

CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING

Wednesday, February 14, 2018 - 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

Call Meeting to Order

Roll Call of Commission Members

1. Review and Approval of the Agenda - Conflict of Interest
2. Minutes
 - a. January 24, 2018
3. Correspondence
4. Reports
 - a. Township Board
 - b. Planning Commissioners
 - c. Planning Department
5. Business to Come Before the Commission
 - a. PD 2018- 18 McCardel Conceptual
 - b. PD 2018- 19 Hickory Hills SUP Public Hearing
 - c. PD 2018- 20 Ridges 45 SUP Amendment Public Hearing
 - d. PD 2018- 21 Fox Run PURD Findings of Fact
 - e. PD 2018- 22 Brickway /Church of Christ Map Amendment Public Hearing
 - f. PD 2018- 23 Pine Grove Homes - Mobile Home Sales - SUP Public Hearing
6. Public Comment
7. Items for Next Agenda – February 28, 2018
 - a. Annual Report
 - b. By-Laws
 - c. Master Plan-Next Step
 - d. Planned Shopping Center Amendment-Intro
 - e. Access Drive Amendment-Intro
8. Adjournment

Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, (231) 941-1620, or TDD 922

CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
January 24, 2018

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, MI 49684.

Roll Call of Commission Members:

Present: Steve Duell, Joe Robertson, Joe McManus, Pat Cline, Chris DeGood, Gil Uithol and John Racine

Staff Present: Deputy Planner Eric Perdonik, Planner