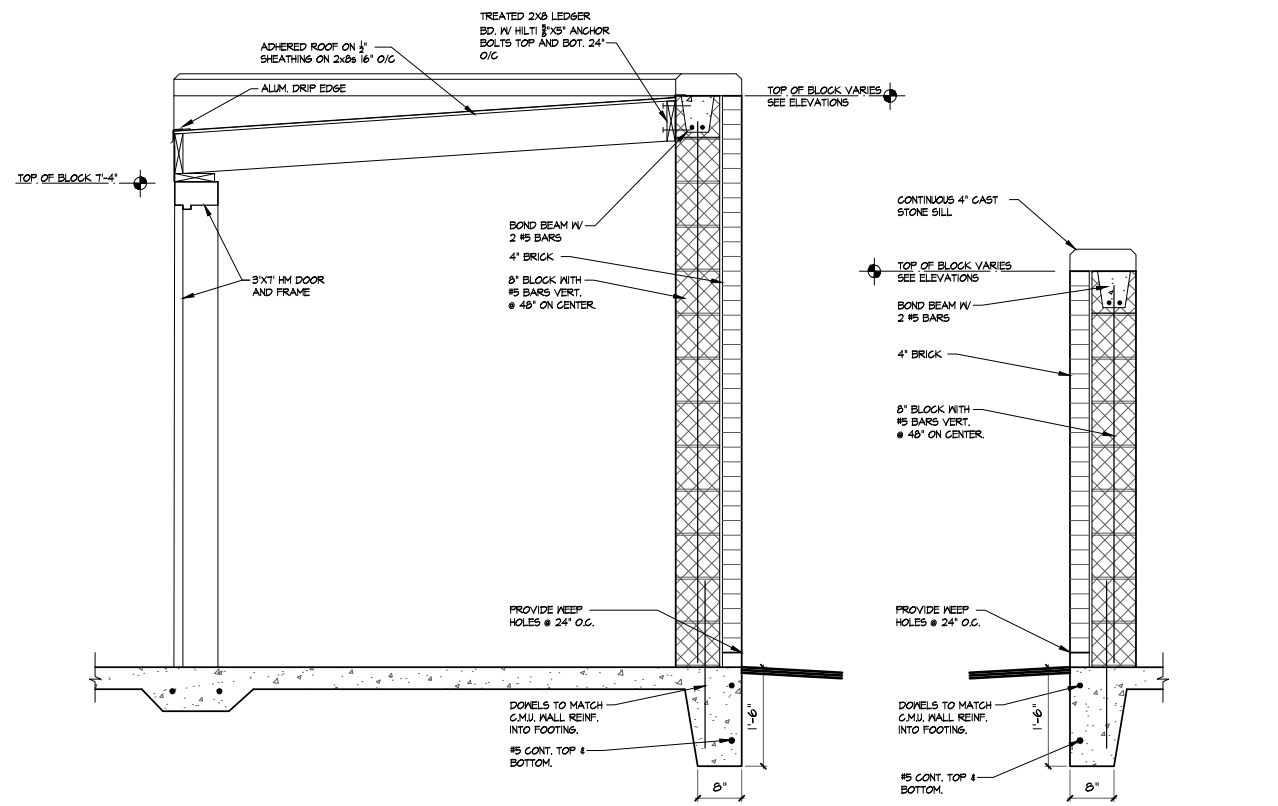


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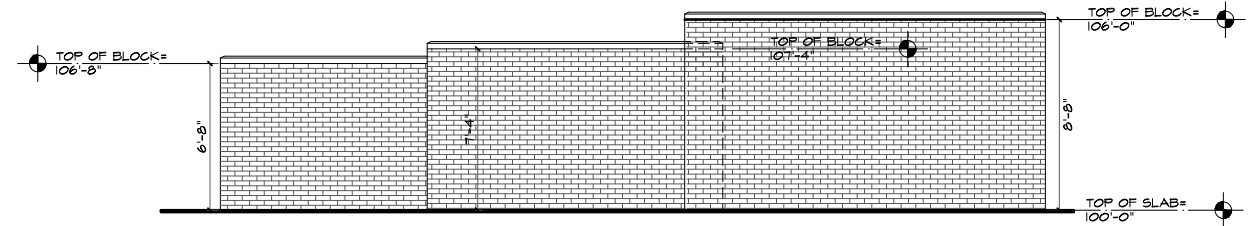


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Sht.No.
C-5
Job. No.
20-038

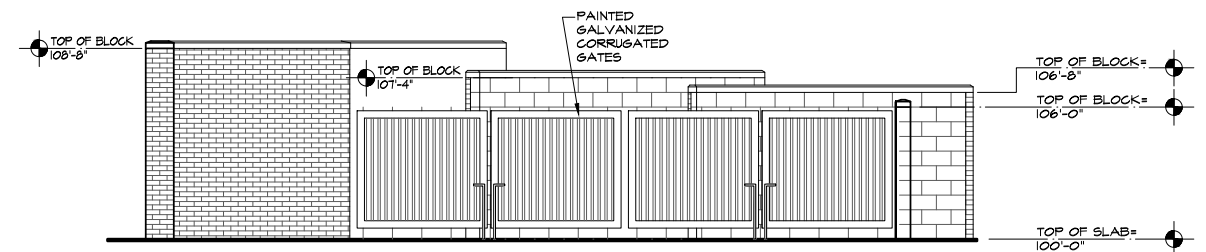


5 Dumpster Wall Section
Scale 3/4" = 1'-0"

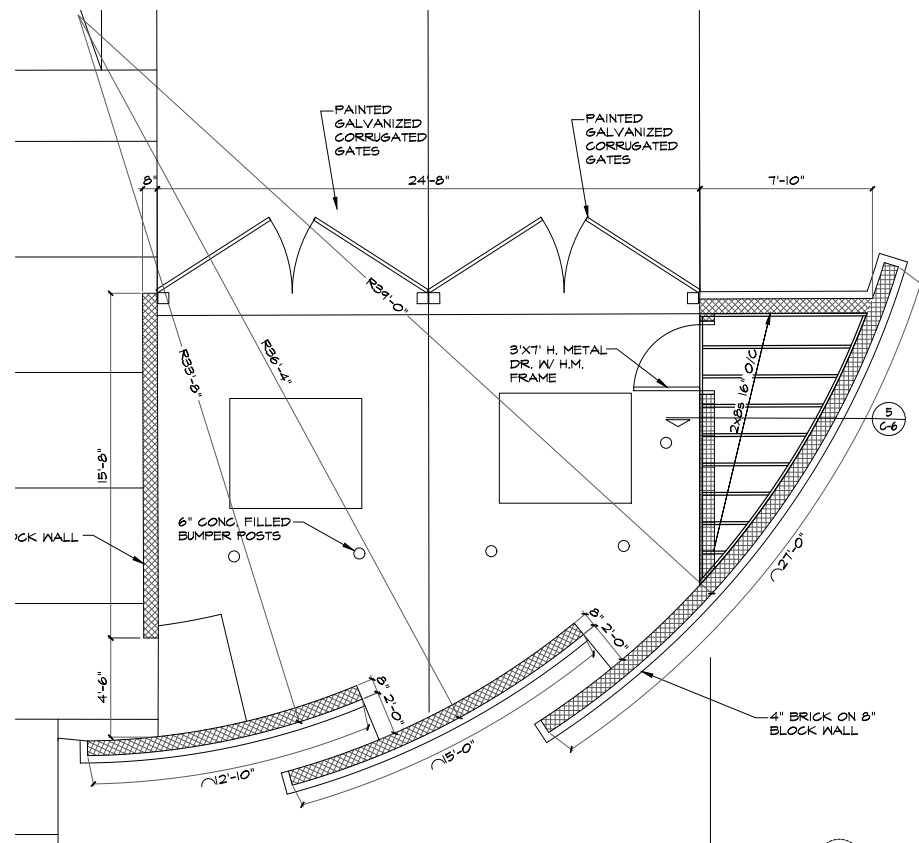
4 Dumpster Wall Section
Scale 3/4" = 1'-0"



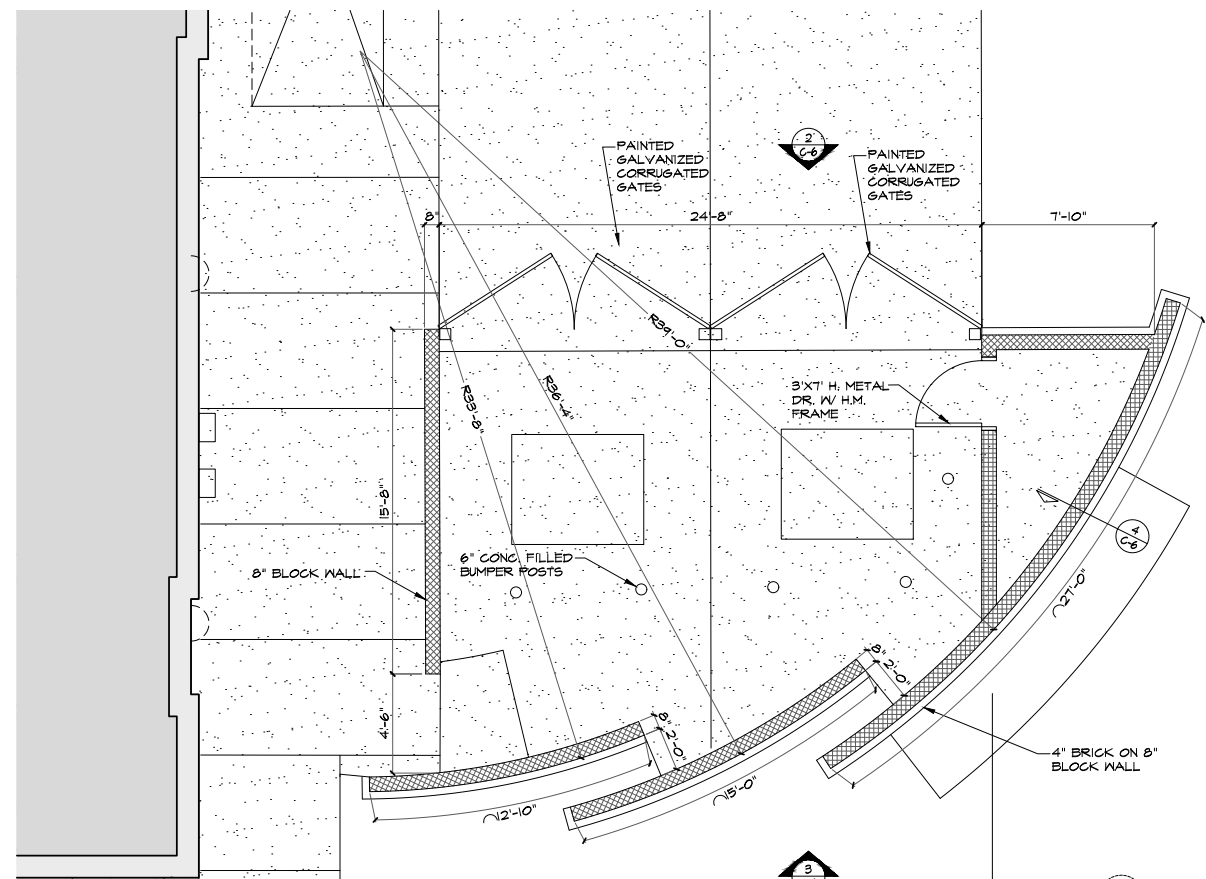
3 Dumpster Rear Elevation
Scale 1/4" = 1'-0"



2 Dumpster Front Elevation
Scale 1/4" = 1'-0"

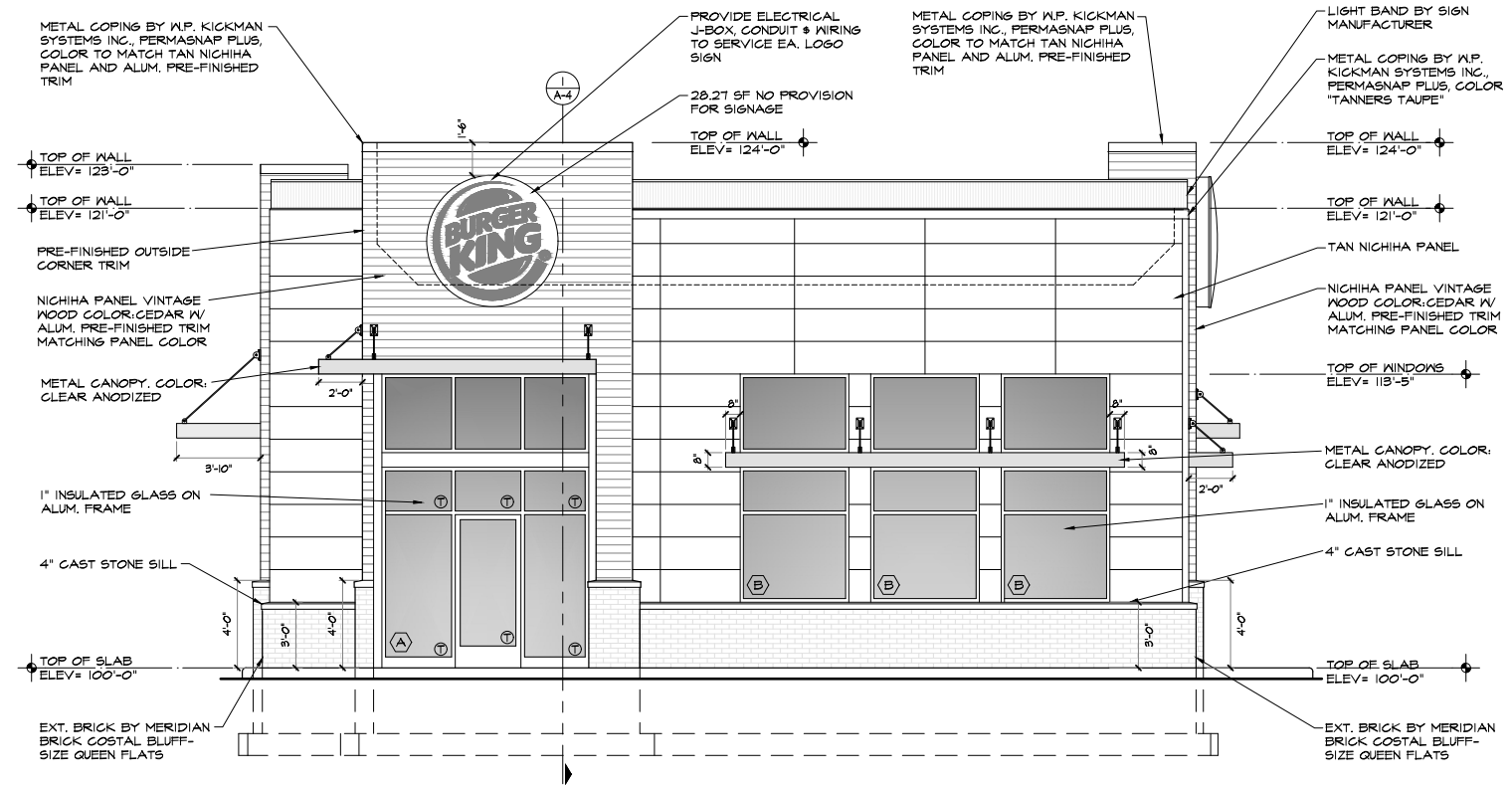


6 Dumpster Enclosure Framing Plan
Scale 1/4" = 1'-0"



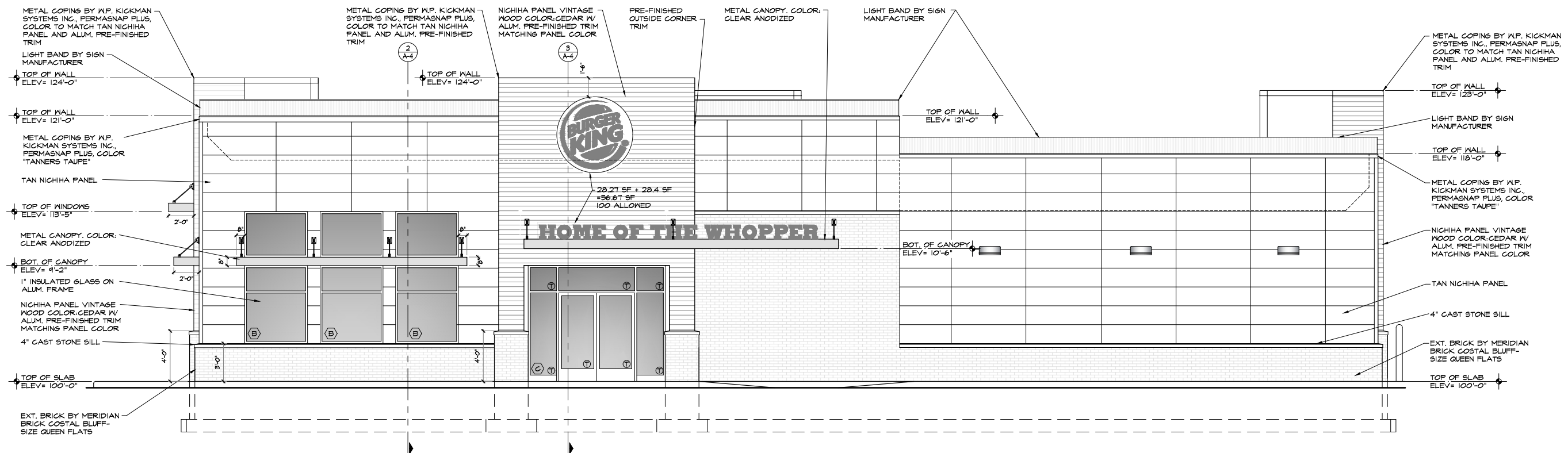
1 Dumpster Enclosure Plan
Scale 1/4" = 1'-0"





West Elevation

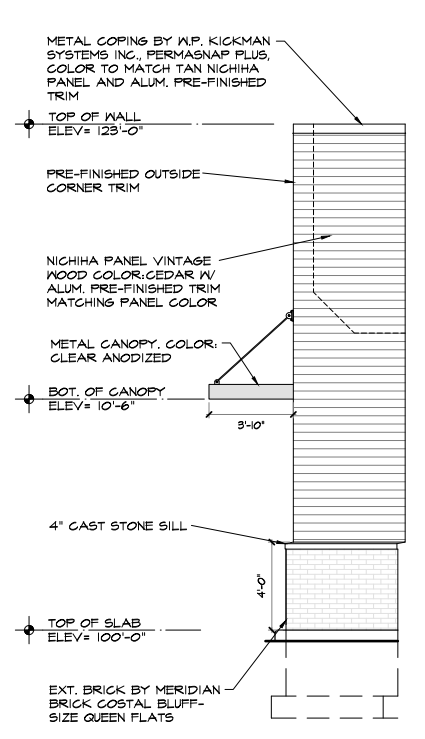
Scale: 1/4" = 1'-0"



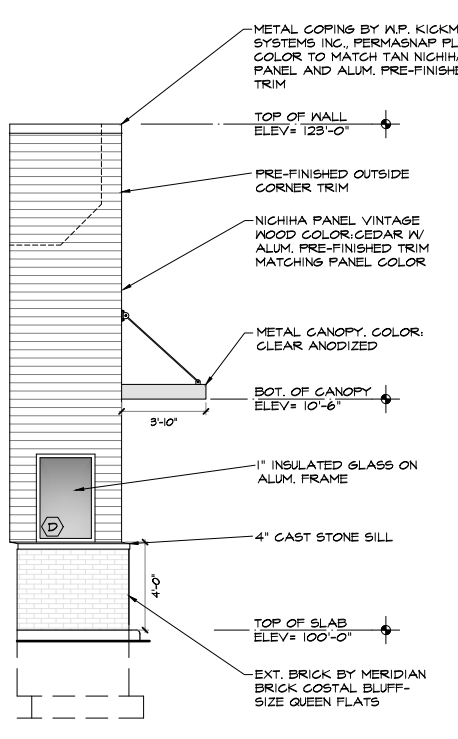
South Elevation

Scale: 1/4" = 1'-0"

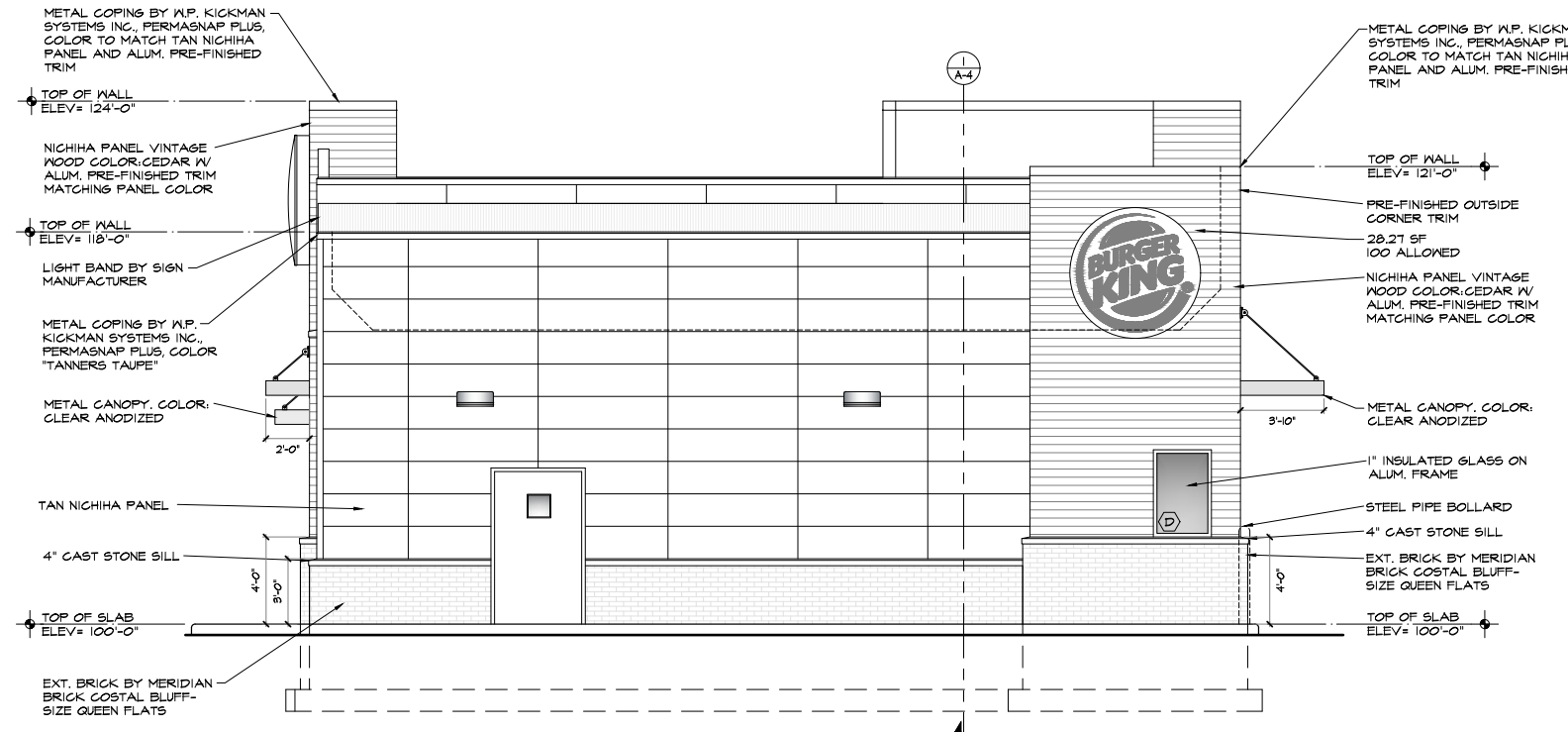




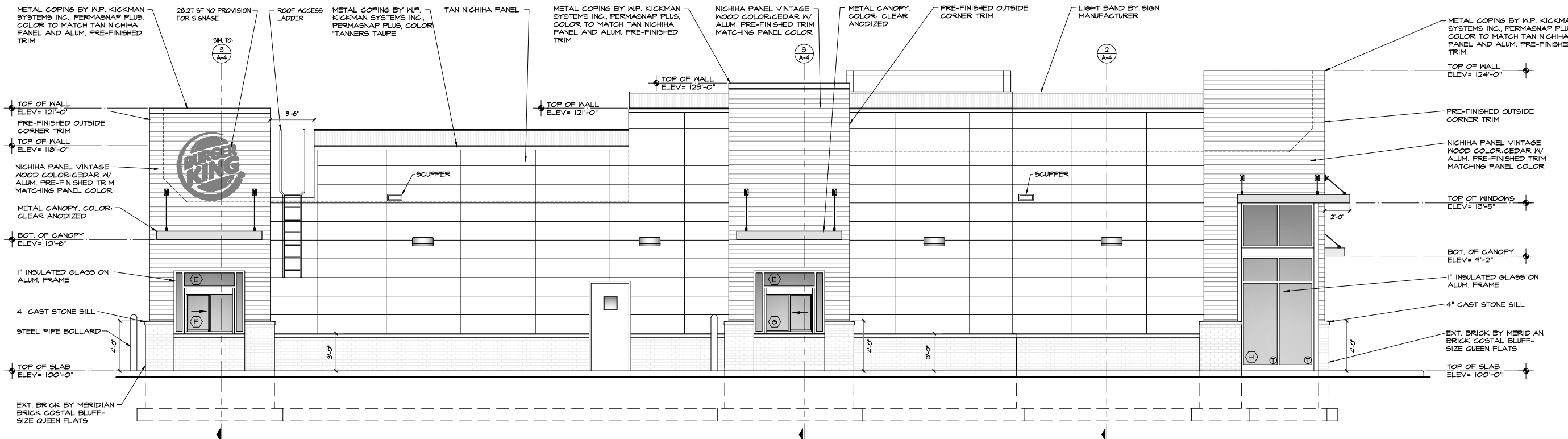
West D.T. Elevation
Scale: 1/4" = 1'-0"



East D.T. Elevation
Scale: 1/4" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"



North Elevation
Scale: 1/4" = 1'-0"


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Date
2-24-2021
Sht.No.
A-3
Job. No.
20-038

 Charter Township of Garfield Planning Department Report No. 2021-31			
Prepared:	March 3, 2021	Pages:	7
Meeting:	March 10, 2021 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Chick-fil-A Restaurant Special Use Permit-Introduction		
File No.	SUP-2021-01	Parcel No.	05-021-011-00
Applicant:	Chick-fil-A, Inc.		
Agent:	Progressive AE, Inc.		
Owner:	2700 N US 31 LLC		

BRIEF OVERVIEW:

- Location: 2700 N US-31 South, north of South Airport Road
- Parcel area: 2.113 acres development site (4.38 acres total parcel)
- Existing land use: Single family residential
- Existing zoning: C-G General Commercial District

PURPOSE OF APPLICATION:

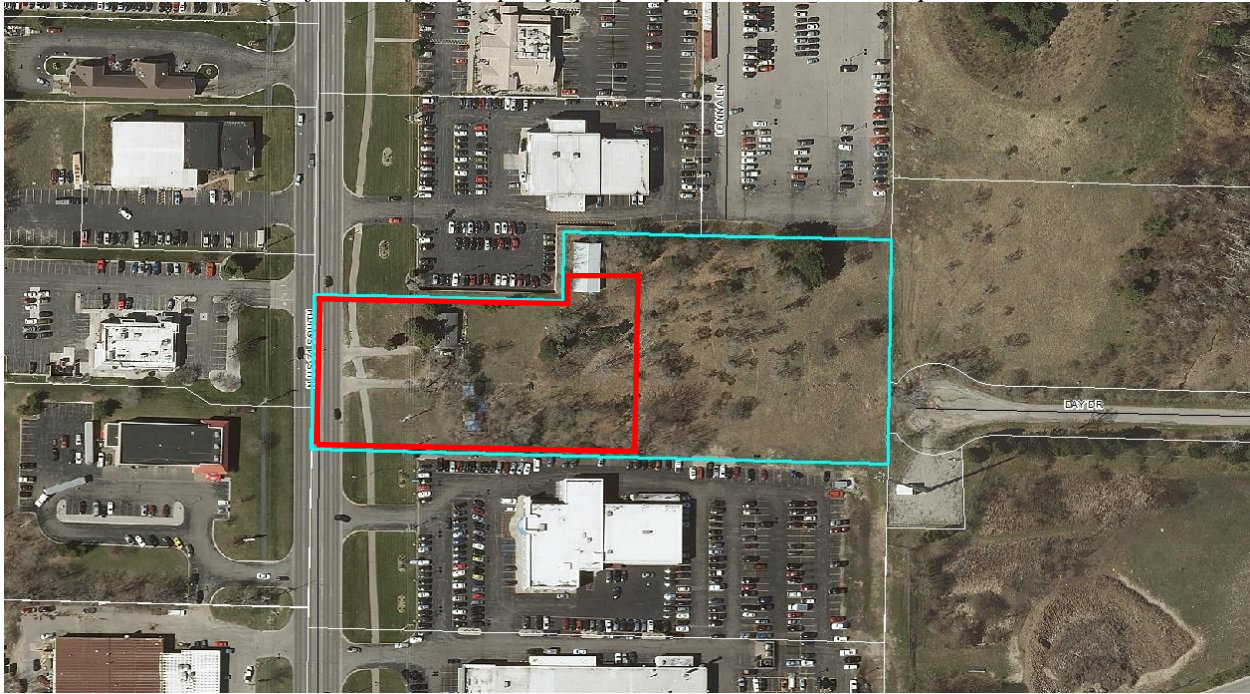
This application requests approval of a Special Use Permit for a proposed 4,978-square foot restaurant with seating for 104 inside the building and 20 outside at the patio. There will be parking for 36 vehicles and a drive-through window that could accommodate up to 47 cars. Drive-through business uses are permitted via Special Use Permit in the C-G General Commercial District.

A proposed hotel is shown on the same parcel but is not included as part of this application. Concurrent applications are prohibited on the same parcel; therefore, any hotel proposal will have to be reviewed under a separate application.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines in blue, development site in red):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Site Design Issues:

The subject parcel is 4.38 acres in total. The property owner would like to lease 2.113 acres to Chick-fil-A for a restaurant and then use the remainder of the parcel to develop a new hotel. In order for the uses on this site to function together, the following issues need to be considered:

- 1) Hotel is a use permitted by special conditions in the C-G General Commercial District. Therefore, any proposed hotel would be an administrative review under a separate application. As shown in the full parcel layout submitted by the applicant, it appears that the proposed hotel may not meet setback and other zoning requirements. A combined application may be a more appropriate review process for the parcel.
- 2) With one property owner and two development sites on the property, there may be future land divisions on the site. It would be helpful to know what the future property ownership configurations may occur on the site, including any possible land division or creation of a site condominium.
- 3) Cross access is encouraged between the subject site and properties to the north and south. This is a pattern of many existing businesses and parcels along US-31 and provides improved ingress and egress. Cross access may be part of the Special Use Permit review to improve traffic flow in and out of the site and may require discussions with adjacent property owners.

Setbacks:

The front setback is 40 feet in the C-G District; however, drive-throughs are required to have a 60-foot setback from the right-of-way line. Side and rear yards in the C-G District shall be ten percent (10%) of the lot width and depth, respectively, but need not exceed twenty-five (25) feet each, provided that no setback shall be less than ten (10) feet. In this case, the parcel is 200 feet wide, therefore the side and rear yard setbacks shall be 20 feet. The proposed buildings and structures meet the front, side, and rear yard setback requirements.

Ingress and Egress:

For ingress and egress from US-31, a new driveway would be constructed along the south side of the property to serve both the proposed restaurant and future hotel at the rear of the property. A traffic impact study is being prepared by Progressive AE, Inc. The study will be reviewed by the Township Engineer.

Drive-Through:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.

The site plan shows a double drive-through service lane around the north, west, and south sides of the building which is centered on the development site. Service will be provided to customers in automobiles with a small outdoor dining area; all other proposed activities will be inside the building.

A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.

A 60-foot setback from the right-of-way line of US-31 is adhered to for the building and associated drive-through operations.

Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.

There are no intersecting streets within 50 feet.

Pedestrian areas shall be clearly marked and maintained.

The site plan shows internal sidewalks around the front and sides of the building with a designated connection to the pathway on US-31.

Only one (1) ingress-egress drive shall be allowed per major thoroughfare.

There is only one existing ingress-egress drive for this site onto US-31.

All parking requirements shall comply with Article 5 of this Ordinance.

Restaurants with a drive through have a minimum parking requirement of 1 space for each 150 square feet of floor area and a maximum parking requirement of 1 space for each 75 square feet of floor area. The proposed building will be 4,978 square feet, requiring a minimum of 33 spaces and a maximum of 66 spaces. There will be 36 total parking spaces, including 2 barrier-free spaces.

A no-build buffer strip, not less than ten (10) feet in width, is required on the perimeter of every parking area, drive, shared drive, alley, or loading area that is not located adjacent to a building. This buffer strip shall be used for landscaping, screening or drainage. A buffer strip has been provided.

Bicycle parking shall be provided at the rate of 2 spaces per 25 motor vehicle spaces. There are 5 bike racks proposed which will give space for 10 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long. An off-hour loading zone is provided.

Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.

The parcel width is 200 feet.

Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).

The site plan shows a double drive-through service lane around the north, west, and south sides of the building which is centered on the development site. This drive-through layout may accommodate up to 47 vehicles.

Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that

roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.

This requirement shall be enforced as needed as part of the operation of the site.

The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

The applicant shall provide information demonstrating that this requirement is met. A traffic impact study has been requested due to the high volume of drive-through activity with similar Chick-fil-A restaurants.

Sidewalks:

An existing bike path, the Mall Trail, traverses across the frontage of the site along US-31. A 5-foot wide sidewalk is proposed from the Mall Trail to front of the restaurant building. With the removal of two existing driveways, the Mall Trail will need to be restored and yield signs shall be installed at the new driveway for trail users.

Building Elevations:

Building elevations have been provided that illustrate building height and façade colors and materials.

Landscaping:

Landscaping buffers are required along each of the property lines of the subject site:

- Type “B” buffer is required to the north and south. Type “B” buffer includes ground cover as specified in Section 530.J, plus two large trees, one medium or small tree, and four shrubs per one hundred (100) linear feet of greenspace area. The Type “B” Buffer area shall be a minimum width of ten (10) feet. This requirement has been met.
- Type “D” buffer is required on the west property line along the state highway. The Type “D” buffer includes ground cover as specified in Section 530.J, plus four large trees, three medium or small trees, and three evergreen or coniferous trees per one hundred (100) linear feet of greenspace area. The Type “D” buffer area shall be a minimum width of twenty (20) feet. As proposed, only a Type “B” buffer has been provided and the buffer width is only ten (10) feet.
- Type “C” buffer is required to the east. The type “C” buffer requires ground cover as specified in Section 530.J, plus three large trees, three medium or small trees, one evergreen or coniferous tree per one hundred (100) linear feet of greenspace area. The Type “C” Buffer area shall be a minimum width of ten (10) feet. This buffer may not be necessary along the east side of the restaurant site on the parcel but on the eastern property line of the parcel when the hotel site is developed. Forgoing this buffer would require a waiver by the Planning Commission.
- All parking areas with two (2) or more parking aisles shall require interior landscaped areas of at least ten (10) square feet for each parking space. The required amount of landscaping is 360 square feet. The site plan shows 781 square feet of interior landscaped areas.

The Planning Commission may waive or adjust any landscaping requirement in whole or in part provided that certain conditions exist upon the site.

Lighting:

A lighting plan has been submitted. The following comments address the proposed lighting:

- The light fixtures in both drive-through canopies are over 20.0 foot-candles going as high as 45.3 foot-candles. According to Table 5-7 of Section 517, average illumination levels of the illuminated area directly below lighting fixtures shall not exceed 20.0 foot-candles.
- A light pole is proposed within the Michigan Department of Transportation (MDOT) right-of-way. No other commercial businesses along US-31 have light poles within the MDOT right-of-way.
- Illumination levels at the property line shall not exceed the levels set forth in Table 5-8 of the Zoning Ordinance. Maximum illumination shall be measured at grade at the property line of the site. For a site adjoining another nonresidential zoning district along an arterial, the maximum illumination is 2.0 foot-candles. As currently shown, the foot-candle measurements do not extend to the property line. The lighting plan needs to label the foot-candle measurements at the property line to the south.
- The lighting plan shall note that none of the proposed fixtures will create illumination levels that exceed the standards of Section 517 of the Zoning Ordinance.

Snow Storage:

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified. The site plan states, "Township accepts storage in right of way." While the Township Zoning Ordinance does not preclude using right-of-way for snow storage, the right-of-way is maintained by MDOT – not the Township – and therefore, this note should be removed.

Dumpster Enclosure:

The proposed dumpster enclosure is located on the north side of the parking lot. The enclosure will be adjacent to a small maintenance shed that will house equipment to be used for landscaping and winter maintenance.

Stormwater and Utilities:

Proposed stormwater and water and sewer improvements will need to be reviewed by the Township Engineer.

Other Reviews:

Other reviews may be necessary including Metro Fire and Grand Traverse County Road Commission.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT application SUP-2021-01, submitted by Progressive AE, for a Special Use Permit for a drive-through restaurant at Parcel 05-021-011-00, BE ACCEPTED, and BE SCHEDULED for a public hearing for the April 14, 2021 Regular Planning Commission meeting, subject to the following additional information being provided by the applicant:

1. Provide plans for cross access connections and improvements with adjacent parcels.
2. The Mall Trail will need to be restored and yield signs shall be installed at the new driveway for trail users.
3. Type "D" buffer is required on the west property line along the state highway, unless adjusted by the Planning Commission.
4. The lighting plan needs to address following:

Chick-fil-A Restaurant Special Use Permit-Introduction- March 10, 2021 Planning Commission

- a. Canopy light fixtures shall not exceed 20.0 foot-candles.
 - b. The proposed light pole within the right-of-way will require MDOT approval.
 - c. Foot-candle measurements need to be labeled up to the south property line.
 - d. Note that none of the proposed fixtures will create illumination levels that exceed the standards of Section 517 of the Zoning Ordinance.
5. Remove the note on the site plan that states, “Township accepts storage in right of way” for the snow storage.
 6. Provide information that the site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
 7. Stormwater, water/sewer utilities, and the traffic impact study will be reviewed by the Township Engineer.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Impact Statement and Basis of Determination dated February 18, 2021
2. 11” X 17” plan set provided by applicant dated February 18, 2021

Chick-fil-A Special Land Use Application
2700 US 31 South, Traverse City, MI
Garfield Township
02/18/2021

Prepared by : Cheryl Scales, PE
Progressive AE
1811 4 Mile Road, NE
Grand Rapids, MI

Impact Statement

Chick-fil-A is applying for a special land use permit to construct a restaurant with a drive thru. The current site was single family residential. Our plans are to construct a new Chick-fil-A restaurant with a drive thru in coordination with a new Hotel behind our site.

The proposed Chick-fil-A restaurant will be 4,978 square feet and will seat 104 inside the building and 20 outside at the patio. There will be parking for 36 cars and a drive thru window that could accommodate up to 47 cars if needed. We will have 15-20 employees at our busiest shift, and we will employ approximately 75-100 new employees total (mix between full time and part time workers). Our site plan includes an order canopy that is stand-alone in the double drive thru lane, a stand-alone pickup canopy over the pick-up window area spanning both lanes, and a separate trash dumpster with a full masonry enclosure. We have added a double drive thru lane to serve as overflow at peak times of use. A pedestrian connection to the non-motorized trail along US-31 is included, and the driveway will be a shared driveway with the Hotel development.

The Chick-fil A will be constructed in one phase. We anticipate that construction will begin in August of 2021 and be complete by February of 2022. The construction will be coordinated with the Hotel development.

The site is currently serviced by public sanitary sewer located in US 31 ROW. The public water is located south of the site in the US 31 ROW and in Day Street to the east of the proposed hotel. Public water will be extended through the site and will connect these two lines. There are no creeks, streams, or wetlands on the site. We intend to work with the existing topography as much as possible.

Currently the site does not have any storm water detention or sediment filtration. Discharge is overland to various low spots, including MDOT ditch. We are adding underground storm water detention and storm water sediment filtration with an emergency discharge to the MDOT storm sewer. This will require MDOT approval. Our site will have a soil erosion and sediment control plan that will meet the Township, County and State standards. Methods for soil erosion control include silt fencing, catch basin sediment filters and sumps, timely seeding and mulching, and dust control/truck runoff pads.

We do not anticipate any increases in effluent discharge to the air or an increase in noise level. All lighting will be full cut off fixtures.

The proposed use is consistent with other commercial uses along US-31. North and south of the site are automotive dealers, and the Cherryland Mall. Commercial development is also present on the west side of US 31.

Lighting will be full cut off fixtures that meet the Township photometric standards.

Deed Restrictions:

- Highway easement to State of Michigan Liber 164, page 15.
- There will be an access easement for the shared drive.
- We intend to combine parcel A and B as part of this development (developer will pursue this development via condo).

Basis of Determination

General Standards (outlined in Section 8.1.3)

Chick fil-A will construct a facility that will be harmonious, compatible, and appropriate in appearance with the existing character of development in this area. Our building, as shown on the attached building elevations, is similar in color and style to the surrounding developments. The site changes will be an improvement by adding a new building, parking and landscape. Our drive thru stacking is at the back of the site, and there is ample space for the stacking so that it will not interfere with public streets. Chick-fil-A will improve this site at its own costs and will not cause any additional requirements for public facility upgrades.

Criteria from Section 423.E for approval of a Special Use Permit:

1. The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district.

This use is compatible with the Commercial masterplan designation.

2. The proposed use will be designed, constructed, operated, and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and natural environment.

This use is allowed as a special land use. The adjacent zoning and land use is commercial except for the east property that is residential. The site is located on US-31, a major road capable of handling the traffic from this use. Chick-fil-A will be operated by a local operator who will assure that the operation and maintenance meets the high standards for Chick-fil-A. The site will be fully landscaped, and the building design fits with the buildings in the area. All drive thru stacking traffic will be contained on the site, and the site is set back 98 feet behind the curb of US-31 so it matches the set back of the surrounding properties.

3. The proposed use will not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference.

The use of a drive thru restaurant will not cause any of these detrimental issues. US-31 has capacity to allow for the added traffic. All drive thru stacking will be on site. We are providing one shared driveway that is three lanes wide for both the hotel and our use.

4. Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as provision and location of screening, fencing, landscaping, buffers or setbacks.

The site will not be connected by a drive to Day Drive and the residential area. We are meeting the landscape buffering and setbacks, as well as the parking requirements for our use. We have a shared parking agreement with the hotel development. All drive thru stacking traffic will be contained on the site, and the site is set back 98 feet behind the curb of US-31 so it matches the set back of the surrounding properties.

5. The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood.

The site is wooded, but the majority of the trees are Elm trees subject to disease. We will try to preserve trees as possible, but if we cannot, not we will replant trees as the ordinance requires. The front set back from US-31 will remain a green space like the adjacent properties.

6. Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provides without excessive additional requirements at public cost.

US-31 can handle the anticipated traffic. The site currently is serviced by public sanitary sewer. We will be extending public water through the site to loop a dead end line to the line in Day Street. We will not cause any major demands on police, fire, and schools.

7. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Chick-fil-A is very family orientated and we look forward to becoming a part of the community and supporting it by giving back. Our operator will be living in the area and working at the restaurant. We require our operator to be a part of the community.

8. The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use.

Chick-fil-A will provide employment for 75-100 people and will be a valuable contributor to the local economy.

9. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazard and to minimize traffic congestion on the public roads.

Our site is proposed one - three lane driveway that we will work with MDOT to permit. There is a left turn lane on US31 that will help with traffic entering the site. A Traffic Study will be provided for review.

10. Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner.

The site is designed to keep all traffic from the drive thru and parking on our site. We are proposing a sidewalk connection to the bike path in the US-31 right of way.

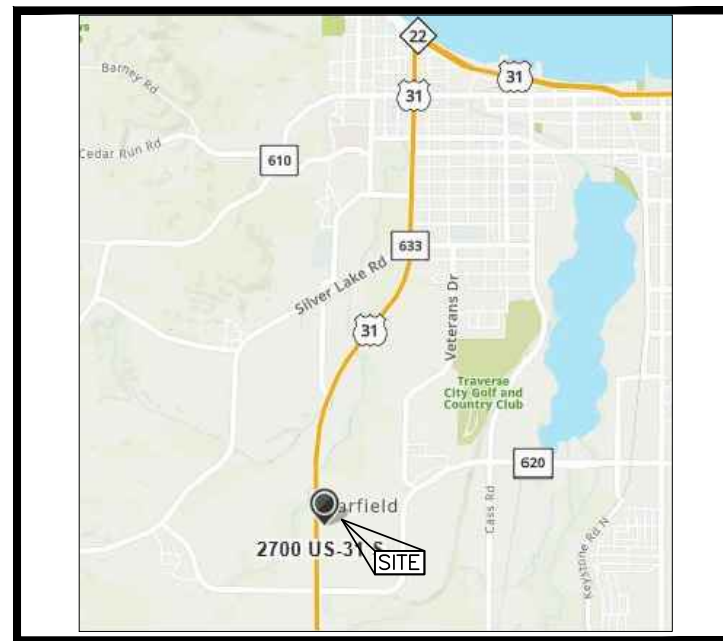
11. The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Our site design will not impede any surrounding property development. We are open to working with the surrounding property owners and the Township to pursue cross access easements and connections. We are working with the hotel development to coordinate our sites to work together.



TRAVERSE CITY FSU STORE #4815 SITE PLAN DOCUMENTS

2700 US-31 SOUTH
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
STATE OF MICHIGAN



LOCATION MAP
NOT TO SCALE



DESCRIPTION	INDEX	SHEET NO.
COVER SHEET		C-1.0
ALTA/NSPS LAND TITLE SURVEY		S1
SITE LAYOUT PLAN		C-2.0
OVERALL SITE PLAN		C-2.1
SITE GRADING AND DRAINAGE PLAN		C-3.0
SITE PLUMBING PLAN		PS-1.0
UTILITY EXTENSION PLAN		PS-1.1
LANDSCAPE PLAN		L-1.0
PHOTOMETRIC PLAN		E-102

PREPARED FOR:
CHICK-FIL-A, INC.
5200 BUFFINGTON RD.
ATLANTA GEORGIA 30349-2998
CONTACT: JUSTIN LURK
PHONE: (404) 530-1949
EMAIL: j--@cfacorp.com

PREPARED BY:
progressive|ae
1811 4 Mile Rd N.E., Grand Rapids, MI 49525 616
361 2664 OFFICE 616 361 1493 FAX
www.progressiveae.com
CONTACT: CHERYL SCALES, P.E.
EMAIL: scalesc@progressiveae.com



Know what's below.
Call before you dig.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
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Seal

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STORE #4815
TRAVERSE CITY FSU

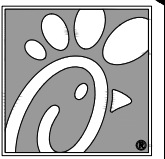
2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
COVER SHEET

Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

Sheet

C-1.0



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

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Mark Date By

△

Mark Date By

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Seal

VERSION: V1
ISSUE DATE: 01-2021

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STORE #4815
TRAVERSE CITY FSU

US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE

ALTA/NSPS
LAND TITLE
SURVEY

Job No. : 77020027

Store : 4815

Date : 1.29.21

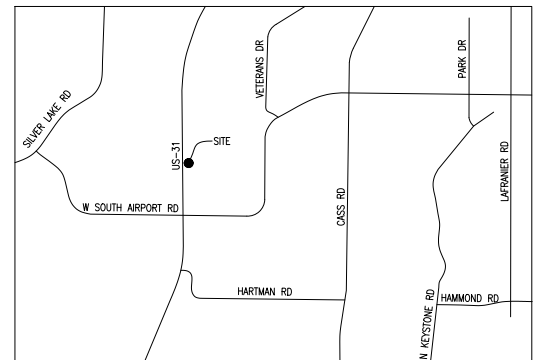
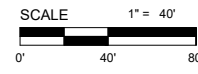
Drawn By : CLK

Checked By: MPS

Sheet

S1 of 1

- LEGEND**
- ◆ BENCHMARK
 - IRON FOUND
 - IRON SET
 - ⊙ MONUMENT FOUND
 - ⊕ SECTION CORNER
 - ⊕ EXISTING ELECTRIC HAND HOLE
 - ⊕ EXISTING MANHOLE (AS NOTED)
 - ⊕ EXISTING ELECTRIC TRANSFORMER
 - ⊕ EXISTING GUY ANCHOR
 - ⊕ EXISTING LIGHT POLE
 - ⊕ EXISTING TELEPHONE PEDESTAL
 - ⊕ EXISTING CATCH BASIN - ROUND
 - ⊕ EXISTING CATCH BASIN - SQUARE
 - ⊕ EXISTING SIGN
 - ⊕ EXISTING UNDERGROUND MARKER
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING GATE VALVE
 - ▬ EXISTING CONIFEROUS TREE LINE
 - ▬ EXISTING BUILDING
 - ▬ EXISTING FENCE
 - ▬ EXISTING ELECTRIC - OVERHEAD
 - ▬ EXISTING GAS



LEGAL DESCRIPTIONS PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT #28112389ANTS:
LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF GRAND TRAVERSE, TOWNSHIP OF GARFIELD

PARCEL 1
THE SOUTH 190 FEET OF THE NORTH 270 FEET, EXCEPT THE NORTH 90 FEET OF THE WEST 325 FEET THEREOF, OF THE WEST 2/7THS OF THE SOUTH 7/16THS OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 27 NORTH, RANGE 11 WEST.

PARCEL 2
PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWN 27 NORTH, RANGE 11 WEST, MORE FULLY DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 21, THENCE SOUTH 00°04'15" WEST, 1014.64 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 21 TO THE POINT OF BEGINNING; THENCE SOUTH 89°26'55" EAST 755.67 FEET ALONG THE SOUTH LINE OF THE NORTH 270.00 FEET OF THE SOUTH 7/16 OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 21; THENCE SOUTH 00°04'20" WEST 62.94 FEET ALONG THE MONUMENTED, EAST LINE OF THE WEST 2/7 OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, THENCE SOUTH 00°24'52" WEST 39.78 FEET ALONG SAID EAST LINE; THENCE NORTH 89°23'58" WEST 755.44 FEET; THENCE NORTH 00°04'15" EAST 1022.08 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SECTION 21 TO THE POINT OF BEGINNING.

SCHEDULE B - PART II EXCEPTIONS PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT #28112389ANTS:
ITEMS 1-2, AND 4-6 ARE NOT A MATTER OF SURVEY.
3. HIGHWAY EASEMENT RELEASE IN FAVOR OF THE STATE OF MICHIGAN AS EVIDENCED IN LIBER 164, PAGE 15. - PLOTTED.

TABLE A NOTES PERTAINING TO CHICAGO TITLE INSURANCE COMPANY COMMITMENT #28112389ANTS:
2. SITE ADDRESS: 2700 N. US-31 SOUTH, TRAVERSE CITY, MI 49686.

3. ZONE X - OUTSIDE OF THE 0.2% ANNUAL FLOOD CHANCE FLOODPLAIN DETERMINED BY FEMA MAP NUMBER 260550207C EFFECTIVE DATE AUGUST 28, 2018.

6. SITE IS ZONED C-G (GENERAL COMMERCIAL)
SETBACKS
FRONT - 40 FEET
SIDE & REAR - TEN PERCENT (10%) OF THE LOT WIDTH AND DEPTH, RESPECTIVELY, BUT NEED NOT EXCEED TWENTY-FIVE (25) FEET EACH, PROVIDED THAT NO SETBACK SHALL BE LESS THAN TEN (10) FEET.

**ZONING INFORMATION WAS TAKEN FROM GARFIELD TOWNSHIP'S WEBSITE AND MAY OR MAY NOT BE CURRENT. NO ZONING LETTER WAS PROVIDED AS PER THE ALTA / NSPS TABLE "A" REQUIREMENTS.

9. NO PARKING WAS OBSERVED DURING THE SURVEY.

11. THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS SHOWN BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-482-7171.

- (a) NAME: ATI
ADDR: 54 N. MILL ST, 4TH FLOOR, PONTIAC, MI 48342
PHONE: 248-456-8256
EMAIL: LD2154@ATT.COM
CONTACT: LINDA DENNISUK
- (b) NAME: CONSUMERS ENERGY
ADDRESS: 530 W WILLOW ST, LANSING, MI 48906
PHONE: 517-374-2002
EMAIL: MISSDIODESIGN@CKETS@CMSENERGY.COM
CONTACT: KURT GOLDING
- (c) NAME: CHARTER COMMUNICATIONS
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PHONE: 810-247-3899
EMAIL: PATRICK.DELISI@CHARTER.COM
CONTACT: PATRICK DELISI
- (d) NAME: GRAND TRAVERSE COUNTY DPW
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CONTACT: DIANNE THOMPSON
- (e) NAME: DTE FAS DISTRIBUTION
ADDRESS: NOT PROVIDED
PHONE: 313-235-5111
EMAIL: NOT PROVIDED
CONTACT: BARBARA SAUNDERS
- (f) NAME: TRAVERSE CITY LIGHT AND POWER
ADDRESS: 1131 HASTING ST, TRAVERSE CITY, MI 49686
PHONE: 231-932-4575
EMAIL: SMENHART@TCLP.ORG
CONTACT: SCOTT MENHART

16. THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADJUSTIONS DURING THE SURVEY.
17. THERE ARE NO KNOWN PROPOSED RIGHT OF WAY CHANGES OR EVIDENCE OF RECENT STREET CONSTRUCTION.
21. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

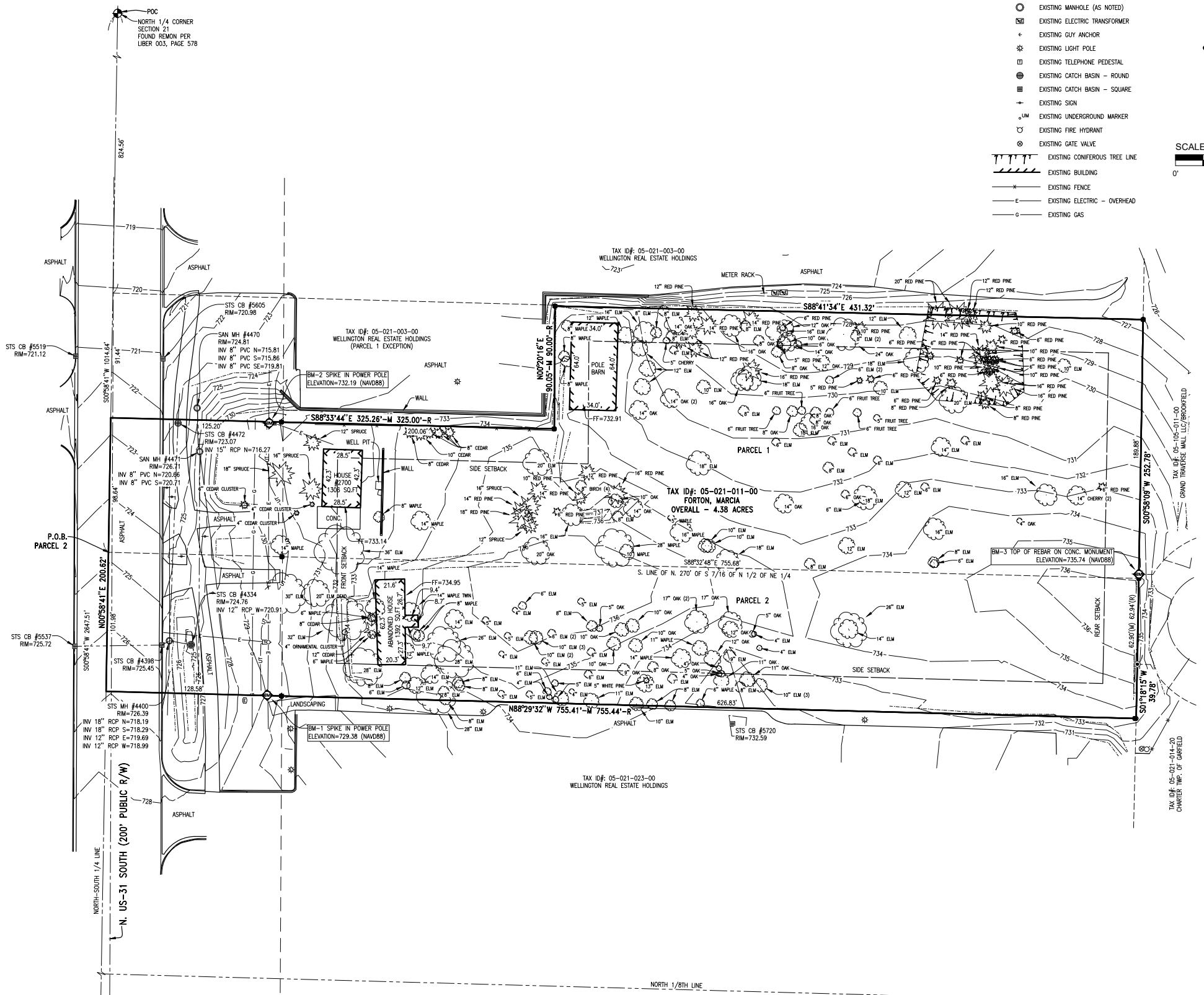


SURVEYOR'S CERTIFICATE:
CHICAGO TITLE INSURANCE COMPANY, CHICK-FIL-A, INC., A GEORGIA CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a)(1), 8, 9, 11, 13, 16, 17, 20 AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 01/19/2021.

MICHAEL P. STOCKING, P.S. NO. 56368

DATE OF PLAT OR MAP: 02/04/2020



BENCHMARKS

BM#1
SPIKE IN POWER POLE
ELEVATION=729.38

BM#2
SPIKE IN POWER POLE
ELEVATION=732.19

BM#3
TOP OF REBAR ON CONCRETE MONUMENT
ELEVATION=735.74

GENERAL NOTES

- BEARINGS BASED ON TRUE NORTH BY GPS OBSERVATION. ELEVATIONS BASED ON NAVD88 DATUM.
- ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.

2021/02/04 10:00:00 AM C:\Users\mstocking\OneDrive\Documents\Projects\2021\020420\ALTA\NSPS\Map.dwg - Michael P. Stocking, P.S. No. 56368
 2021/02/04 10:00:00 AM C:\Users\mstocking\OneDrive\Documents\Projects\2021\020420\ALTA\NSPS\Map.dwg - Michael P. Stocking, P.S. No. 56368
 2021/02/04 10:00:00 AM C:\Users\mstocking\OneDrive\Documents\Projects\2021\020420\ALTA\NSPS\Map.dwg - Michael P. Stocking, P.S. No. 56368

LEGEND

- ☆ LIGHT POLE
- ⊕ UTILITY POLE
- ⊖ ELECTRIC SWITCHGEAR
- ⊗ TEL, ELEC, GAS, WATER MANHOLE
- ⊙ TEL, ELEC, CATV, GAS MARKER
- ⊘ CATCH BASIN
- MANHOLE
- ⊗ VALVE & BOX
- ⊕ HYDRANT
- ⊖ FENCE LINE
- 10" STRM STORM SEWER
- 8" SAN SANITARY SEWER
- 12" WM WATERMAIN
- G GAS MAIN
- UGE UNDERGROUND ELECTRIC LINE
- SUBJECT PROPERTY LINE
- SECTION LINE
- EASEMENT LINE

REGULATORY AUTHORITIES & SERVICE PROVIDERS

- | | |
|---|--|
| <p>PLANNING, ZONING AND BUILDING DEPARTMENT
CHARTER TOWNSHIP OF GARFIELD
3848 VETERANS DRIVE, TRAVERSE CITY, MI 49684
JOHN SYCH
PH: 231-225-3155
jsych@garfield-twp.com</p> <p>FIRE MARSHAL
GRAND TRAVERSE METRO FIRE DEPARTMENT
897 PARSONS ROAD, TRAVERSE CITY, MI 49686
ASSISTANT CHIEF BRIAN BELCHER
PH: 231-947-8728</p> <p>GRAND TRAVERSE COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH DIVISION
2650 LAFRANIER ROAD, TRAVERSE CITY, MI 49686
CRAIG PRESTON
PH: 231-995-6051</p> <p>PLUMBING
GRAND TRAVERSE COUNTY BUILDING DEPARTMENT
2650 LAFRANIER ROAD, TRAVERSE CITY, MI 49686
BERRY BENIX
PH: 231-995-6014</p> <p>TRAFFIC ENGINEERING
MICHIGAN DEPARTMENT OF TRANSPORTATION
2084 N US HIGHWAY 31 S STE B,
TRAVERSE CITY, MI 49685
RICHARD E LIPTAK
PH: 231-941-1986</p> | <p>SANITARY SEWER AND WATER SERVICE
GRAND TRAVERSE COUNTY DPW
2650 LAFRANIER ROAD, TRAVERSE CITY, MI 49686
DIANE THOMPSON
PH: 231-995-6039 FAX: 231-929-7226
DThompson@grandtraverse.org</p> <p>STORM DRAINAGE
CHARTER TOWNSHIP OF GARFIELD
3848 VETERANS DRIVE, TRAVERSE CITY, MI 49684
MICHAEL GREEN
PH: 231-941-1620</p> <p>SOIL EROSION CONTROL
GRAND TRAVERSE COUNTY SOIL EROSION AND
SEDIMENT CONTROL
2650 LAFRANIER ROAD, TRAVERSE CITY, MI 49686
PH: 231-995-6051</p> <p>GAS
DTE ENERGY
ONE ENERGY PLAZA, 2020 WCP, DETROIT, MI 48226
STEVEN SALTER
PH: 313-389-7341
steven.salter@dteenergy.com</p> <p>ELECTRIC
TRAVERSE CITY LIGHT AND POWER
400 BOARDMAN AVENUE, TRAVERSE CITY, 49686
MARK WATSON
PH: 231-932-4564</p> <p>TELECOMMUNICATIONS
AT&T</p> |
|---|--|



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

SITE CLEARING AND DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SECC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP THE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.



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Atlanta Georgia,
30349-2998

Revisions:

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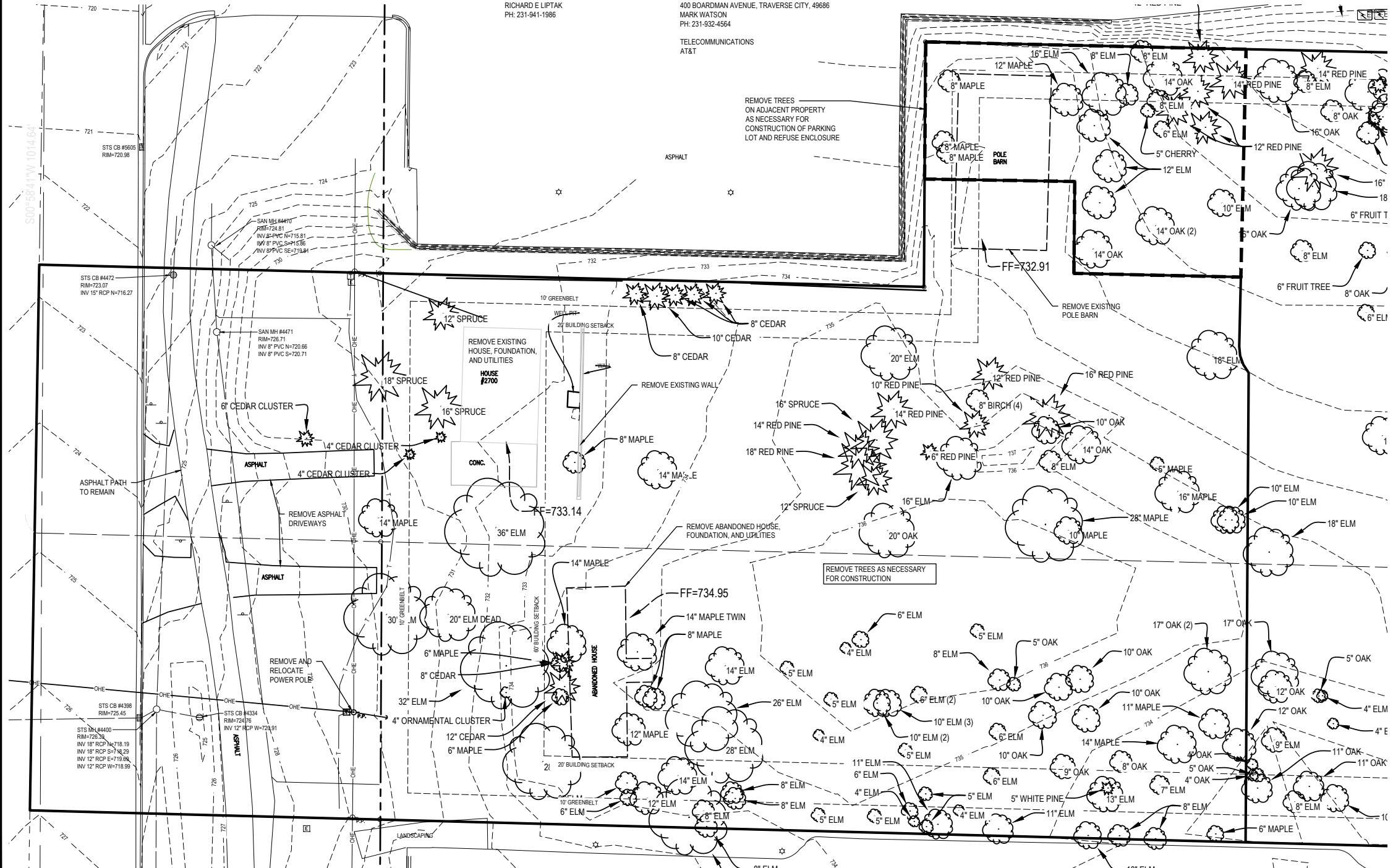
STORE #4815
TRAVERSE CITY FSU

2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
CHICK-FIL-A
SITE PLAN







Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

Sheet
C-1.1



TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
1"=20'

LEGEND

-  BITUMINOUS PAVEMENT
1.5" MDOT 36A, 165#/SY BITUMINOUS
2.5" MDOT 13T, 275#/SY BITUMINOUS
6" MDOT 21AA AGGREGATE BASE
-  CONCRETE WALKS & PATIO
4" MDOT P1 LIMESTONE CONCRETE
4" MDOT CLASS II SAND
-  CONCRETE DRIVE-THRU
5" MDOT P1 CONCRETE, 4,000 PSI
4" MDOT 21AA AGGREGATE BASE
-  CONCRETE APRON AT TRASH ENCLOSURE
8" MDOT P1 CONCRETE, 4,000 PSI
4" MDOT 21AA AGGREGATE BASE
-  PROPOSED LIGHT POLE
-  NUMBER OF PARKING SPACES

PROPERTY OWNER: 2700 N US-31 LLC

EXISTING ZONING - C-G, GENERAL COMMERCIAL

CHICK-FIL-A LEASE PARCEL AREA = 2.113 ACRES
PAVEMENT & BUILDING COVERAGE = 70.5%
GREEN SPACE = 29.5%

BUILDING SETBACKS PER SPECIAL LAND USE:
FRONT: 60 FEET
SIDES: 20 FEET

PARKING REQUIRED = 33 MINIMUM, 66 MAXIMUM
PARKING PROVIDED = 36 SPACES (34 STANDARD, 2 BARRIER-FREE)
STACKING PROVIDED = 20 SPACES

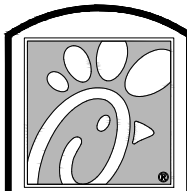
PARKING DIMENSIONS: 9' X 20' TO FACE OF CURB

PARKING LOT INTERIOR LANDSCAPING:
REQUIRED = 360 SQ. FT.
PROVIDED = 750 SQ. FT.

SNOW STORAGE REQUIRED: 10 SQ. T. PER
100 SQ. FT. OF PARKING AREA
PARKING AREA = 13,250 SQUARE FEET
SNOW STORAGE AREA REQUIRED = 1,325 SQUARE FEET
TOWNSHIP ACCEPTS STORAGE IN RIGHT OF WAY,
CONFIRM WITH RIGHT OF WAY DOCUMENT

SITE PLAN DESIGN AND KEY NOTES:

- 1 DIRECTIONAL ARROW, DETAIL 1/C-9.0
- 2 DRIVE-THRU GRAPHICS, DETAIL 2/C-9.0
- 3 STOP LINE GRAPHIC, DETAIL 2/C-9.0
- 4 PAINTED HANDICAP PARKING SYMBOL, DETAIL 1/C-9.0
- 5 90 DEGREE PARKING STRIPING, DETAIL 3/C-9.0
- 5A 60 DEGREE PARKING STRIPING, DETAIL 3/C-9.0
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SOLID WHITE STRIPING
- REFER TO SIGNAGE PACKAGE BY CHANDLER SIGNS
- 6A "CATERING & CARRYOUT" SIGN, SEE SIGNAGE PACKAGE
- 6B ACCESSIBLE PARKING SIGN, SEE SIGNAGE PACKAGE
- 6C "STOP" SIGN, SEE SIGNAGE PACKAGE
- 6D "PEDESTRIAN CROSSWALK" SIGN, SEE SIGNAGE PACKAGE
- 6E "LEFT TURN ONLY" SIGN, SEE SIGNAGE PACKAGE
- 6F "DO NOT ENTER" SIGN, SEE SIGNAGE PACKAGE
- 6G CHICK-FIL-A MONUMENT SIGN, SEE SIGNAGE PACKAGE
- 6H "CAUTION LANES MERGE" SIGN, SEE SIGNAGE PACKAGE
- 6I CHICK-FIL-A "EXIT" SIGN, SEE SIGNAGE PACKAGE
- 6J CHICK-FIL-A "DRIVE THRU" SIGN, SEE SIGNAGE PACKAGE
- 6K CLEARANCE BAR, DETAIL 10/C-9.3 & SIGNAGE PACKAGE
- 6L MENU ORDER BOARDS, SEE SIGNAGE PACKAGE
- 6M FLAGPOLE, 50', SEE SIGNAGE PACKAGE
- 7 SIDEWALK ACCESSIBLE RAMP, DETAIL 3/C-9.1
- 8 CURB RAMP w/ FLARED SIDES, DETAIL 2/C-9.1
- 9 CURB RAMP w/ SHORT FLARED SIDES, DETAIL 1/C-9.1
- 11 TYPICAL CONCRETE SIDEWALK, 5' MIN., DETAIL 9/C-9.0
- 12 7' WIDE SIDEWALK w/ CURB & GUTTER, DETAIL 10/C-9.0
- 13 DRIVE THRU PLAN - FLUSH WITH FFE, DETAIL 8/C-9.3
- 14 DRIVE-THRU ISOMETRIC, DETAIL 9/C-9.3
- 15 SOLID PLASTIC WHEEL STOP, DETAIL 5/C-9.1
- 16 OMITTED
- 17 24" CONCRETE CURB & GUTTER, DETAIL 11/C-9.0
 - 17A SPILLING CURB SECTION
 - 17B CATCHING CURB SECTION
 - 17C DEPRESSED SPILLING CURB
 - 17D DEPRESSED CATCHING CURB
- 18 ROLL-OVER MOUNTABLE CURB, DETAIL 11/C-9.3
- 19 REFUSE ENCLOSURE - SEE ARCHITECTURAL
- 20 CONCRETE BOLLARD, DETAIL 5/C-9.2
- 21 TYPICAL HMAC PAVEMENT SECTION, DETAIL 3/C-9.2
- 21A PAVEMENT EDGE DETAIL, DETAIL 11/C-9.1
- 21B CONCRETE APRON AT TRASH ENCLOSURE, DETAIL 12/C-9.1
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT, DETAIL 10/C-9.1
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT, DETAIL 7/C-9.1
- 24 CONCRETE APRON @ TRASH ENCLOSURE, DETAIL 12/C-9.0
- 25 CONCRETE PAVING @ DRIVE THRU LANE, DETAIL 12/C-9.0
- 26 ADA RAMP & HANDRAIL, DETAIL 9/C-9.2
- 27 ALUMINUM HANDRAIL, DETAIL 8/C-9.2
- 28 CONCRETE CONTRACTION JOINT, DETAIL 9/C-9.1
- 29 CONCRETE KEYPED CONSTRUCTION JOINT, DETAIL 8/C-9.1
- 30 CONCRETE LONGITUDINAL BUTT JOINT, DETAIL 1/C-9.2
- 31 CONCRETE EXPANSION JOINT, DETAIL 6/C-9.1
- 32 MULTI-LANE DIRECTIONAL GRAPHICS, DETAIL 6/C-9.2
- 33 PAINTED CROSSWALK, DETAIL 7/C-9.2
- 34 DRIVE THRU ORDER POINT ISLAND CURB, DETAIL 7/C-9.3
- 35 MENU BOARD LOOP DETECTION SYSTEM, DETAIL 5 & 6/C-9.3
- 36 ENTRY DOOR FROST SLAB, DETAIL 1/C-9.3
- 37 PATIO SEPARATION RAILING
- 38 THICKENED SLAB EDGE AT RAILING CORE-DRILLS
- 39 CONCRETE TRANSFORMER PAD
- 40 LANDSCAPED AREA
- 41 OUTDOOR PATIO SPACE, SEE ARCHITECTURAL PLANS
- 42 CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB, 4" THICK
- 43 CONCRETE PAD FOR OPTIONAL CASH STATION
- 44 BIKE RACKS ON 11'X20' CONCRETE - 5 BIKE PARKING
- 45 CONCRETE DRAINAGE PASS-THROUGH
- 46 DRIVE-THRU LANE STRIPING (SEE CFA DESIGN NOTES #2020-037)
- 47 FACE-TO-FACE DRIVE-THRU CANOPY SYSTEM
- 48 MEAL DELIVERY CANOPY SYSTEM



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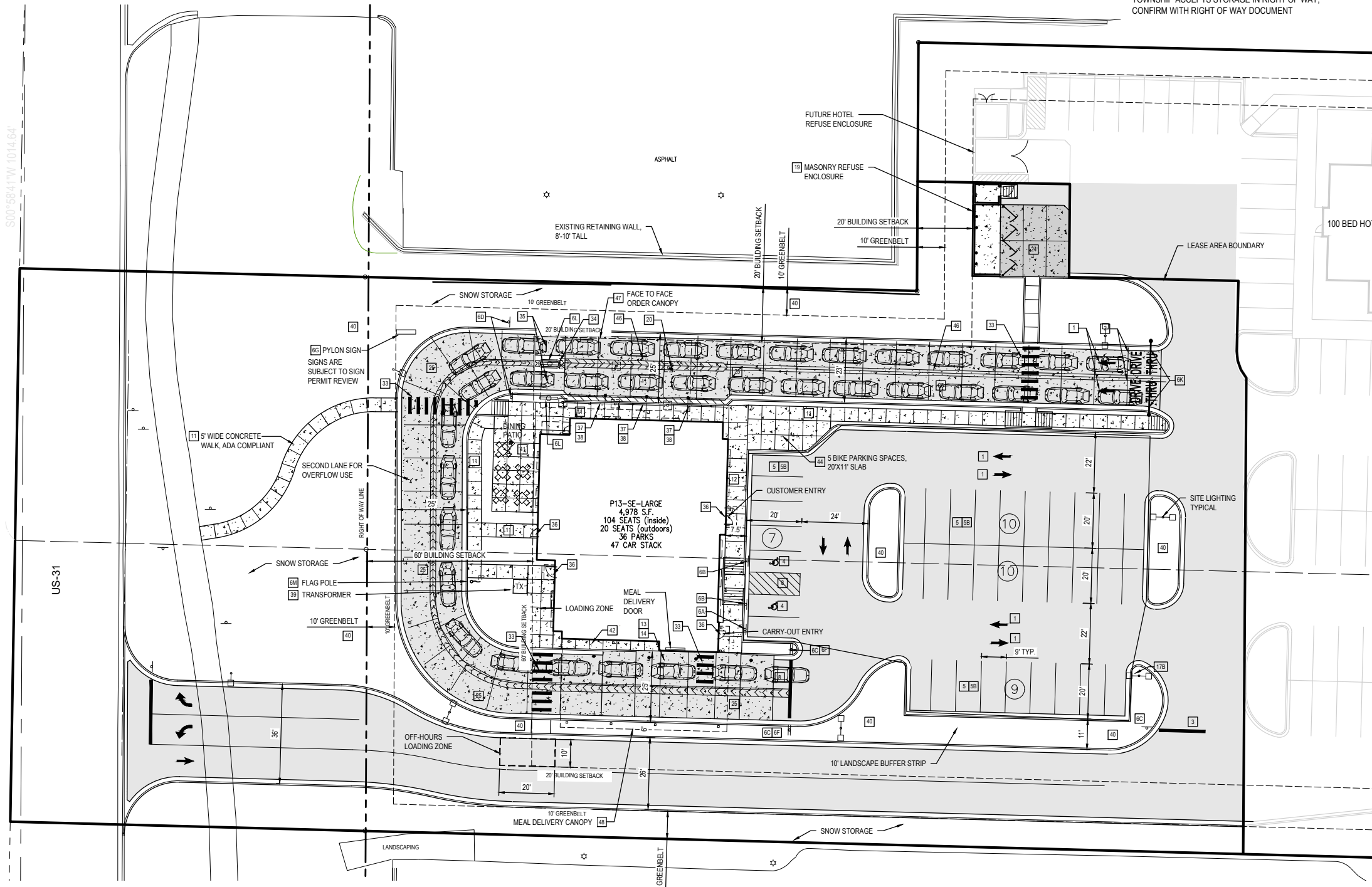
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SHEET TITLE
CHICK-FIL-A
SITE PLAN

Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

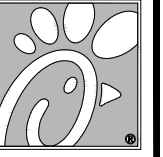
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CHICK-FIL-A SITE PLAN
1" = 20'

S00°58'41"W 1014.64'

US-31



Chick-fil-A

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2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
OVERALL
SITE PLAN

Job No. : 77020027
Store : 4815
Date : 2/18/21
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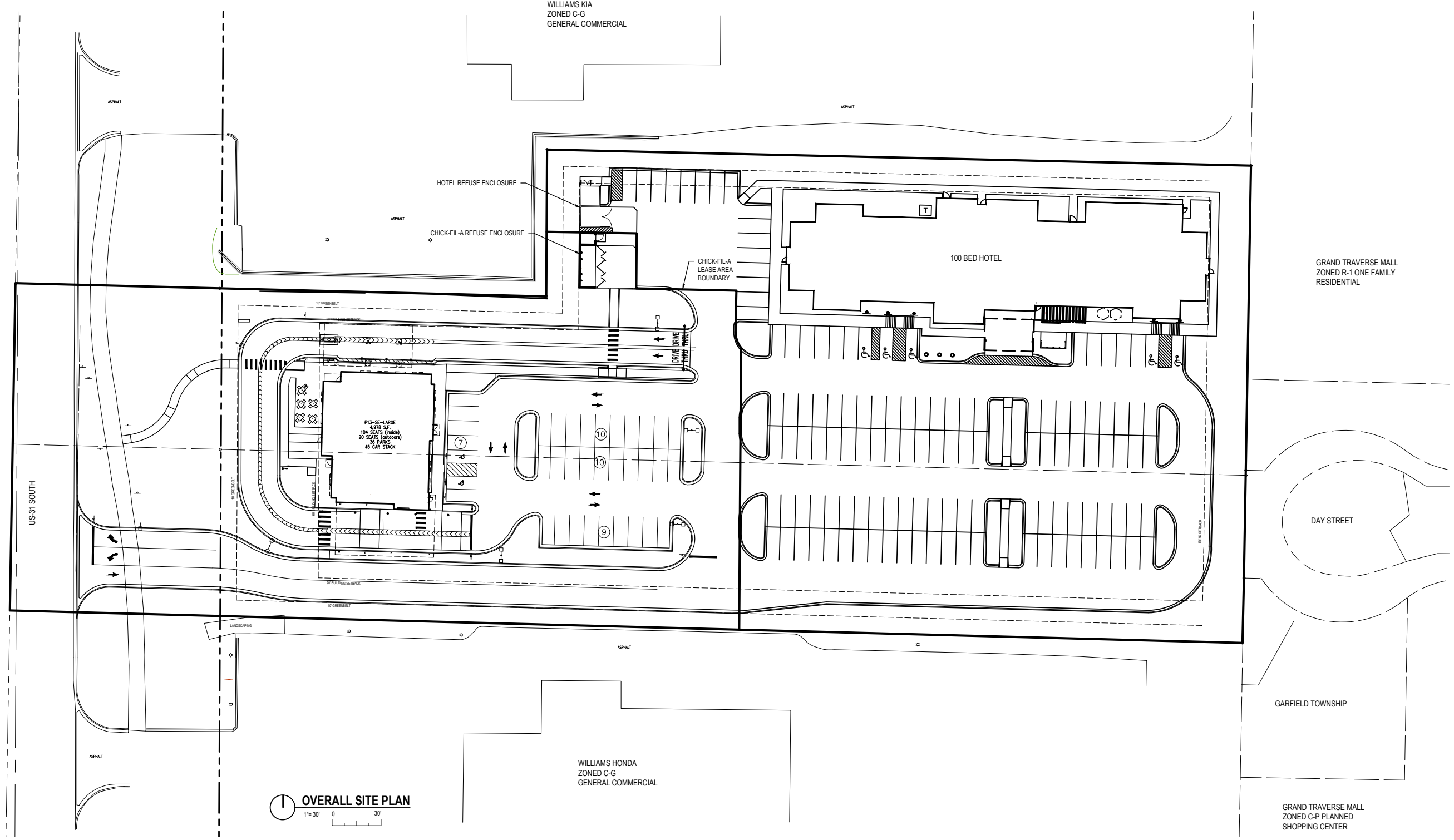
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C-2.1

RETAIL COMPLEX
ZONED C-G
GENERAL COMMERCIAL

RED LOBSTER
ZONED C-G
GENERAL COMMERCIAL

DISCOUNT TIRE
ZONED C-G
GENERAL COMMERCIAL



OVERALL SITE PLAN
1"= 30'

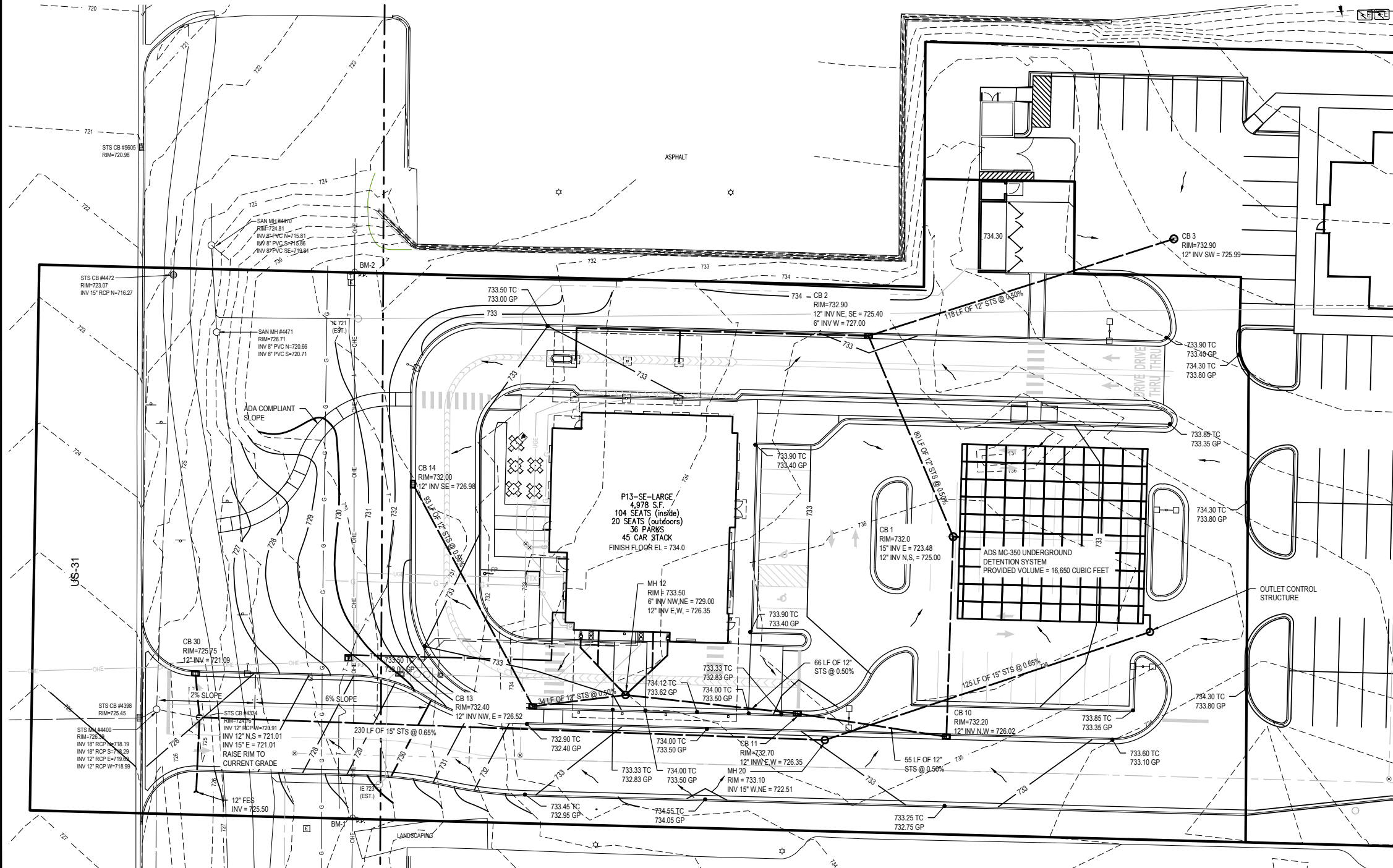
WILLIAMS KIA
ZONED C-G
GENERAL COMMERCIAL

WILLIAMS HONDA
ZONED C-G
GENERAL COMMERCIAL

GRAND TRAVERSE MALL
ZONED R-1 ONE FAMILY
RESIDENTIAL

GARFIELD TOWNSHIP

GRAND TRAVERSE MALL
ZONED C-P PLANNED
SHOPPING CENTER



SITE GRADING AND DRAINAGE PLAN
1" = 20'

EARTHWORK & GRADING NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE 2012 EDITION OF THE MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
- GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE.
- THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE / BACK OF CURB.
- THE EXISTING SANDY SOIL MAY BE UTILIZED AS ENGINEERED FILL PROVIDED ALL DELETERIOUS OR ORGANIC MATERIALS ARE REMOVED FROM THE SOILS AND IT IS APPROVED BY THE GEOTECHNICAL ENGINEER. ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 98 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D698, STANDARD PROCTOR COMPACTION TEST.
- ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
- SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE.
- PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE STORM WATER RUNOFF TO CATCH BASINS.
- UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 3" BELOW FINISH FLOOR ELEVATION.
- PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.

ADA NOTES

- A MINIMUM OF ONE ACCESSIBLE ROUTE MUST BE PROVIDED FROM AN ACCESSIBLE ENTRANCE TO THE PUBLIC WAY WHERE FEASIBLE AND WHERE PUBLIC TRAVEL PATH EXISTS.
- GENERAL DESIGN PARAMETERS OF THE ENTIRE ACCESSIBLE PATH ARE AS FOLLOWS (SEE STANDARD DETAILS FOR ADDITIONAL INFORMATION):
 - RUNNING SLOPE OF PATH = 5% (1:20) OR LESS.
 - CROSS-SLOPE OF PATH = 2.0% (1:50) OR LESS.
 - RUNNING SLOPE OF RAMPS = 8.3% (1:12) OR LESS.
 - SLOPE IN ALL DIRECTIONS OF ACCESSIBLE PARKING STALLS AND LOADING AREAS = 2.0% (1:50) OR LESS.
- SEE SHEET C-3.1 FOR DETAILED SPOT ELEVATIONS.

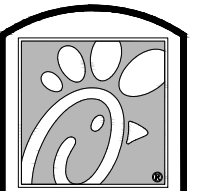
GRADING AND DRAINAGE LEGEND

→	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP

---	EXISTING MAJOR CONTOUR - 5 FT. INTERVAL
- - -	EXISTING MINOR CONTOUR - 1 FT. INTERVAL
---	PROPOSED MAJOR CONTOUR - 5 FT. INTERVAL
- - -	PROPOSED MINOR CONTOUR - 1 FT. INTERVAL
---	PROPOSED STORM SEWER
---	PROPOSED 4" UNDERDRAIN

STORM SEWER NOTES

- STORM SEWER PIPE 10" DIA. OR LARGER SHALL BE ASTM C-76 CL IV REINFORCED CONCRETE PIPE OR ASTM F2306 HIGH DENSITY POLYETHYLENE PIPE. STORM SEWER PIPE SMALLER THAN 12" SHALL BE SDR 35 PVC.
- YARD DRAINS (YD) TO BE 12" SQUARE DRAINTECH CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
- CATCH BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE.
- CONNECT ALL ROOF DRAINS TO PROVIDED STORM SEWER UNLESS OTHERWISE NOTED.
- WATER QUALITY UNIT TO BE 6" DIAMETER DOWNSTREAM DEFENDER BY HYDRO INTERNATIONAL.
- UNDERDRAIN TO BE INSTALLED AT ALL CATCH BASINS PER DETAIL ON SHEET C501.
- ALL FLARED END SECTIONS TO BE CONCRETE UNLESS NOTED OTHERWISE.



Chick-fil-A

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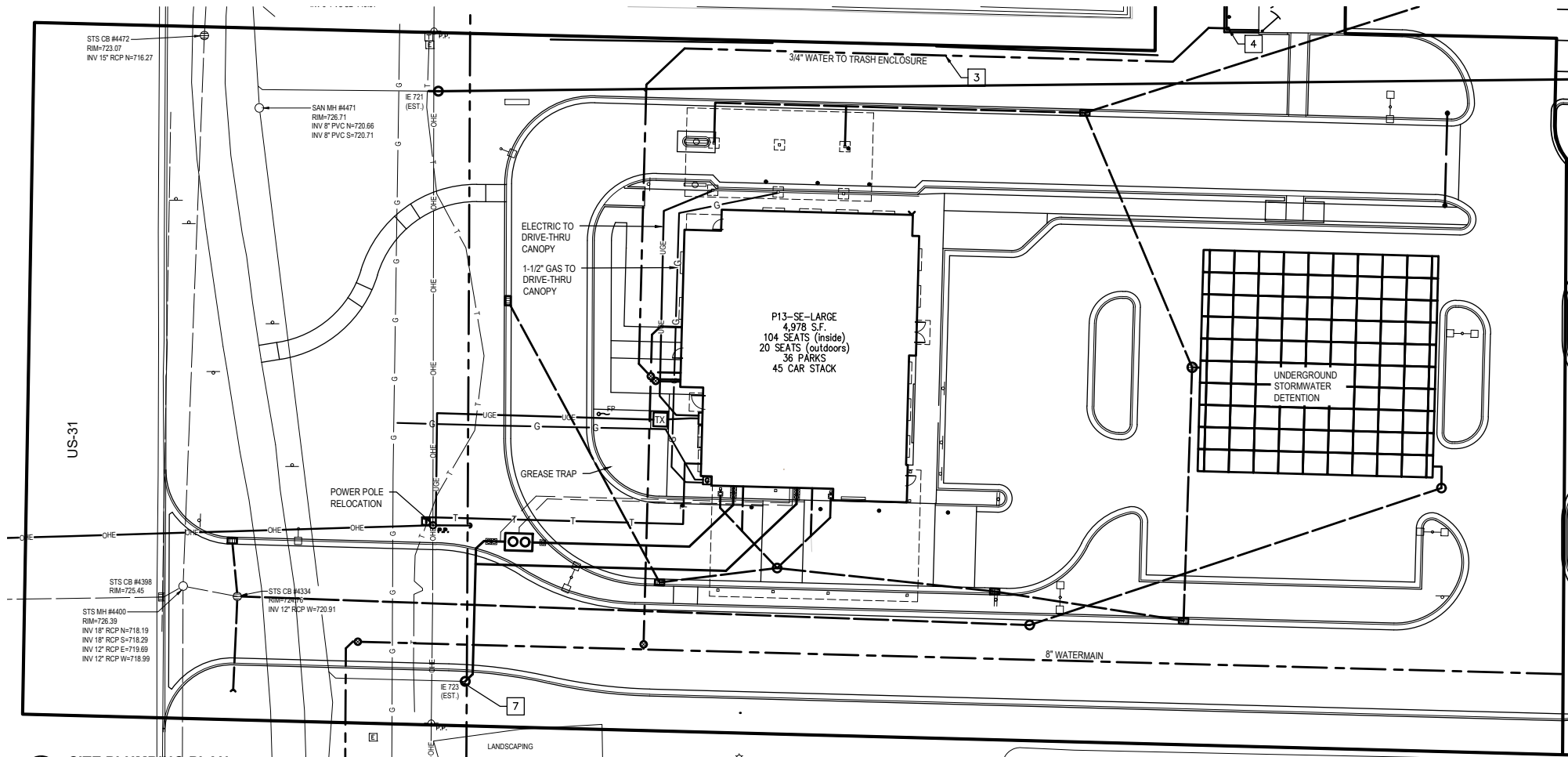
**STORE #4815
TRAVERSE CITY FSU**

2700 US-31 SOUTH
TRAVERSE CITY, MI

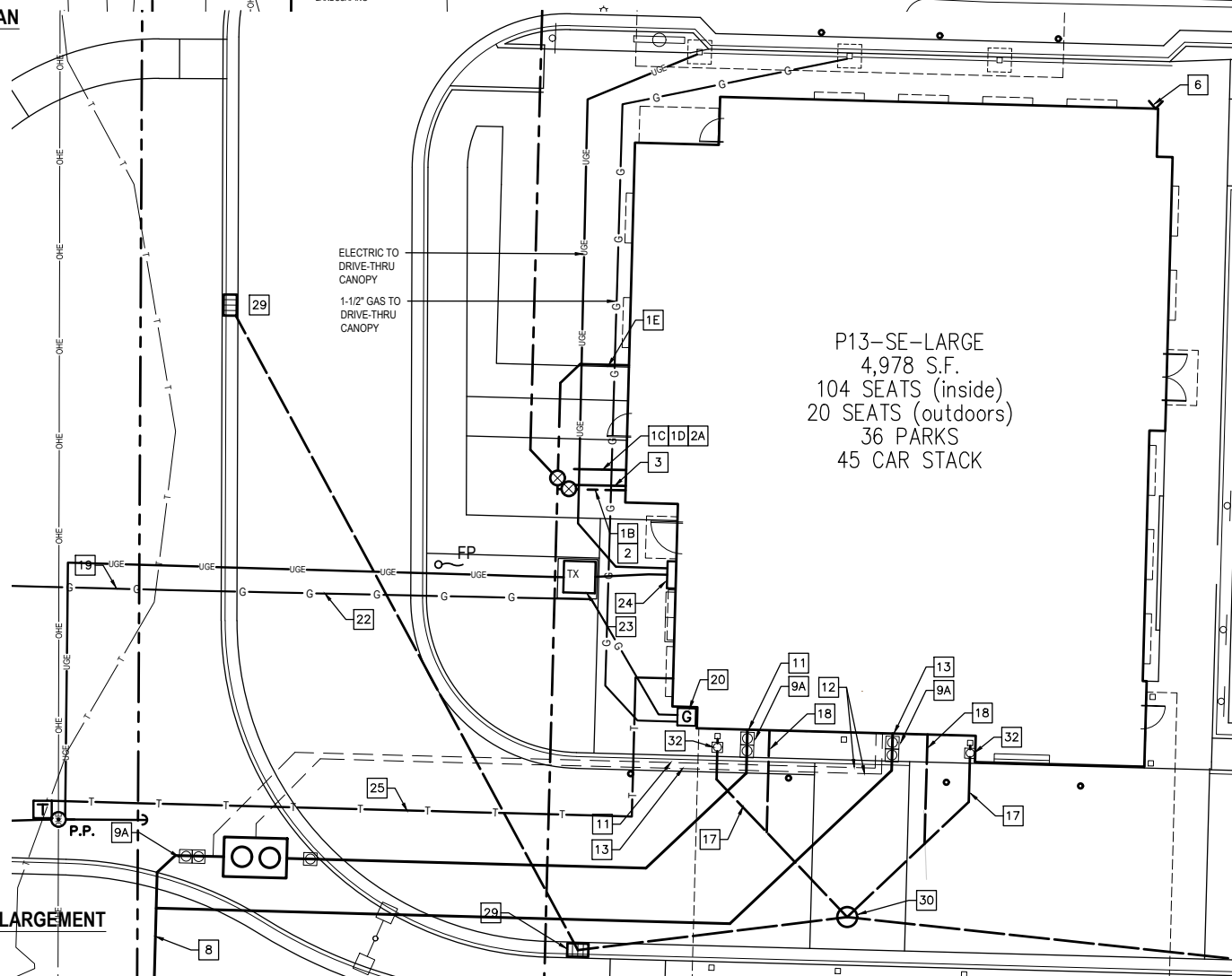
SHEET TITLE
SITE GRADING AND
DRAINAGE PLAN

Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

Sheet
C-3.0



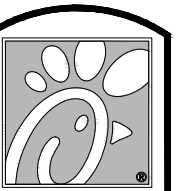
SITE PLUMBING PLAN
1"=20'



SITE PLUMBING ENLARGEMENT
1"=10'

UTILITY NOTES:

- 1A WATER SERVICE CONNECTION POINT (SEE SHEET C-4.1).
- 1B 2" TYPE "K" COPPER DOMESTIC WITH BACKFLOW PROTECTION ASSEMBLY INSIDE BUILDING (REQUIRED) PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. SEE PLUMBING PLANS. MIN. 5.5 FEET COVER.
- 1C INSTALL 1-1/4" TYPE K COPPER IRRIGATION WATER FEED FROM 2" DOMESTIC SERVICE. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING AND IRRIGATION CONTRACTOR. MIN. 5.5 FEET OF COVER.
- 1D INSTALL 1" IRRIGATION RPZ ASSEMBLY (REQUIRED) PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. INSTALL AHEAD OF ANY SPRINKLER.
- 1E INSTALL 4" FIRE PROTECTION WITH BACKFLOW PROTECTION ASSEMBLY IN VAULT PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. SEE DETAIL 15 ON SHEET C-9.2.
- 2 INSTALL 1-1/2" METER PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. WATER CONTRACTOR TO INSTALL WATER METER PROVIDED BY ----.
- 2A INSTALL 1" METER FOR IRRIGATION PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER.
- 3 INSTALL 3/4" TYPE K COPPER COLD WATER SERVICE TO DUMPSTER POST HYDRANT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 4 INSTALL DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-32) DEPICTED ON THE PROJECT PLUMBING PLANS FOR TYPE.
- 5 -----
- 6 INSTALL FIRE DEPARTMENT CONNECTION (FDC) PER FIRE DEPARTMENT'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING, PLUMBING, FIRE PROTECTION CONTRACTOR, -----.
- 7 WASTEWATER SERVICE LATERAL CONNECTION POINT. CONTRACTOR TO LOCATE EXISTING 6" LATERAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO MAKE CONNECTION TO EXISTING 6" LATERAL AS REQUIRED PER GRAND TRAVERSE COUNTY DPW SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR RESPONSIBLE TO OBTAIN THE EXISTING ELEVATION OF THE CONNECTION POINT AND VERIFY THAT IT IS DEEP ENOUGH TO SERVICE THE BUILDING FINISHED FLOOR AS DESIGNED. REPORT ANY ISSUES TO PROGRESSIVE AE, PRIOR TO THE START OF THE BUILDING FOUNDATION CONSTRUCTION.
- 8 INSTALL 6" SCH 40 PVC WASTEWATER SERVICE LINE AT 1.0% MINIMUM SLOPE. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 9 INSTALL CLEAN OUT (SIMILAR TO DETAIL 11 ON SHEET C-9.2). CLEAN OUT SHALL BE FLUSH W/PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
- 9A INSTALL TWO-WAY CLEAN OUT (SEE DETAIL 11 ON SHEET C-9.2). CLEAN OUT SHALL BE FLUSH W/PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
- 10 INSTALL PRECAST 1,000 GALLON CAPACITY GREASE TRAP. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO VERIFY ELEVATION OF SANITARY LATERAL PIPES AT GREASE TRAP PRIOR TO THE START OF SEWER CONSTRUCTION. REFER TO PLUMBING PLAN.
- 11 INSTALL 4" KITCHEN WASTE LINE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 12 INSTALL 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR (SEE SHEET P-1 FOR LOCATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 13 INSTALL 6" RESTROOM WASTE LINE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 14 INSTALL 6" SCHEDULE 40 PVC DUMPSTER WASTE LINE AT 1.0% MINIMUM SLOPE INCLUDING ALL FITTINGS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 15 INSTALL DUMPSTER PAD DRAIN. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-32) DEPICTED ON THE PROJECT PLUMBING PLANS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 16 INSTALL DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS). CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR (SEE DETAIL 10 ON SHEET C-9.2).
- 17 INSTALL 4" SCHEDULE 40 PVC ROOF DRAIN PIPE INCLUDING ALL NECESSARY FITTINGS. CONNECT TO 6" ROOF DRAIN. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 18 INSTALL 6" SCHEDULE 40 PVC ROOF DRAIN PIPE INCLUDING ALL NECESSARY FITTINGS. CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
- 19 GAS COMPANY TO INSTALL GAS SERVICE TO METER. CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN A MINIMUM OF 1.0' CLEARANCE BELOW ALL STORM SEWER, WATER, AND WASTEWATER LINES OR SERVICES WHEN CROSSING. CONTRACTOR TO COORDINATE WITH GAS COMPANY.
- 20 COORDINATE GAS METER INSTALLATION WITH GAS COMPANY. CONTRACTOR TO MARK LOCATION OF METER ON WALL PRIOR TO GAS COMPANY ARRIVING ON-SITE. GAS COMPANY TO INSTALL METER.
- 21 INSTALL SCHEDULE 40 PVC IRRIGATION SLEEVE (REFER TO IRRIGATION PLANS). SITE CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR.
- 22 INSTALL UNDERGROUND NEW PRIMARY ELECTRIC SERVICE. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS.
 PROVIDE TRENCHING: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE CONDUITS: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL CONDUITS: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE CABLES: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL CABLES: _____ CONTRACTOR X ELECTRIC COMPANY
 (3) 4" CONDUITS FROM POLE TO TRANSFORMER PAD, INCLUDING PULL STRING, INSTALLED BY CONTRACTOR.
- 23 CONSUMERS ENERGY TO PROVIDE AND INSTALL PAD MOUNTED TRANSFORMER AND DIRECT BURY PRIMARY LINE FROM SERVICE CONNECTION TO TRANSFORMER. CONTRACTOR TO INSTALL UNDERGROUND SECONDARY SERVICE CABLES AND CONDUITS TO BUILDING. CONTRACTOR TO PROVIDE AND INSTALL (2) 4" SCH. 40 PVC CONDUITS AND (1) 2" SCH. 40 PVC CONDUIT TO CT CABINET (REFER TO MEP PLANS). CONSUMERS ENERGY TO PROVIDE AND INSTALL METER FITTING MOUNTED ON TRANSFORMER.
- 24 PROVIDE AND INSTALL CT CABINET AND METER BASE. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS FOR SECONDARY.
 PROVIDE TRENCHING: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE CONDUITS: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL CONDUITS: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE CABLES: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL CABLES: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE CT CABINET: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL CT CABINET: _____ CONTRACTOR X ELECTRIC COMPANY
 PROVIDE METER: _____ CONTRACTOR X ELECTRIC COMPANY
 INSTALL METER: _____ CONTRACTOR X ELECTRIC COMPANY
 METER INSTALLED ON: TRANSFORMER
 CT CABINET INSTALLED ON: EXTERIOR WALL
- 25 INSTALL UNDERGROUND PRIMARY TELEPHONE SERVICE. CONTRACTOR TO INSTALL 1-4" SCHEDULE 40 PVC CONDUIT WITH (2) 1 1/2" IPP DUCTS INSIDE THE 4" W/SWEEPING 90'S AND W/PULL STRINGS FOR TELEPHONE COMPANY. A 4"x4"x3/4" PIECE OF PLYWOOD MUST BE IN PLACE PRIOR TO INSTALLATION OF THE SERVICE. ALSO A #6 GROUND MUST BE AVAILABLE.
- 26 CONTRACTOR TO INSTALL A 3" SCH 40 PVC CONDUIT, MINIMUM 24" BELOW FINISHED GRADE FOR ISP SERVICE
- 27 PROPOSED UTILITY CROSSING--CONTRACTOR TO MAINTAIN REQUIRED CLEARANCES.
- 28 INSTALL CONTECH CS4 STORMWATER QUALITY UNIT. SEE DETAIL 11 ON SHEET C-9.0.
- 29 INSTALL 4" DIAMETER CATCH BASIN WITH UNDERDRAINS. SEE DETAIL 13 ON SHEET C-9.2.
- 30 INSTALL 4" DIAMETER STORM MANHOLE. SEE DETAIL 14 ON SHEET C-9.2.
- 31 INSTALL 18" DIAMETER CATCH BASIN, ADS NYLOPLAST OR EQUAL.
- 32 INSTALL CANOPY DRAIN CLEANOUT. SEE DETAIL 13 ON SHEET C-9.3.



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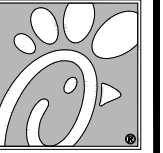
STORE #4815
TRAVERSE CITY FSU

2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
SITE PLUMBING
PLAN

Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

Sheet
PS-1.0



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5200 Buffington Rd.
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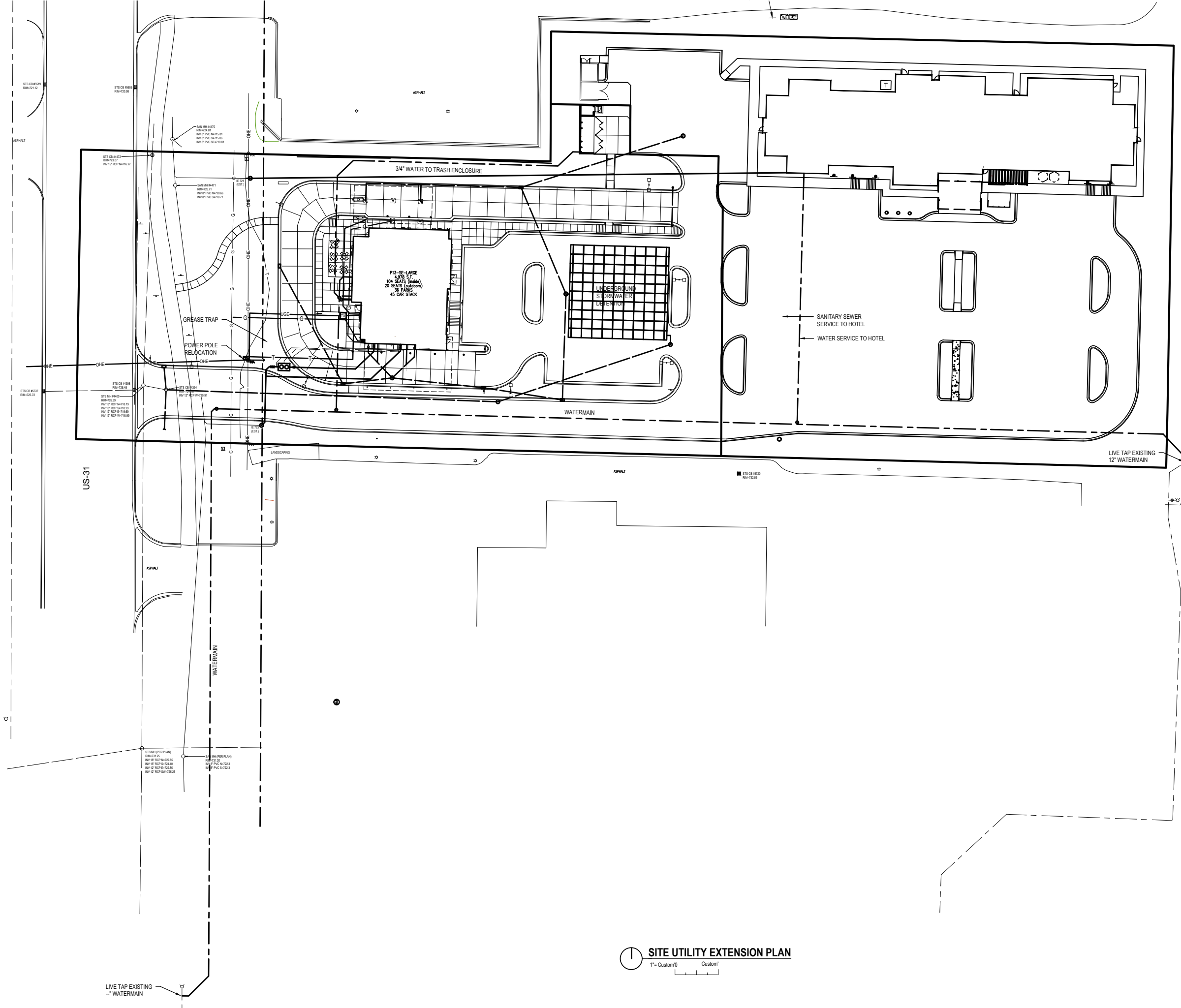
2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
SITE UTILITY
EXTENSION PLAN

Job No. : 77020027
Store : 4815
Date : 2/18/21
Drawn By : DCM
Checked By : CCS

Sheet

PS-1.1



SITE UTILITY EXTENSION PLAN
1"= Custom' Custom'

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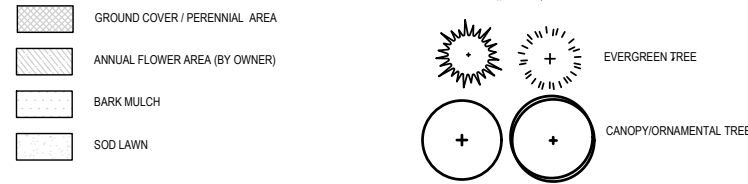
PLANT_SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
AS	5	ACER SACCHARINUM / SILVER MAPLE	B & B	2"	
BP	3	BETULA PAPPYRIFERA / PAPER BIRCH	B & B	2"	SINGLE STEM FORM
OV	10	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM	B & B	2"	
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
CG	6	CORNUS MAS 'GOLDEN GLORY' / GOLDEN GLORY CORNELIAN CHERRY	B & B	1 1/2" CAL	SINGLE STEM
MC	7	MALUS X 'CORALBURST' / CORALBURST CRABAPPLE	B & B	1 1/2"	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	FT	REMARKS
CD	11	CHAMAECYPARIS PISIFERA 'DOE WHITING' TM / SOFT SERVE SAWARA CYPRESS	#5 CONT		
CR	26	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE CLETHRA	#5 CONT		
CF	31	CORNUS SERICEA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD	#5 CONT		
HM	25	HYDRANGEA ARBORESCENS 'NCHA2' TM / INVINCIBELLE SPIRIT II HYDRANGEA	#5 CONT		
IF	7	ILEX VERTICILLATA 'FARROWMRP' TM / MR. POPPINS WINTERBERRY	#5 CONT		
IO	17	ILEX VERTICILLATA 'ROBERTA CASE' TM / BERRY HEAVY GOLD WINTERBERRY	#5 CONT		
R3	11	ROSA X 'RADTKO' / DOUBLE KNOCK OUT RED ROSE	#5 CONT		
TE	35	TAXUS X MEDIA 'EVERLOW' / EVERLOW YEW	#5 CONT		
VI	15	VIBURNUM DENTATUM DEAMII 'SMVOBL' TM / ALL THAT GLOWS VIBURNUM	#5 CONT		
VD	18	VIBURNUM DENTATUM DEAMIII 'SMVOLS' TM / ALL THAT GLITTERS VIBURNUM	#5 CONT		
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
SL	46	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM	#1 CONT		
ST	51	SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPS EED	#1 CONT		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
AL	35	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	#1 CONT		
CH	54	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET	#1 CONT		
CT	35	COTONEASTER ADPRESSUS 'TOM THUMB' / EARLY COTONEASTER	#5 CONT		
GP	381	GAULTHERIA PROCUMBENS / WINTERGREEN	3 1/4" FLAT	12" o.c.	

LAWN SEED MIX

EGS GREEN GROUNDS SEED MIX
 19.96% KELLY KENTUCKY BLUEGRASS
 19.94% BARON KENTUCKY BLUEGRASS
 19.91% SOX FAN PERENNIAL RYEGRASS
 19.82% EXACTA II GLSR PERENNIAL RYEGRASS
 19.73% JUMPSTART KENTUCKY BLUEGRASS
 BY ECO GREEN SUPPLY. SEED AT RATE OF 5 TO 7 LBS. PER 1,000 S.F. OR APPROVED EQUAL

LANDSCAPE PLANTING LEGEND



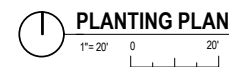
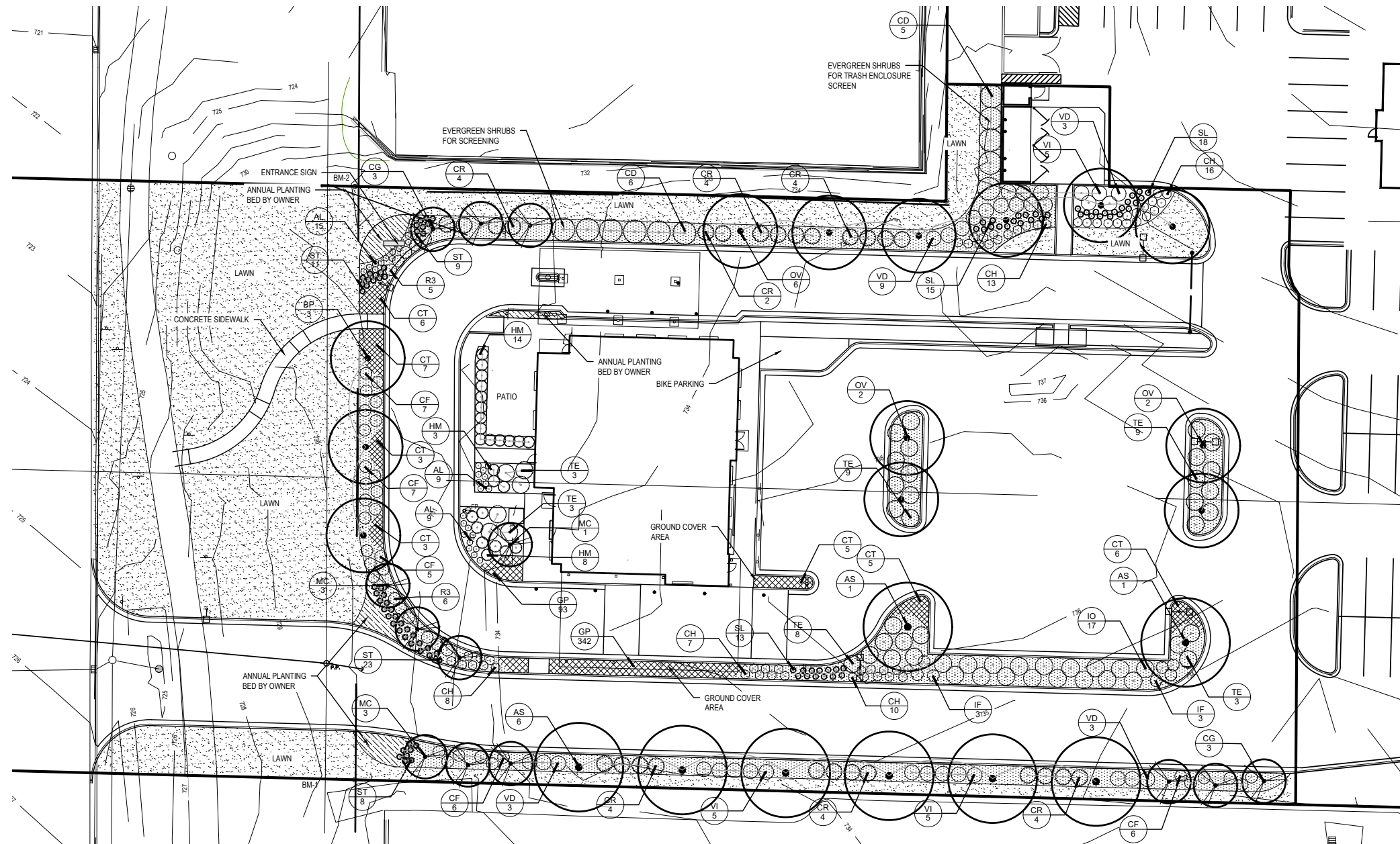
GENERAL LANDSCAPE NOTES

1. CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
2. PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
3. ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS
4. CONTRACTOR TO CONTACT MICHIGAN 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
5. CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
6. NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PIT
7. CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
8. ALL LANDSCAPED AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.

ZONING NOTES AND CALCULATIONS

BUFFERING REQUIREMENTS

- 1.1. TYPE 'C' BUFFER
 -PER 100' LF: 3 LARGE TREES, 3 SMALL TREES, 1 EVERGREEN
 EAST C BUFFER : BUFFER ALONG EAST PROPERTY LINE. WAIVED DUE TO SHARED ACCESS WITH PROPOSED DEVELOPMENT. BUFFER TO BE IMPLEMENTED ON EASTERN PROPERTY LINE OF ADJACENT EASTERN PROPERTY.
 - 1.2. TYPE 'B' BUFFER ALONG COMMERCIAL ZONES
 -PER 100' LF: 2 LARGE TREES, 1 MEDIUM TREE, 4 SHRUBS
 -10' IN WIDTH WITH GROUND COVER
- NORTH B BUFFER: 285' LF
 REQUIRED: 6 L. TREES, 3 M. TREES, 11 SHRUBS
 PROPOSED : 6 L. TREES, 3 M. TREES 37 SHRUBS
- SOUTH B BUFFER: 318' LF
 REQUIRED: 6 L. TREES, 3 M. TREES, 13 SHRUBS
 PROPOSED : 6 L. TREES, 6 M. TREES 40 SHRUBS
- WEST B BUFFER: 164' LF
 REQUIRED: 3 L. TREES, 2 M. TREES, 6 SHRUBS
 PROPOSED : 3 L. TREES, 3 M. TREES 17 SHRUBS
- INTERIOR PARKING LANDSCAPE AREA
 10' OF AREA PER PARKING SPACE
- TOTAL PARKING SPACES: 36 SPACES
 REQUIRED AREA: 360FT²
 PROPOSED AREA: 781FT²
- CANOPY TREES: 2" CAL.
 EVERGREEN TREES: 6' HEIGHT
 ORNAMENTAL TREES: 1.5" CAL.
 SHRUBS: 5 GALLON



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STORE #4815
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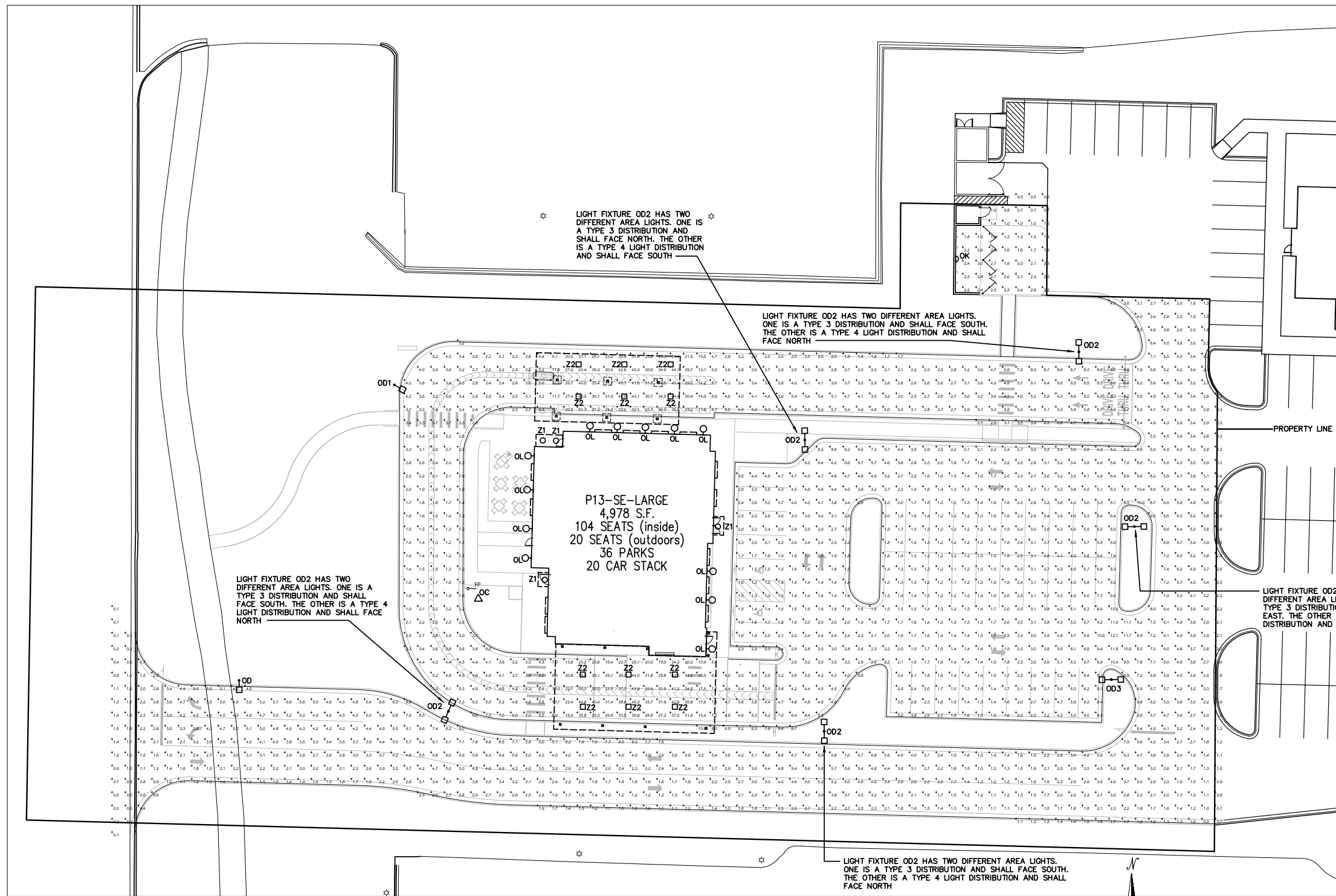
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SHEET TITLE
 PLANTING PLAN

Job No. : 77020027
 Store : 4815
 Date : 2/18/21
 Drawn By : DCM
 Checked By : CCS

Sheet

L-1.0



PHOTOMETRIC STATISTICS (MAINTAINED) IN MAIN PARKING LOT

AVERAGE	3.0 FC
MAX	12.2 FC
MIN	1.1 FC

PHOTOMETRIC STATISTICS (MAINTAINED) IN MAIN DRIVE AREAS (NOT INCLUDING UNDER CANOPY LIGHTING)

AVERAGE	3.8 FC
MAX	10.1 FC
MIN	0.8 FC

LIGHT FIXTURE OD2 HAS TWO DIFFERENT AREA LIGHTS. ONE IS A TYPE 3 DISTRIBUTION AND SHALL FACE NORTH. THE OTHER IS A TYPE 4 LIGHT DISTRIBUTION AND SHALL FACE SOUTH

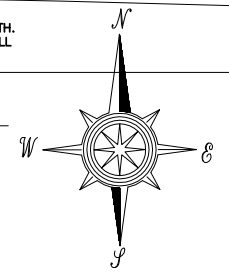
LIGHT FIXTURE OD2 HAS TWO DIFFERENT AREA LIGHTS. ONE IS A TYPE 3 DISTRIBUTION AND SHALL FACE SOUTH. THE OTHER IS A TYPE 4 LIGHT DISTRIBUTION AND SHALL FACE NORTH

LIGHT FIXTURE OD2 HAS TWO DIFFERENT AREA LIGHTS. ONE IS A TYPE 3 DISTRIBUTION AND SHALL FACE SOUTH. THE OTHER IS A TYPE 4 LIGHT DISTRIBUTION AND SHALL FACE WEST

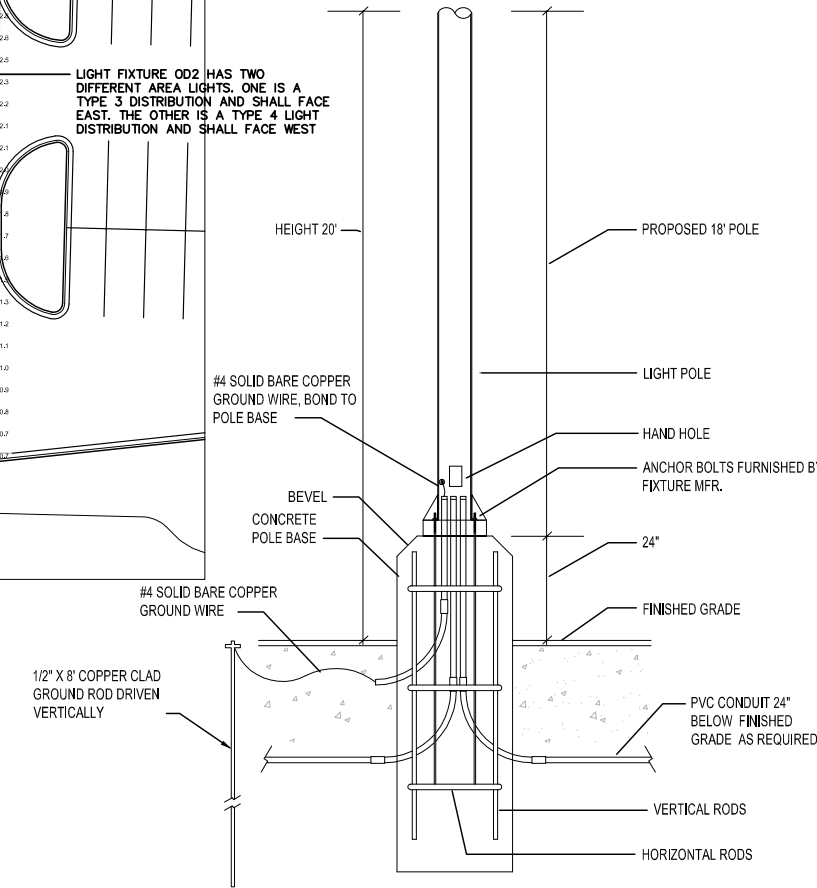
LIGHT FIXTURE OD2 HAS TWO DIFFERENT AREA LIGHTS. ONE IS A TYPE 3 DISTRIBUTION AND SHALL FACE SOUTH. THE OTHER IS A TYPE 4 LIGHT DISTRIBUTION AND SHALL FACE NORTH

P13-SE-LARGE
4,978 S.F.
104 SEATS (inside)
20 SEATS (outdoors)
36 PARKS
20 CAR STACK

1 PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



FIXTURE	HEIGHT (UNLESS NOTED OTHERWISE)	LIGHT LOSS FACTOR	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	LAMP COLOR TEMPERATURE
OC	IN GRADE	.9	HUBBELL	FFL-42L-95=3K7-N-U-K-DB	INTEGRAL LED	3000K
OD	20'	.9	COOPER/LUMARK	PRV-C400-UNV-T3-SA-BZ-7030	INTEGRAL LED	3000K
OD1	20'	.9	COOPER/LUMARK	PRV-C400-UNV-T4-SA-BZ-7030	INTEGRAL LED	3000K
OD2	20'	.9	COOPER/LUMARK	(1) PRV-C400-UNV-T3-SA-BZ-7030 (2) PRV-C400-UNV-T4-SA-BZ-7030	INTEGRAL LED	3000K
OD3	20'	.9	COOPER/LUMARK	(2) PRV-C400-UNV-T3-SA-BZ-7030	INTEGRAL LED	3000K
OL	8'	.9	ECLIPSE LIGHTING	TY-20-WM-120-3K-BZ-ARM6-DK-WET-D7	(GE)LED12P30RW83025	3000K
OK	8'	.9	HUBBELL	LNC-SLU-3K-3-1	INTEGRAL LED	3000K
Z1	10'	.9	COOPER/HALO	SLD405830WH	INTEGRAL LED	3000K
Z2	9.5'	.9	LSI	CRUS-SC-LED-LW-3000K-UE-WHT	INTEGRAL LED	3000K



2 TYPICAL POLE BASE DETAIL
NOT TO SCALE



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
ISSUED FOR
CITY REVIEW
02/12/2021

Mark Date By

Mark Date By

Seal

DICKERSON ENGINEERING, INC.
Professional Electrical Engineers
3343 NORTH RIDGE AVENUE
ELECTRONIC CITY, ILL. 60004
TEL (847) 965-0290
FAX (847) 965-0294

STORE #4815
TRAVERSE CITY FSU

2700 US-31 SOUTH
TRAVERSE CITY, MI

SHEET TITLE
PHOTOMETRIC PLAN

Job No. : 21-5350
Store : 4815
Date : 2/12/21
Drawn By : MS
Checked By : GD

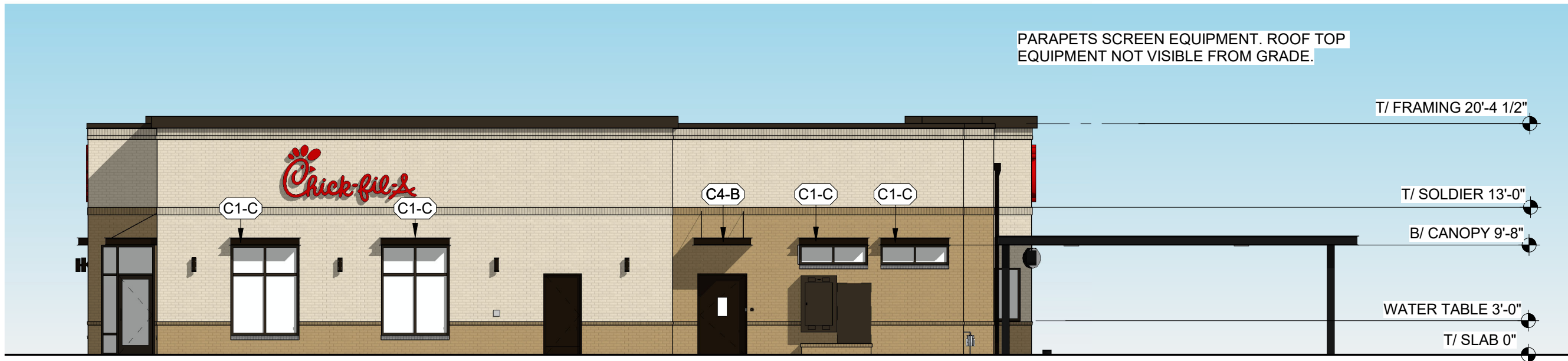
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E-102



EXTERIOR ELEVATION

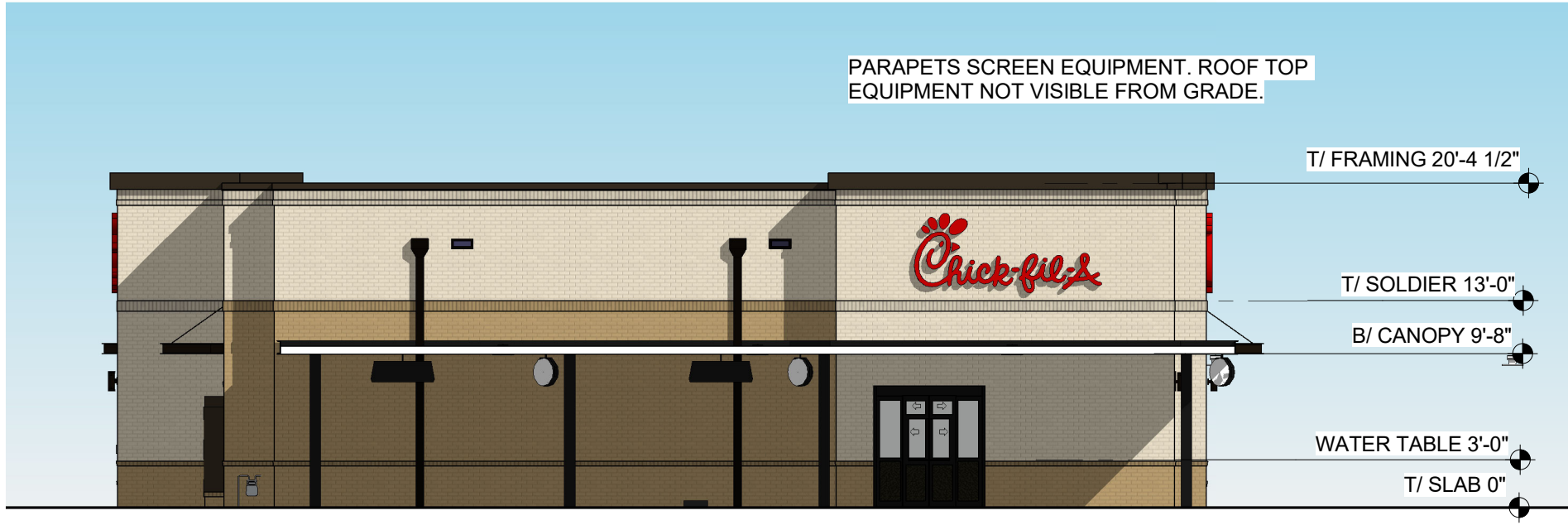
1" = 10'-0"



EXTERIOR ELEVATION

1" = 10'-0"

EXTERIOR ELEVATIONS



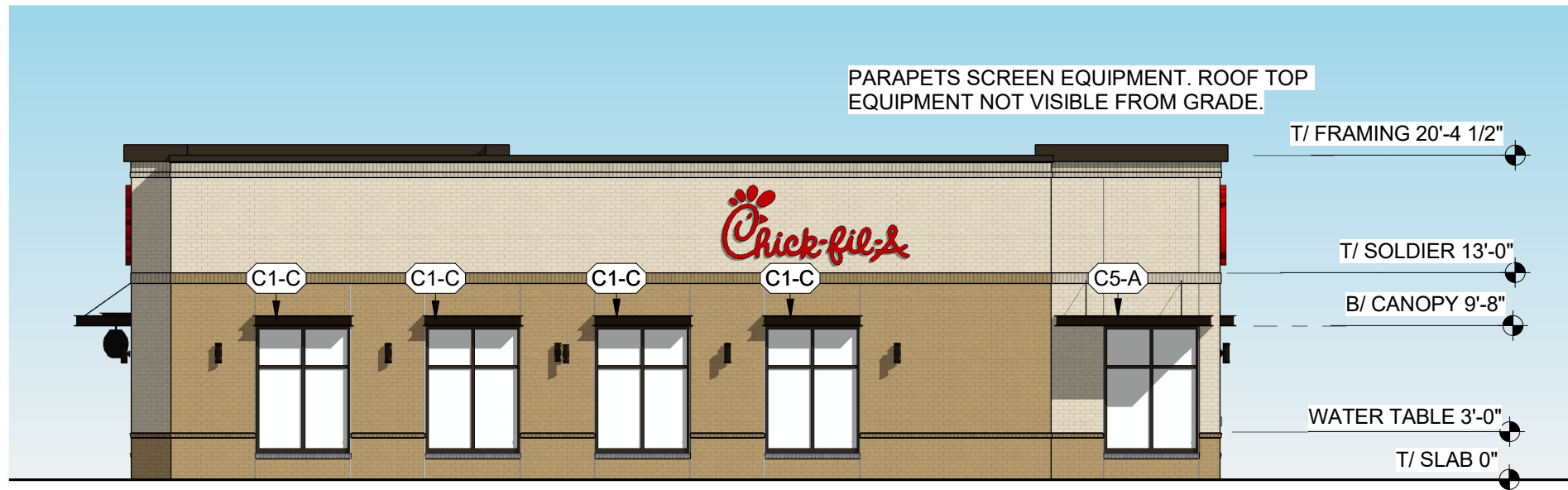
EXTERIOR ELEVATION
1" = 10'-0"

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	13	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	1	5'-4"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-0"	2'-4"	Yes
C5-A	Exterior Canopy	1	10'-0"	5'-0"	2'-4"	Yes
Grand total		16				

APPROVED BRICK ALTERNATES (SEE NATIONAL ACCOUNTS LIST FOR CONTACT INFORMATION)

FINISH	MANUFACTURER	MODEL	MORTAR	PLANT LOCATION	PREFERRED REGION(S)
BR-A (PRIMARY BRICK)					
BR-02	ACME BRICK	PALOMA GRAY	ARGOS, SAN TAN	ELGIN, TX	SOUTHEAST, ATLANTIC, NORTHEAST, MIDWEST
BR-07	MERIDIAN BRICK	CITADEL	ARGOS, SAN TAN	BESSEMER, AL	ALL
BR-18	MUTUAL MATERIALS	IMPERIAL GRAY	ARGOS, SAN TAN	SPOKANE, WA	WEST
BR-20	REDLAND BRICK	KHAKI MATT	ARGOS, SAN TAN	HARMAR, PA	SOUTHEAST, ATLANTIC, NORTHEAST
BR-B (ACCENT BRICK)					
BR-03	ACME BRICK	RUSTIC WHITE	ARGOS, SAN TAN	PEAR EAST, AR	SOUTHEAST, ATLANTIC, NORTHEAST, MIDWEST
BR-11	MERIDIAN BRICK	V100	ARGOS, SAN TAN	ATHENS, TX	ALL
BR-19	MUTUAL MATERIALS	DESERT WHITE	ARGOS, SAN TAN	SPOKANE, WA	WEST
BR-26	REDLAND BRICK	WHITEHALL	ARGOS, SAN TAN	HARMAR, PA	SOUTHEAST, ATLANTIC, NORTHEAST, MIDWEST



EXTERIOR ELEVATION
1" = 10'-0"

EXTERIOR FINISHES



BR-A
BRICK VENEER
COLOR: DARK BROWN
SIZE: MODULAR



EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE



BR-B
BRICK VENEER
COLOR: LIGHT BROWN
SIZE: MODULAR



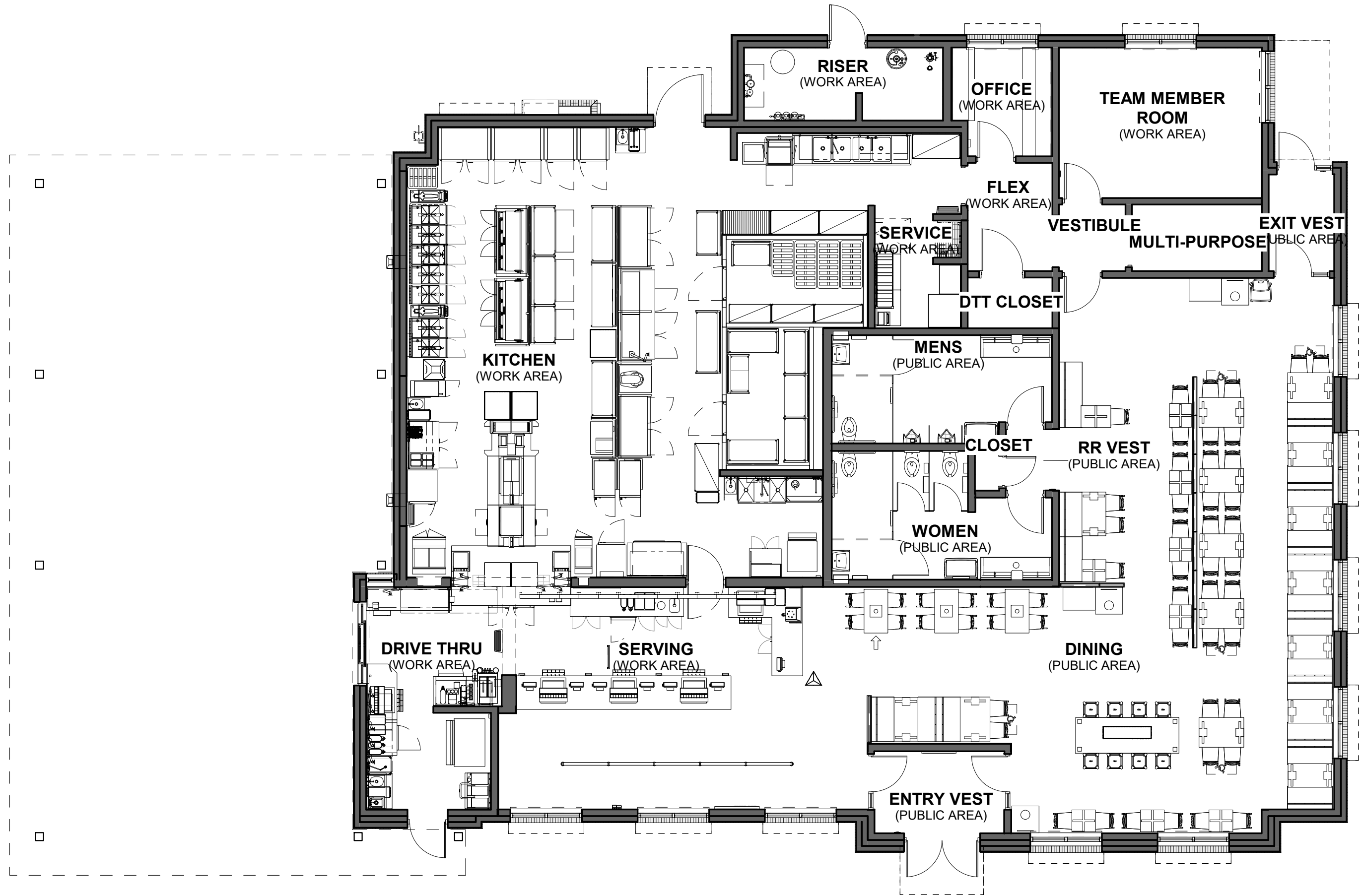
PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS



ST-1
STOREFRONT
COLOR: DARK BRONZE

EXTERIOR ELEVATIONS

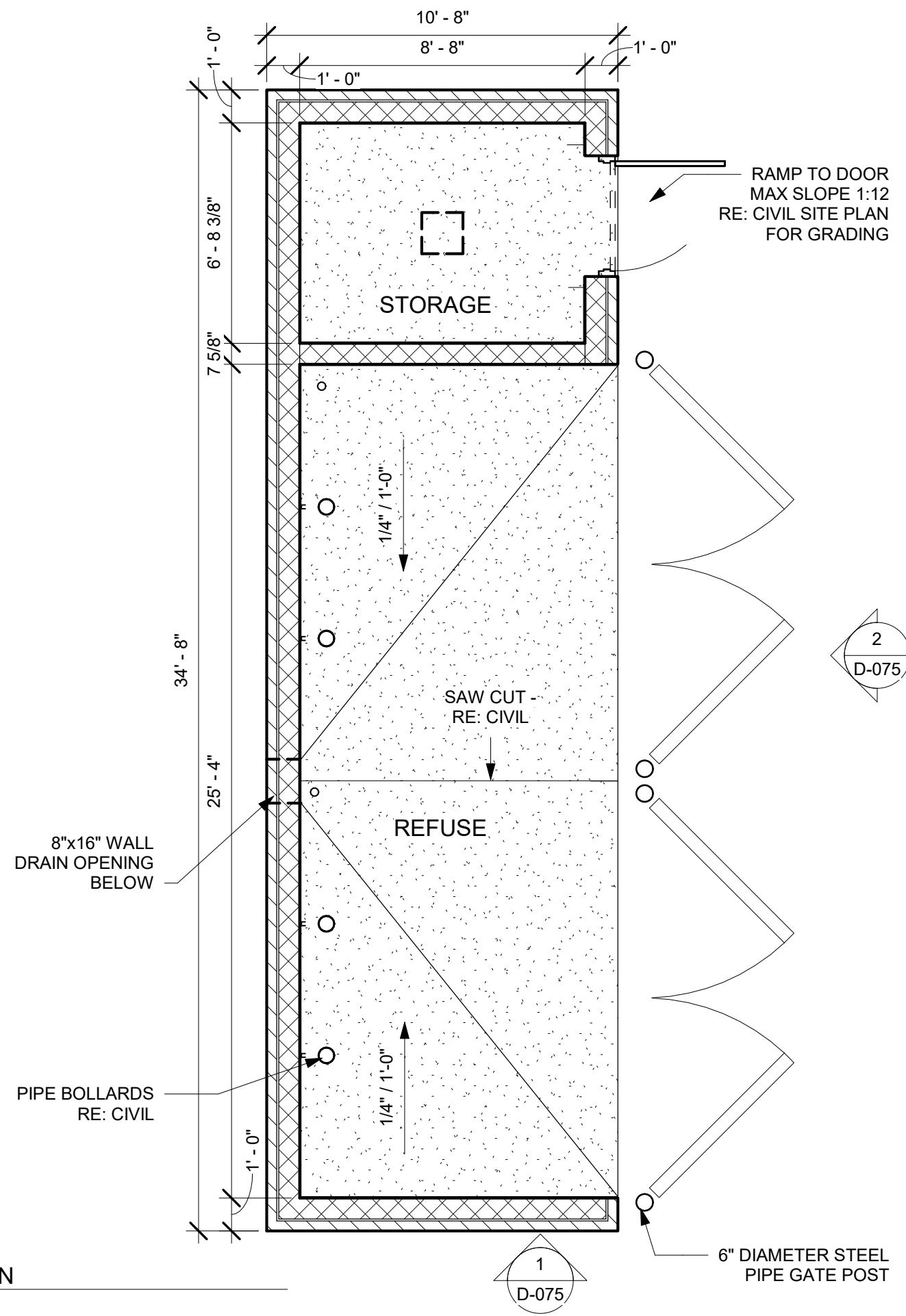




FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN

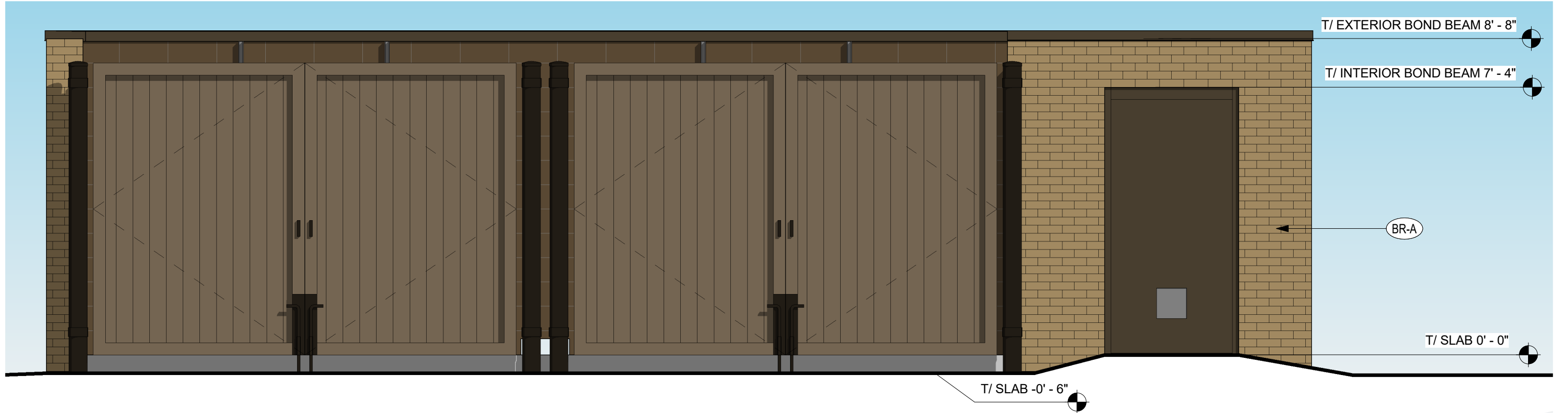




REFUSE ENCLOSURE PLAN

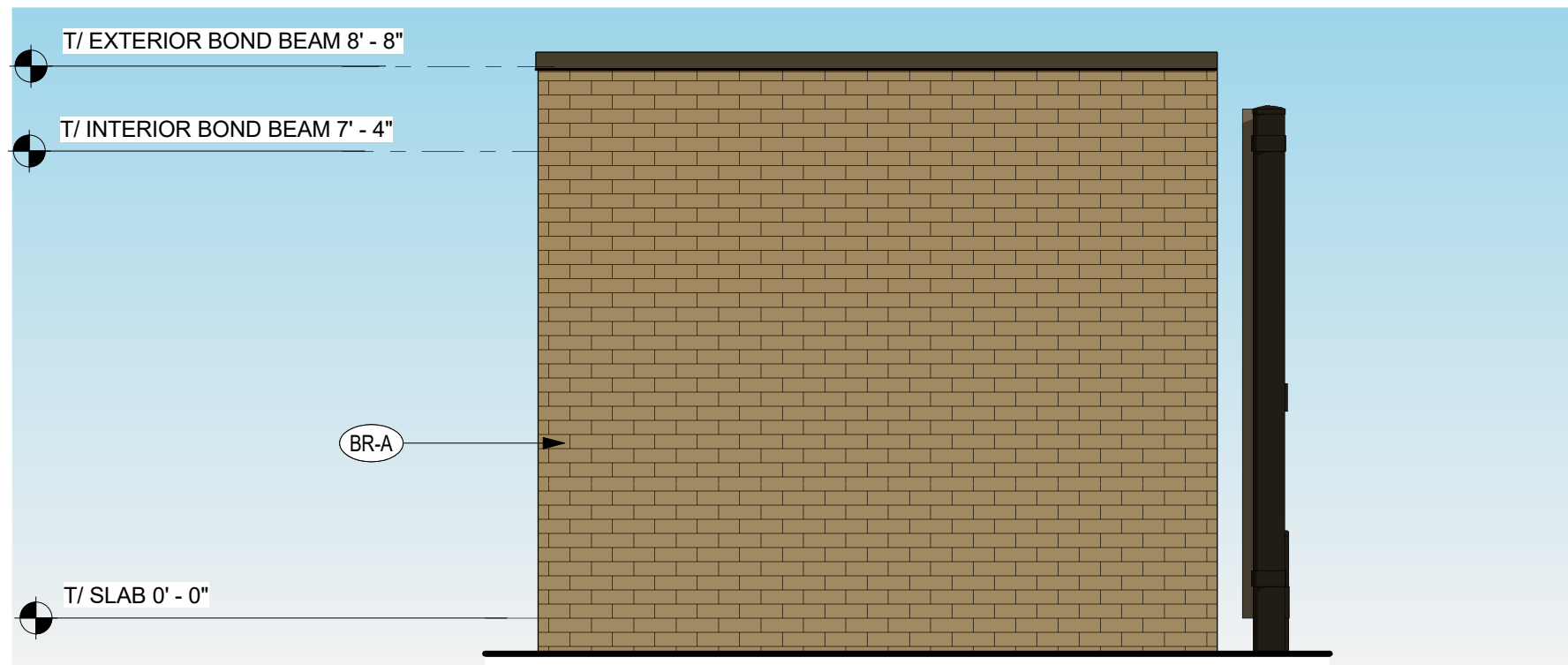
1/4" = 1'-0"

REFUSE ENCLOSURE PLAN



REFUSE ENCLOSURE ELEVATION


3/8" = 1'-0"



REFUSE ENCLOSURE ELEVATION

3/8" = 1'-0"

REFUSE ENLCOSURE ELEVATION

 Charter Township of Garfield Planning Department Report No. 2021-30			
Prepared:	March 3, 2021	Pages:	5
Meeting:	March 10, 2021 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Prince of Peace Lutheran Church Special Use Permit – Introduction		
File No.	SUP-2020-02	Parcel No.	05-023-041-10
Applicant:	JML Design Group Ltd.		
Agent:	CF Campbell, JML Design Group Ltd.		
Owner:	Prince of Peace Lutheran Church		

BRIEF OVERVIEW:

- Location: LaFranier Road, north of Hammond Road
- Parcel area: 5.94 acres
- Existing land use: Open land
- Existing zoning: A – Agricultural District

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for a proposed 8,768-square foot church including:

- 3,649-square foot sanctuary (consisting of a narthex, sanctuary, and business offices)
- 2,690-square foot fellowship hall
- 2,450 square foot child development center

Institutional uses, including churches, are permitted via Special Use Permit in the A-Agricultural District. Child development centers will be permitted in the A-Agricultural District with the expected adoption of an amendment to the Zoning Ordinance on March 9, 2021.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress:

For access from LaFranier Road, the parcel is subject to Section 512 Access Management and Restrictions. In this case, access is to be coordinated with the Village of LaFranier Woods Planned Unit Development (PUD) to the north as both the Village of LaFranier Woods and this project are on parcels created from the same parent parcel. Parcels when subsequently subdivided for the purpose of development shall be

accessed by public or private roads, service drives, or other approved means of shared access that limits access to public roadways. However, an alternate option is being taken by the applicant to coordinate access with the parcel to the south.

The parcel to the south is currently under review for a Planned Unit Development application by Bay Area Transportation Authority (BATA) and the Traverse City Housing Commission (TCHC). A joint driveway is required for access to LaFranier Road. The driveway connections shall be aligned between the subject property and the adjacent property to the south and between the east side of LaFranier Road and the Ridge45 entrance on the west side of LaFranier Road. As proposed, the driveways do not line up. Furthermore, an easement and maintenance agreement for the driveway between the subject site and the BATA development shall be drafted, reviewed by the Township, and recorded.

The Village of LaFranier Woods has an approved driveway connection to the subject parcel. The site plan shall illustrate how it will be connected to this drive.

Parking:

Based on the calculations below, a sufficient number of parking spaces is provided. The site plan shows future expansion of 17 parking spaces along the east side of the building.

Use	Required Parking Spaces		Unit	Number of Parking Spaces	
	Minimum	Maximum		Required	Proposed
Sanctuary	1 for each six (6) seats	1 for each three (3) seats	171 persons	29 – 57	71
Narthex (Overflow)	1 for each six (6) persons	1 for each three (3) persons	62 persons	10 – 21	--
Fellowship Hall	1 for each six (6) persons	1 for each three (3) persons	126 persons	21 – 42	--
Childcare Center	1 for each three hundred (300) square feet of floor space	n/a	2,450 sq. ft.	8	--
Total				68 - 128	71

Bicycle Parking:

Bicycle parking shall be provided at the rate of 2 spaces per 25 motor vehicle spaces. In this case, 5 bicycle parking spaces are required. 12 bicycle parking spaces have been noted on the site plan.

Sidewalks:

A sidewalk along LaFranier Road is required in accordance with Section 522. The sidewalk along LaFranier Road shall match any proposed or existing sidewalks to the north and south of the subject site. A sidewalk is provided between the church and the sidewalk along LaFranier Road.

Setbacks:

According to Section 753, institutional buildings and parking areas shall be set back at least forty (40) feet from all street right-of-way lines and thirty (30) feet from any property line in a residential or agricultural district. The front setback is labeled 40 feet but only measures 35 feet and the rear setback is labeled 30 feet but only measures 25 feet. The site plan shall be adjusted to reflect the required setbacks.

Building Elevations:

Building elevations have been provided that illustrate building height and façades. The property is zoned A-Agricultural which has a maximum permitted building height of 2-1/2 stories or 35 feet. The proposed building height is 29 feet.

Landscaping:

A landscaping plan has been submitted. The following comments address the proposed landscaping:

- A Type “D” buffer is required along LaFranier Road. Type “D” buffer consists of ground cover as specified in Section 530.J, plus four large trees, three medium or small trees, and three evergreen or coniferous trees per one hundred (100) linear feet of greenspace area. The Type “D” Buffer area shall be a minimum width of twenty (20) feet. This requirement has been met.
- Type “C” buffer is required along the north, south, and east property lines. The type “C” buffer requires ground cover as specified in Section 530.J, plus three large trees, three medium or small trees, one evergreen or coniferous tree per one hundred (100) linear feet of greenspace area. The Type “C” Buffer area shall be a minimum width of ten (10) feet. This requirement has been met.
- Each interior landscape area within the parking lot shall include one (1) or more canopy trees per each 100 square feet of interior landscaping area. Each interior landscape area is 400 square feet, so there should be 4 canopy trees per area. This requirement has been met.

The Planning Commission may waive or adjust any landscaping requirement in whole or in part provided that certain conditions exist upon the site.

Lighting:

A lighting plan has been submitted. The following comments address the proposed lighting:

- Illumination levels at the property line shall not exceed the levels set forth in Table 5-8 of the Zoning Ordinance. Maximum illumination shall be measured at grade at the property line of the site. For a site adjoining another nonresidential zoning district, the maximum illumination is 2.0 foot-candles along the property line. The labeled foot-candle measurements appear to meet this requirement.
- All proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale. The proposed light fixtures meet this requirement.
- The lighting plan shall note that none of the proposed fixtures will create illumination levels that exceed the standards of Section 517 of the Zoning Ordinance.

Snow Storage:

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. The site plan identifies a parking area of 43,041 square feet, including the future parking area. Based on the parking area, a snow storage area of 4,304 square feet is required. A snow storage of 6,178 square feet is identified on the site plan.

Dumpster Enclosure:

The proposed dumpster enclosure is located at the southwest corner of the parking lot near the driveway at the entrance to the site. The enclosure may be better suited in a less visible location. A preferred location would be near the storage maintenance shed or near the northwest corner of the parking area near the building.

Signage:

Signs require sign permit review and are not approved under the site plan review process. A note shall be added to the site plan elevation drawings that all signs are subject to sign permit review.

Stormwater and Utilities:

Proposed stormwater and water and sewer improvements will need to be reviewed by the Township Engineer.

Other Reviews:

Other reviews may be necessary including Metro Fire and Grand Traverse County Road Commission.

Site Plan Dates:

The dates of the site shall be up to date and updated if any additional changes are made.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT application SUP-2020-02, submitted by JML Design Group Ltd., for a Special Use Permit for a church and child development center at Parcel 05-023-041-10, BE ACCEPTED, and BE SCHEDULED for a public hearing for the April 14, 2021 Regular Planning Commission meeting, subject to the following additional information being provided by the applicant:

1. The driveway connections shall be aligned between the subject property and the adjacent property to the south and between the east side of LaFranier Road and the Ridge45 entrance on the west side of LaFranier Road.
2. An easement and maintenance agreement for the driveway between the subject site and the BATA development shall be drafted, reviewed by the Township, and recorded.
3. The site plan shall illustrate how it will be connected to the Village of LaFranier Woods.
4. The site plan shall be adjusted to reflect the required setbacks.
5. The lighting plan shall note that none of the proposed fixtures will create illumination levels that exceed the standards of Section 517 of the Zoning Ordinance.
6. The site plan is subject to review by others, including Township Engineer, Metro Fire, and Grand Traverse County Road Commission.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Impact Statement (including Basis of Determination) provided by applicant dated February 23, 2021
2. 11" X 17" plan set provided by applicant signed February 23, 2021, including floor plans and color renderings of the proposed building

**PROPOSED CHURCH BUILDING
PRINCE OF PEACE LUTHERAN CHURCH**

IMPACT ASSESSMENT STATEMENT

OWNER:

Prince of Peace Lutheran Church
2242 LaFranier Road
Traverse City, Michigan 49686

PREPARED BY:

JML Design Group, Ltd.
225 E. 16th Street, Suite B
Traverse City, Michigan 49684
(231) 947-9019

October 8, 2020

Revised January 25, 2021

Revised February 23, 2021

Proposed Project

This report contains the anticipated physical impacts of the proposed Prince of Peace Lutheran Church development on the immediate project area.

The proposed church contains (3) functions: The Sanctuary, the Fellowship Hall, and a Child Development Center. Each section will be separated by firewalls. The building has been designed to allow for a natural expansion of each of the functions. The Sanctuary will expand to the North. The Fellowship Hall can expand to the West and the Child Development Center to the South and/or East.

The Sanctuary contains 3,649 SF and consists of the Narthex, Sanctuary and business offices. The Sanctuary is one-story, slab-on-grade appointed with high ceilings and a clerestory. Seating for the Sanctuary will be approximately (171) persons with an additional (62) person overflow in the Narthex.

The Fellowship Hall contains 2,690 SF and contains a multipurpose space and kitchen. The Hall is also one story, slab-on-grade and will have a ceiling height of 17'- 0". The hall will be used for after-church socials, Sunday School, and indoor games. Occupancy will be (126) persons.

The Child Development Center will contain 2,450 SF and have classrooms for infants through school age. The development center will be one story, slab-on-grade and will have an occupancy of approximately (122) persons. The childcare building will be licensed per state regulations and be made up of (4) classrooms and a multipurpose room with an office. The Early Childhood Ministry will be operated by a trained director and supervisor as follows:

1. Initial enrollment will be (47) and will be made up of:
 - a. 6 infants (younger than 12 months) requiring 2 called workers.
 - b. 16 toddlers (1 – 2 years) require 3 called workers.
 - c. 25 preschoolers (3 - 5 years) require 3 called workers.
2. There will be full and half day sessions available.
3. No program food.
4. Fenced playground area.
5. Recurring training programs for the workers.

The property is owned by Prince of Peace Lutheran Church. A copy of the warranty deed for the project is attached. The property is zoned A-Agricultural. The church is an Institutional Use. Institutional uses are permitted in the Agricultural district with a Special Use Permit. The overall development is 5.96 acres. The site is relatively flat. The property has no existing structures on it. The property is bordered on the north and east by an assisted living facility (The Village of LaFranier Woods) whose property is zoned PUD (planned unit development). The property to the South is slated to be developed as a PUD by BATA and the TC Housing Commission.

A legal description of the parcel is attached.

The church will not create any nuisances such as dust, fumes, vibrations or smoke. The property does not contain any significant vegetation.

Soils

The soils of the site are predominantly Kalkaska loamy sand with 2-6 % slope. The driveways and parking areas for the church will not have heavy truck traffic. Normal asphalt paving thickness and design will be provided.

Drainage

The storm water drainage system is designed to meet the storage requirements of the Grand Traverse County Drain Commission.

Sanitary Sewer

The church will be connected to the sanitary sewer located in the LaFranier Road right of way. The church has no unusual sewage in term of quantity or quality.

Water Supply

The church will be connected to the municipal water system in the LaFranier Road right-of-way. No fire suppression will be required.

Traffic Access

The proposed site plan anticipates (1) access point from LaFranier Road, sharing a driveway with the BATA development. The internal roads and parking will be privately maintained. 35' radii on curbing will be provided to allow for fire department access. If the BATA project is not approved a priorly permitted driveway will be developed.

Landscaping

The areas disturbed by construction will be seeded with grass. Lawn irrigation and landscaping will occur around the developed building. A type "C" landscape buffer will be provided around the property perimeter with type "D" landscape buffer along LaFranier Road.

Miscellaneous

Internal directional and traffic signage will be provided throughout the site.

Parking requirements a will allow for a minimum of (30) spaces and a maximum of (50) spaces. A total of (71) spaces have been provided. Future (17) spaces are to be provided for the Child Development Center.

The ordinance required setbacks are maintained.

Agency letters have been sent to GT Metro Fire Department, DPW, GT Road Commission, Health Department and Soil Erosion for review and comment.

The Sanctuary and Fellowship Hall are to be constructed starting in the spring of 2021. The Child Development Center may be constructed later due to finances.

The parking and driveways will be illuminated. Pole lighting is proposed.

The Child Development Center outdoor play area will be fenced. The fence will be 6 feet high chain link.

A screened dumpster enclosure will be provided.

A main sign that meets the township ordinances will be provided on LaFranier Road.

A sidewalk will be installed along LaFranier Road.

(2) Bicycle racks will be provided.

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

The proposed church is an Institutional Use permitted via Special Use in the underlying AG zoning District.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The proposed church and Child Care Development Center uses are compatible and harmonious with the existing surrounding uses. The uses are immediately adjacent to the residential uses that would utilize the facilities. The site is available by vehicle or walking due to its proximity. Non-motorized access is encouraged in the Master Plan.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The proposed use is similar in nature to existing surrounding uses (high density housing and Road Commission facility) and do not generate excessive noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electric or electromagnetic interference.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The project parcel is will be surrounded by and buffered with landscaping. The building placement allows for natural future expansion for the building and parking.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The site does not contain any existing natural features. The overall grade will be maintained to preserve the general character of the neighborhood

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

Access to the site is planned to share an entrance with the BATA site to the south. The site is serviced with municipal water and sewer. The site drawings will meet the county and township standards for storm water management, soil erosion and sedimentation control. The project is designed with the intent of meeting International Fire Code Standards for site planning.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The Church is well established and will not be detrimental or endanger public health or safety. The essence of a church will be good for the general welfare of our community.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The Church and Child Development Center are supporting the public interest and welfare of our community.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

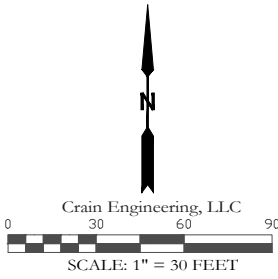
Working to accomplish joint ingress and egress access to the site with the BATA site to the south.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner;

Provisions for pedestrian circulation are provided for along LaFranier Road, around the site and between all uses.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The project site is last site to be developed in the district.



SITE DATA

PROPERTY OWNER & APPLICANT:
 PRINCE OF PEACE CHURCH
 1728 S. GARFIELD AVE., CHERRYLAND CENTER
 TRAVERSE CITY, MI 49686
 PH: 231-941-7812 PASTOR STEPHEN RADDATZ

PARCEL ADDRESS - LAFRANIER ROAD
 PARCEL ZONING - A-AGRICULTURAL
 PARCEL NUMBER - PART OF 28-05-023-041-00

SETBACKS:
 FRONT - 35'
 SIDE - 20'
 REAR - 30'

PROPOSED:
 PRINCE OF PEACE CHURCH WHICH WILL INCLUDE WORSHIP AREA, EDUCATION/DAYCARE, FELLOWSHIP, ETC

PARKING:

Use	Required Parking Spaces		Unit	Number of Parking Spaces	
	Minimum	Maximum		Required	Proposed
Sanctuary	1 for each six (6) seats	1 for each three (3) seats	171 persons	29 - 57	71
Narthex (Overflow)	1 for each six (6) persons	1 for each three (3) persons	62 persons	10 - 21	--
Fellowship Hall	1 for each six (6) persons	1 for each three (3) persons	126 persons	21 - 42	--
Childcare Center	1 for each three hundred (300) square feet of floor space	n/a	2,450 sq. ft.	8	--
Total				68 - 128	71

PROVIDED PARKING: 71 SPACES (INCLUDES 7 HANDICAP SPACES)
 (17 FUTURE SPACES SHOWN ON PLAN)
 BICYCLE PARKING: 71 / 25 = (3) REQUIRED

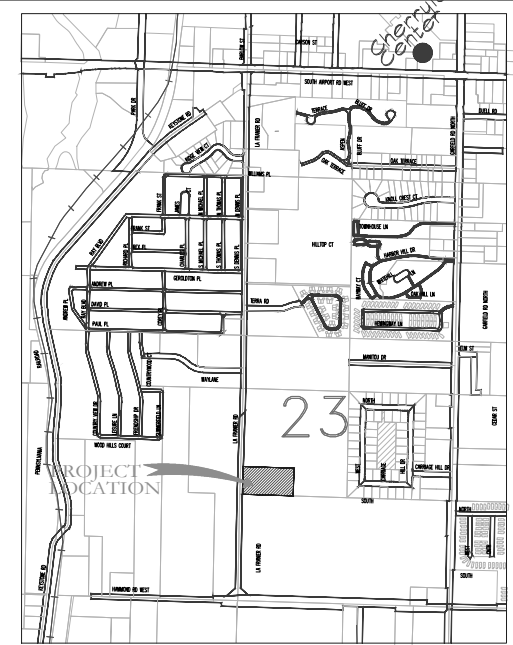
SITE PLAN

GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI.

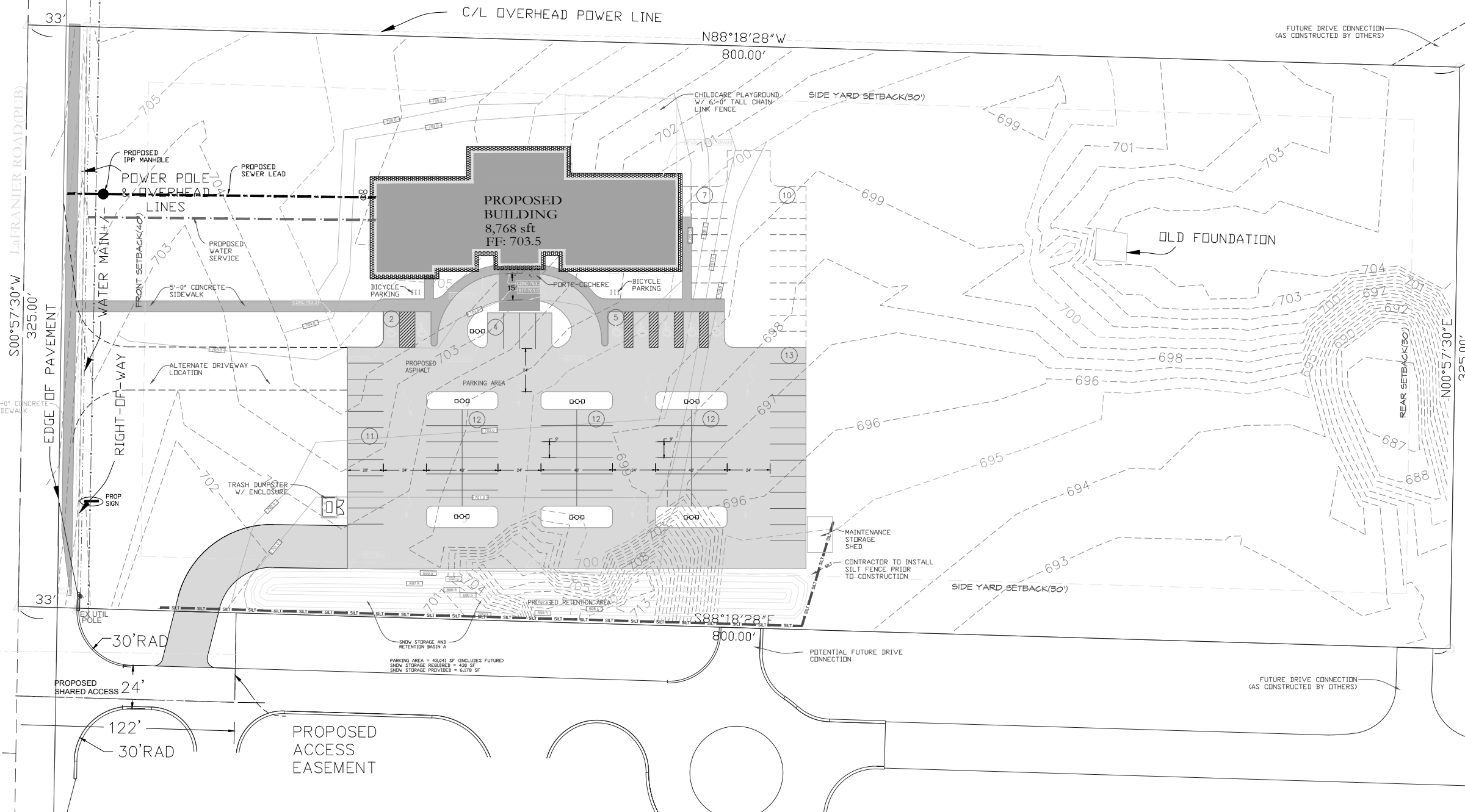
LEGEND

- PROPERTY LINE
- - - SETBACKS
- - - 598 EXISTING CONTOUR
- - - 598 PROPOSED CONTOUR
- DRAINAGE DIRECTION ARROW
- ~ EXISTING TREE LINE
- PROPOSED RETENTION BASIN
- PROPOSED GRADES
- - - PROPOSED WATER LINE
- - - PROPOSED SEWER LINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- PROPOSED LIGHT POLE

PROPERTY DESCRIPTION:
 Parcel: 05-023-041-00
 LAFRANIER LOUIS G & MARVEL R TRUST
 LAFRANIER RD
 TRAVERSE CITY, MI 49686-5123
 ZONING: AGRICULTURAL



LOCATION MAP



Parcel: 05-023-025-50
 LAFRANIER LLC
 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: RS MULTI-FAMILY RES

Parcel: 05-023-025-00
 BUREN, BOB
 1532 W HAMMOND RD
 TRAVERSE CITY, MI 49686-9104
 ZONING: AG-AGRICULTURAL

Parcel: 05-023-041-00
 LAFRANIER LOUIS G & MARVEL R TRUSTS
 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: AG AGRICULTURAL

Parcel: 05-023-041-00
 LAFRANIER LOUIS G & MARVEL R TRUSTS
 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: AG AGRICULTURAL

Crain Engineering, LLC
 Engineering, Consulting, & Design
 7622 Bott Road
 Buckley, MI 49620
 Phone: (231) 947-7255
 Cell: (231) 632-4207
 email: crainengineeringllc@gmail.com

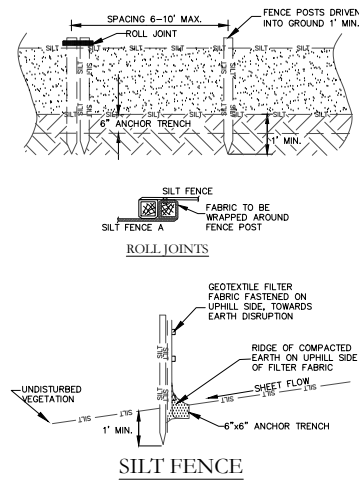
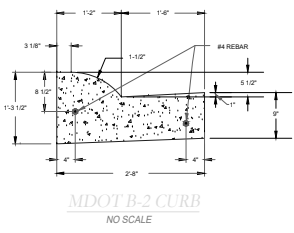
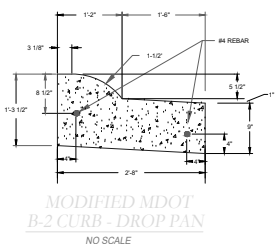
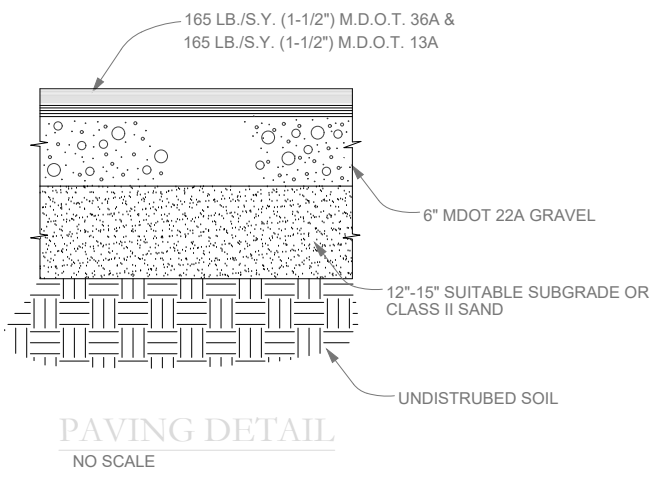
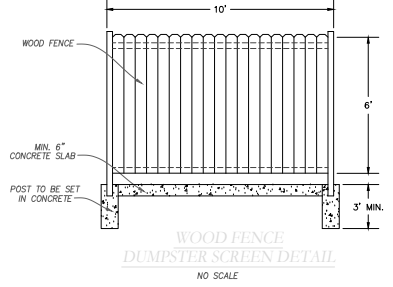
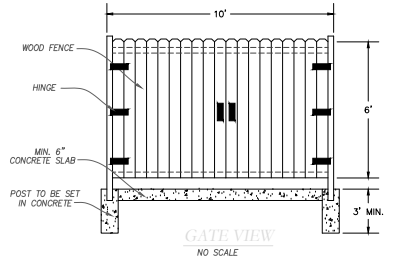
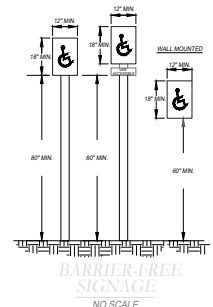
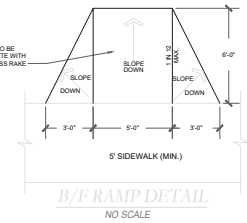
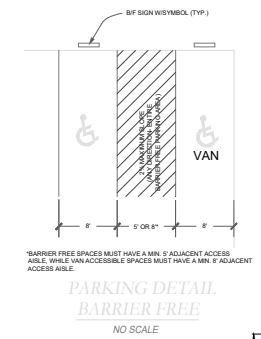
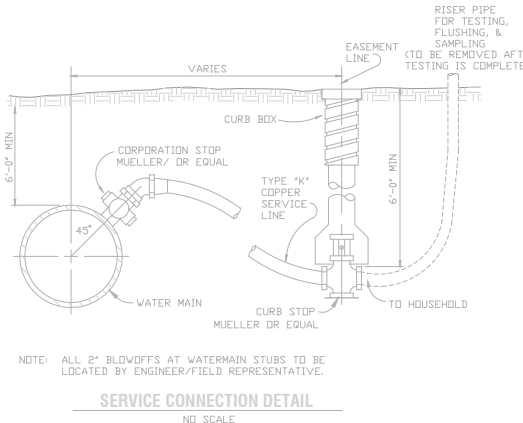
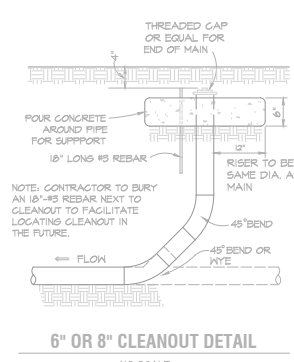
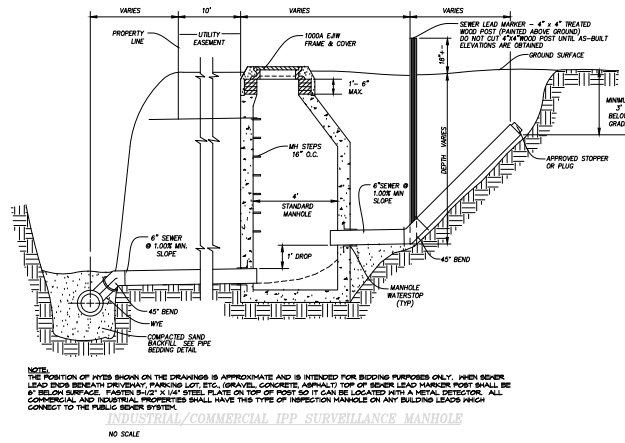


DRAWN BY: WLC
 DSGN BY: WLC
 DATE: 10-17-2017
 REV DATE:

SITEPLAN
PRINCE OF PEACE LUTHERN CHURCH
 SECTION 23 - TOWN 27 NORTH - RANGE 11 WEST
 GARFIELD TWP., GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER:
159120
 SHEET **C-1**





Summary for Subcatchment 1S: DISTRICT #1

Runoff = 3.15 cfs @ 12.06 hrs, Volume= 9,474 cf, Depth= 3.26"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-Year Rainfall=3.93"

Area (sf)	CN	Description
29,420	98	Paved parking, HSG C
5,500	74	>75% Grass cover, Good, HSG C
34,920	94	Weighted Average
5,500		15.75% Pervious Area
29,420		84.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Summary for Pond 1A: BASIN 1A

Inflow Area = 34,920 sf, 84.25% Impervious, Inflow Depth = 3.26" for 25-Year event
Inflow = 3.15 cfs @ 12.06 hrs, Volume= 9,474 cf
Outflow = 0.00 cfs @ 1.00 hrs, Volume= 0 cf, Atten= 100%, Lag= 0.0 min
Primary = 0.00 cfs @ 1.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Peak Elev= 698.79' @ 24.90 hrs Storage= 9,474 cf

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
Center-of-Mass det. time= (not calculated: no outflow)

Volume #1	Invert	Avail. Storage	Storage Description
	696.49'	20,603 cf	Custom Stage Data Listed below
Elevation (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	
696.49	0	0	
696.50	939	939	
697.50	2,560	3,499	
698.50	4,242	7,741	
699.50	5,984	13,725	
700.00	6,878	20,603	

Device #1	Routing	Invert	Outlet Devices
	Primary	699.50'	45.0 deg x 5.0' long x 0.50' rise Sharp-Crested Vee/Trap Weir Cv= 2.56 (C= 3.20)

Primary OutFlow Max=0.00 cfs @ 1.00 hrs HW=696.49' (Free Discharge)
1=Sharp-Crested Vee/Trap Weir (Controls 0.00 cfs)

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email: crainengineeringllc@gmail.com

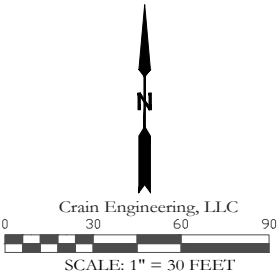


DRAWN BY: WLC
DSGN BY: WLC
DATE: 10-17-2017
REV DATE:

SITEPLAN
PRINCE OF PEACE LUTHERN CHURCH
SECTION 23 - TOWN 27 NORTH - RANGE 11 WEST
GARFIELD TWP., GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER:
159120

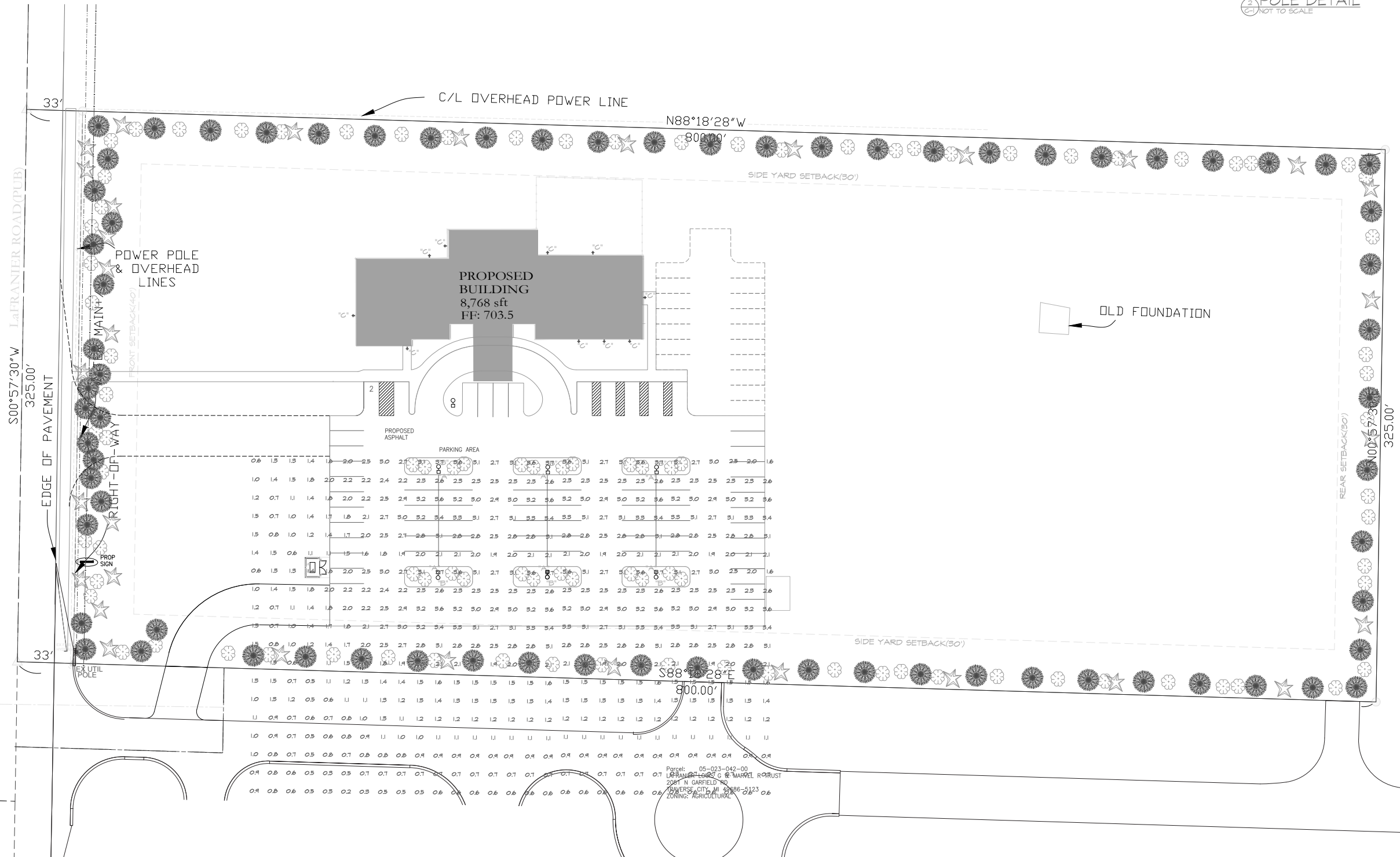
SHEET **C-2**



Crain Engineering, LLC
 05-023-025-50
 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: RS MULTI-FAMILY RES

05-023-025-00
 1532 W HAMMOND RD
 TRAVERSE CITY, MI 49686-9104
 ZONING: AG-AGRICULTURAL

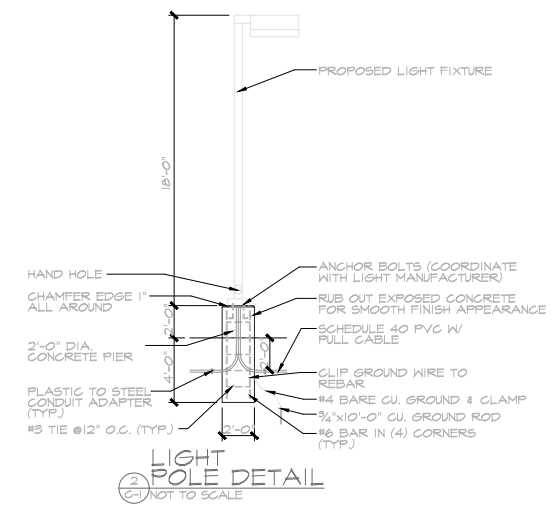
EXISTING ENTRANCE RIDGE45



LUMINAIRE SCHEDULE						
LABEL	QUANTITY	ARRANGEMENT	SHIELD COLOR	MANUFACTURER	DESCRIPTION	LUMEN/WATT
A	3	SINGLE	BRONZE	LUMARK FREYAL	FRY-C60-D-UVV-T3-5A-B2-10/30	3000K 20000/153

NEW LIGHT POLE:				
LABEL	QUANTITY	ARRANGEMENT	COLOR	DESCRIPTION
B	6	SINGLE	BRONZE	1.5 4" X 2.5" POLE RFS92-4-25-11-D1

C - LIGHT FIXTURE TO BE LUMARK XTOR 2B-W 3000K; 1991 LUMENS / 16 WATTS



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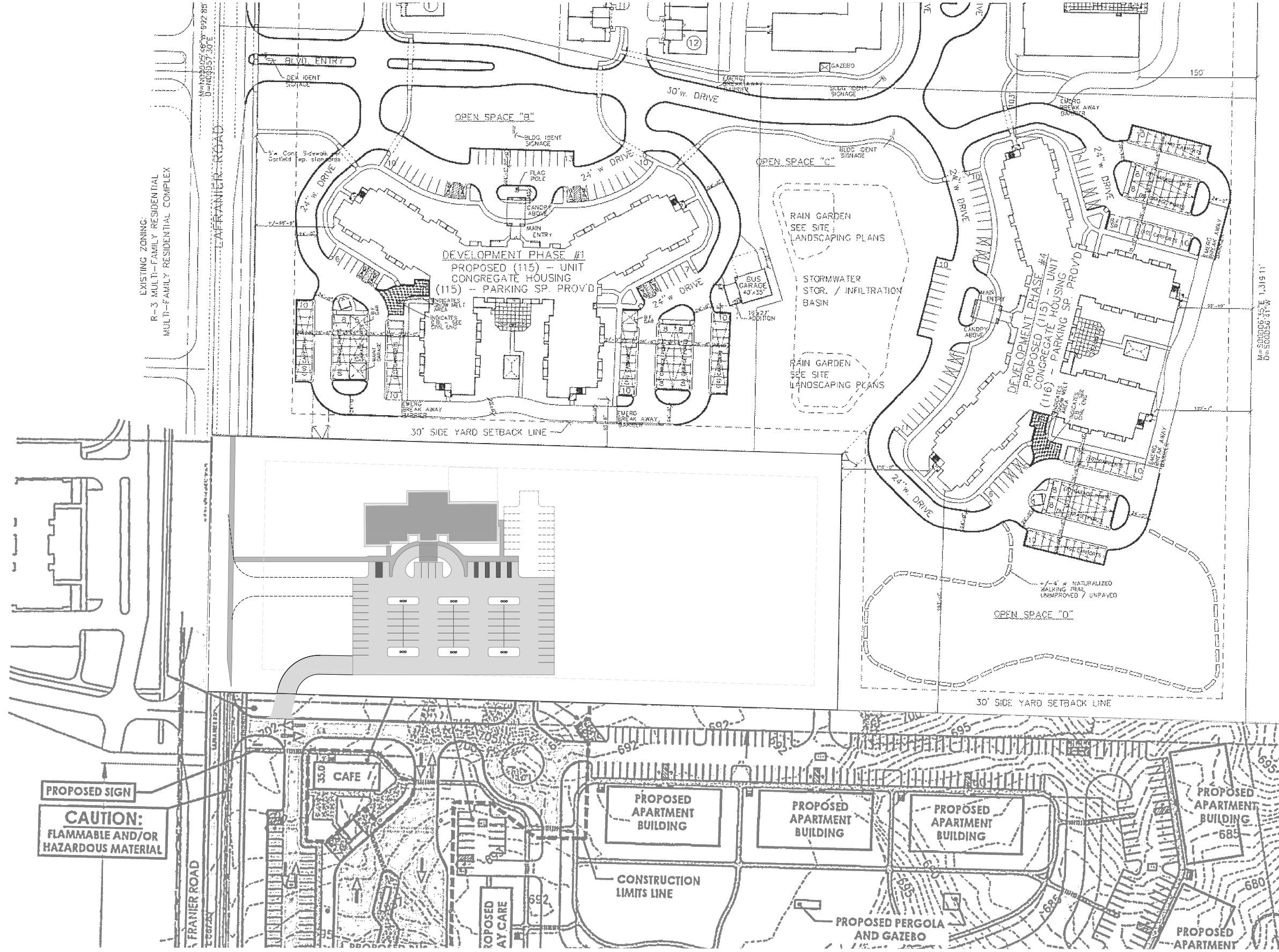
DRWN BY: WLC
 DSGN BY: WLC
 DATE: 10-8-2020
 REV DATE:

SITE LIGHTING PLAN
PRINCE OF PEACE LUTHERN CHURCH
 SECTION 23 - TOWN 27 NORTH - RANGE 11 WEST
 GARFIELD TWP., GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER:
159120
 SHEET **C-3**

Parcel: 05-023-041-00
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 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: AG AGRICULTURAL





PROPOSED SIGN
CAUTION:
 FLAMMABLE AND/OR
 HAZARDOUS MATERIAL

 **CONTEXT SITE PLAN**
 SCALE: 1" = 60'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49604

scale:
AS NOTED

architect:
CFC CAMPBELL
 phone: (231) 947-9019
 e-mail: jml@att.net

revision:
02/08/21 ISSUED FOR PLANNING

location:
TRAVERSE CITY, MICHIGAN
 client:
PRINCE OF PEACE

sheet title:
CONTEXT SITE PLAN
 project name:
PRINCE OF PEACE

preliminary
 preliminary
 construction

date:
02/08/21
 sheet:
C-4



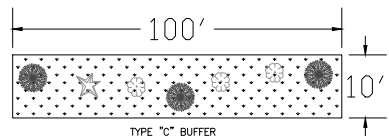
LANDSCAPE PLAN

GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI.

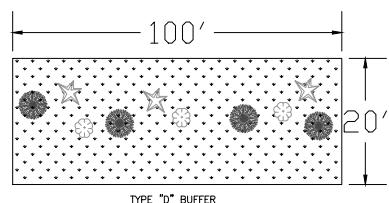
Minimum Greenspace Planting Specifications	
Landscape Feature	Minimum Plant Sizes
Canopy Trees	3 inch caliper
Evergreens and Conifers	6 feet in height; no caliper requirement
Flowering Trees	1-1/2 inch caliper for singletrunk trees; 6 feet in height for multi-trunk trees

LANDSCAPING

- ★ EVERGREENS & CONIFERS
BLUE/BLACK SPRUCE, BALSAM FIR, DOUGLAS FIR
- CANOPY TREES (MIN. 3" CALIPER)
SUGAR MAPLE
SHADELOW SERVICEBERRY
NORTHERN RED OAK
- MEDIUM OR SMALL TREES (MIN. 1 1/2" CALIPER)
WEeping CHERRY, SERVICEBERRY, DOGWOOD, BRADFORD PEAR



REQUIRED LANDSCAPING:
SIDE AND REAR - TYPE "C"
 PER 100 LINEAL FEET: 3 LARGE, 3 SMALL & 1 EVERGREEN
 TOTAL LENGTH SIDE = 800 FEET
 TOTAL ALONG EACH SIDE: 24 LARGE, 24 SMALL & 8 EVERGREEN.
 TOTAL LENGTH REAR = 325 FEET
 TOTAL ALONG REAR: 10 LARGE, 10 SMALL & 4 EVERGREEN.



FRONT - TYPE "D"
 PER 100 LINEAL FEET: 4 LARGE, 3 MEDIUM OR SMALL & 3 EVERGREEN OR CONIFEROUS
 TOTAL LENGTH FRONT = 325 FEET
 TOTAL PER FRONT: 14 LARGE, 11 MEDIUM OR SMALL & 11 EVERGREEN OR CONIFEROUS

TOTAL TREES REQUIRED: 65 LARGE, 62 SMALL, 20 EVERGREENS & 13 SHRUBS
 TOTAL TREES PROVIDED: 65 LARGE, 62 SMALL, 20 EVERGREENS & 13 SHRUBS

TYPE "C" BUFFER

- PLANTING REQUIREMENT. GROUND COVER AS SPECIFIED IN SECTION 530.J. PLUS THREE LARGE TREES, THREE MEDIUM OR SMALL TREES, ONE EVERGREEN OR CONIFEROUS TREE PER ONE HUNDRED (100) LINEAL FEET OF GREEN SPACE AREA.
- MINIMUM WIDTH REQUIREMENT. THE TYPE "C" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TEN (10) FEET.

TYPE "D" BUFFER

- PLANTING REQUIREMENT. GROUND COVER AS SPECIFIED IN SECTION 530.J. PLUS FOUR LARGE TREES, THREE MEDIUM OR SMALL TREES, AND THREE EVERGREEN OR CONIFERS PER ONE HUNDRED (100) LINEAL FEET OF GREEN SPACE AREA.
- MINIMUM WIDTH REQUIREMENT. THE TYPE "D" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TEN (20) FEET.

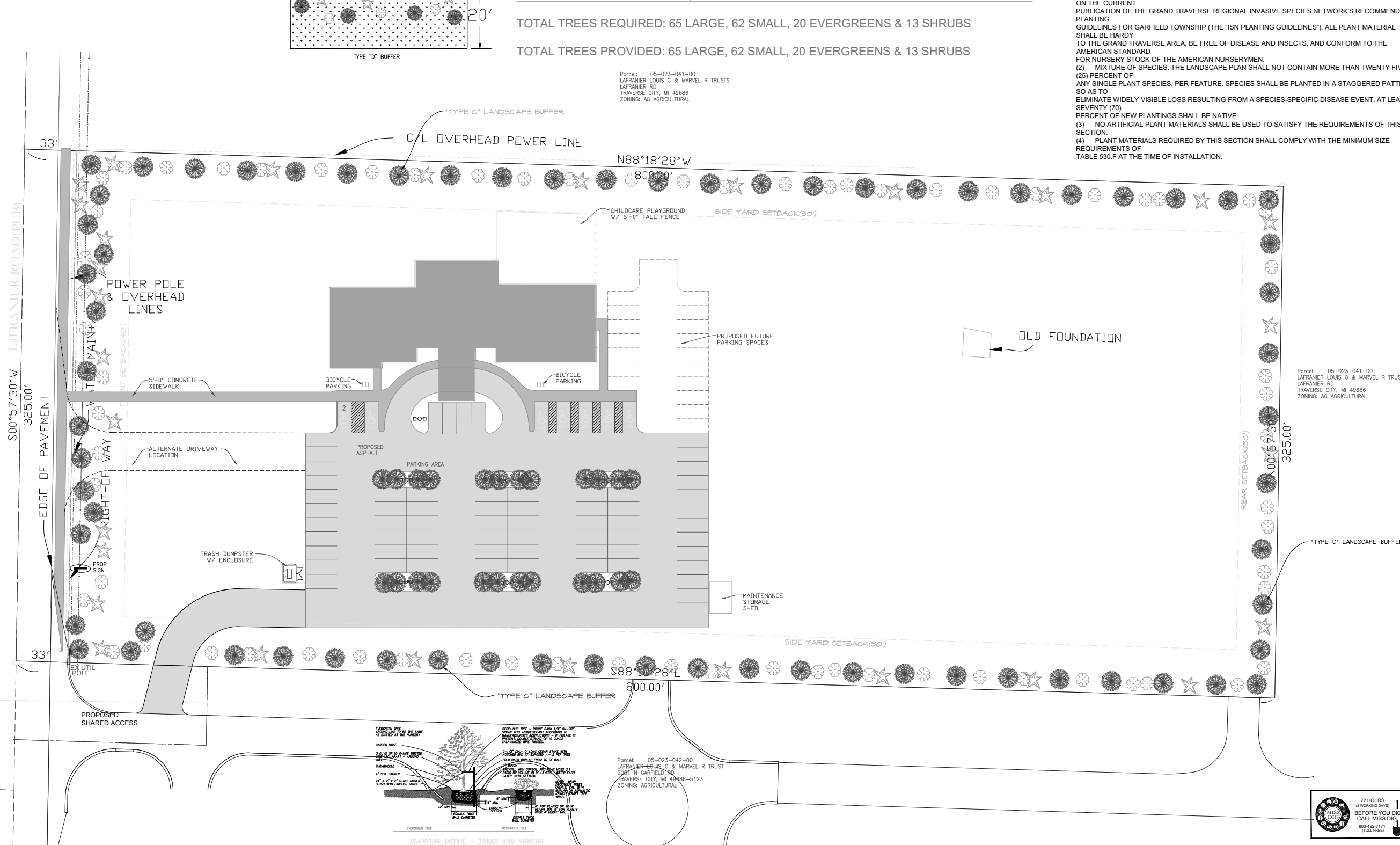
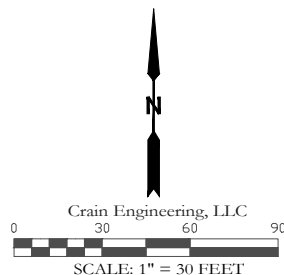
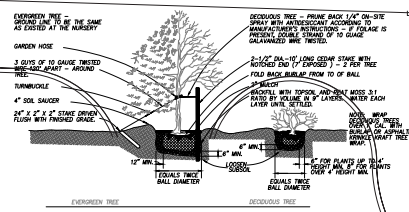
PLANT MATERIAL REQUIREMENTS

- PLANT MATERIALS, PROHIBITED, PERMITTED, AND RECOMMENDED SPECIES SHALL BE BASED ON THE CURRENT PUBLICATION OF THE GRAND TRAVERSE REGIONAL INVASIVE SPECIES NETWORK'S RECOMMENDED PLANTING GUIDELINES FOR GARFIELD TOWNSHIP (THE "ISN PLANTING GUIDELINES"). ALL PLANT MATERIAL SHALL BE HARDY TO THE GRAND TRAVERSE AREA, BE FREE OF DISEASE AND INSECTS, AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN NURSERYMEN.
- MIXTURE OF SPECIES. THE LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN TWENTY FIVE (25) PERCENT OF ANY SINGLE PLANT SPECIES, PER FEATURE. SPECIES SHALL BE PLANTED IN A STAGGERED PATTERN SO AS TO ELIMINATE WIDELY VISIBLE LOSS RESULTING FROM A SPECIES-SPECIFIC DISEASE EVENT. AT LEAST SEVENTY (70) PERCENT OF NEW PLANTINGS SHALL BE NATIVE.
- NO ARTIFICIAL PLANT MATERIALS SHALL BE USED TO SATISFY THE REQUIREMENTS OF THIS SECTION.
- PLANT MATERIALS REQUIRED BY THIS SECTION SHALL COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF TABLE 530.F AT THE TIME OF INSTALLATION.

Parcel: 05-023-041-00
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 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: AG AGRICULTURAL

Parcel: 05-023-041-00
 LAFRANIER LOUIS G & MARVEL R TRUSTS
 LAFRANIER RD
 TRAVERSE CITY, MI 49686
 ZONING: AG AGRICULTURAL

Parcel: 05-023-042-00
 LAFRANIER LOUIS G & MARVEL R TRUST
 2081 N GARFIELD RD
 TRAVERSE CITY, MI 49686-5123
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 email: crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 10-8-2020
REV DATE:

LANDSCAPE PLAN
PRINCE OF PEACE LUTHERN CHURCH
 SECTION 23 - TOWN 27 NORTH - RANGE 11 WEST
 GARFIELD TWP., GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER:
159120
 SHEET **L-1**





date:
2/3/20
sheet:
A-0.1

○ preliminary
● construction

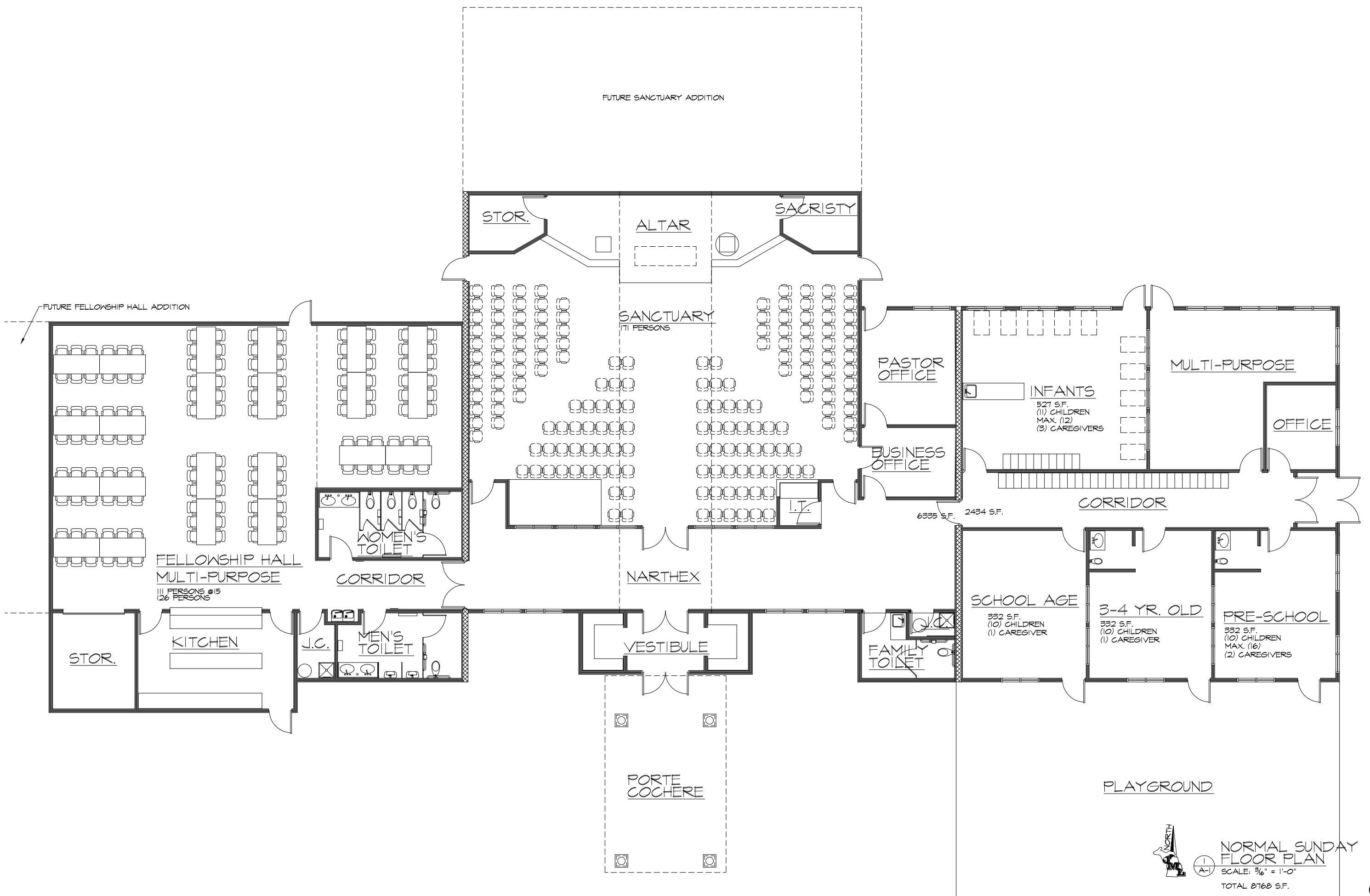
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EXTERIOR RENDERINGS
project name:
PRINCE OF PEACE

location:
TRAVERSE CITY, MICHIGAN
client:
PRINCE OF PEACE

revisions:
2/3/20 ISSUED FOR REVIEW

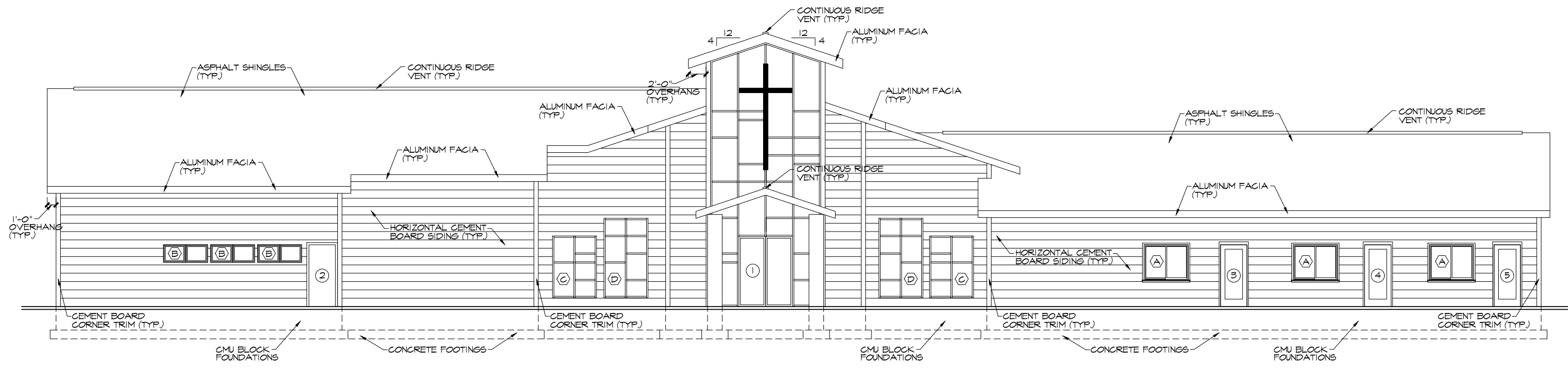
architect:
CF CAMPBELL
phone: (231) 947-9019
e-mail: jmlg@att.net

scale:
AS NOTED
drawn:
MD

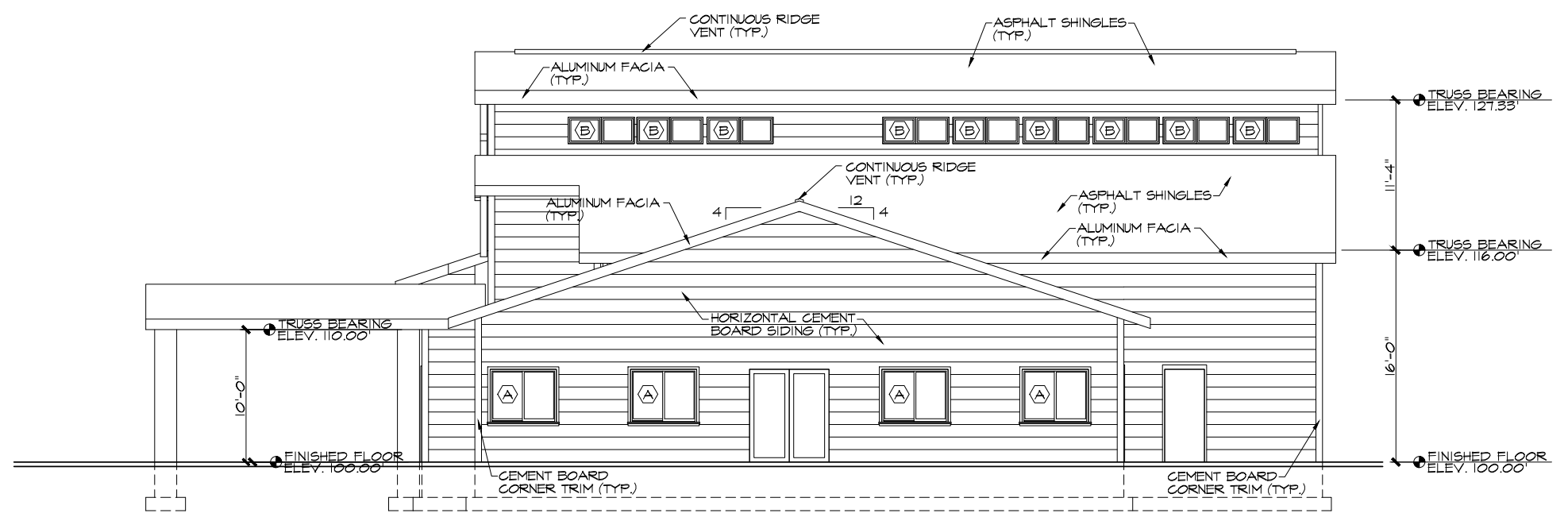


NORMAL SUNDAY FLOOR PLAN
SCALE: 3/16" = 1'-0"
TOTAL 8768 S.F.





1 SOUTH ELEVATION
A-2 SCALE: 3/16"=1'-0"



2 EAST ELEVATION
A-2 SCALE: 3/16"=1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

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revisions: 2/3/20 ISSUED FOR REVIEW

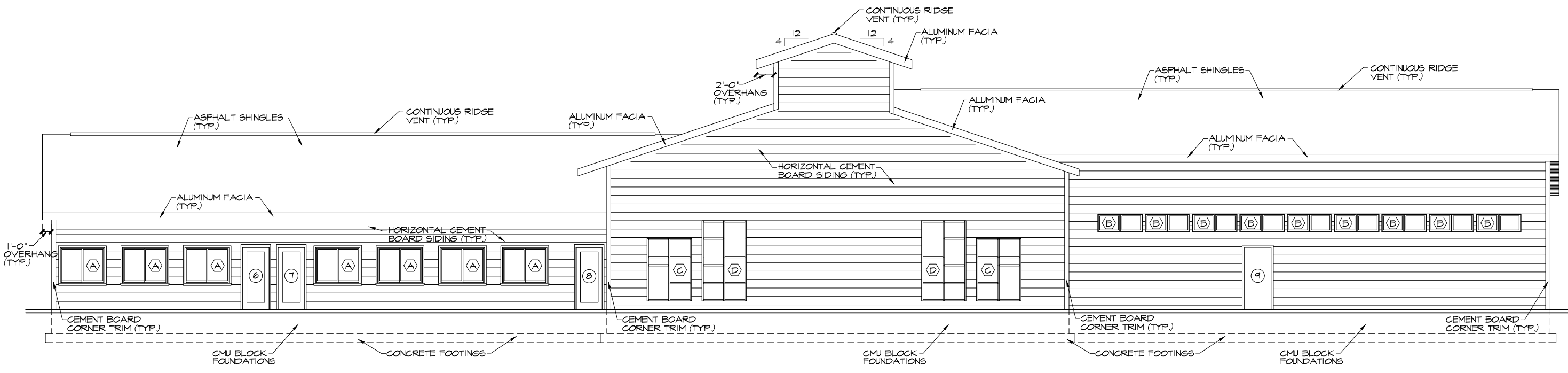
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client: PRINCE OF PEACE

sheet title: EXTERIOR ELEVATIONS
project name: PRINCE OF PEACE

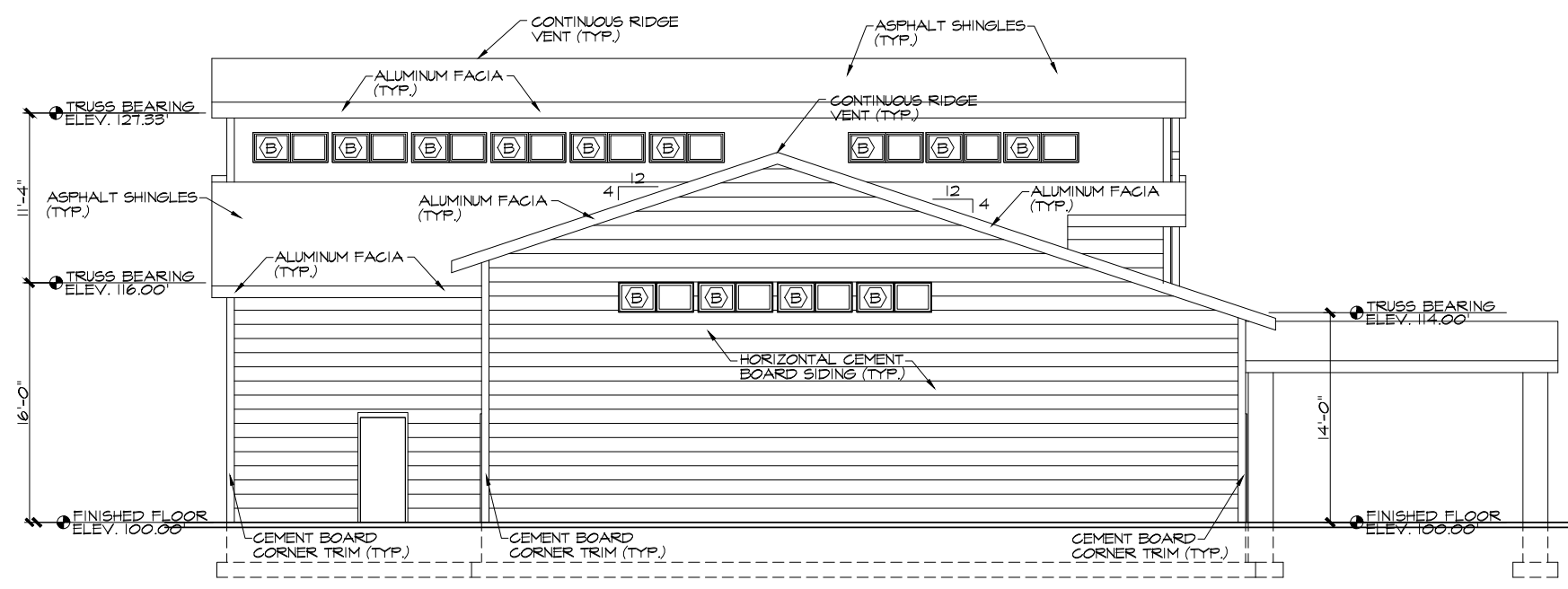
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construction

date: 2/3/20
sheet: A-2





1 NORTH ELEVATION
A-3 SCALE: 3/16"=1'-0"



2 WEST ELEVATION
A-3 SCALE: 3/16"=1'-0"

JML DESIGN GROUP, LTD. 235 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

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drawn: MD

architect: CF CAMPBELL
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e-mail: jml@att.net

revision: 2/3/20 ISSUED FOR REVIEW

location: TRAVERSE CITY, MICHIGAN
client: PRINCE OF PEACE

sheet title: EXTERIOR ELEVATIONS
project name: PRINCE OF PEACE

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date: 2/3/20
sheet: A-3

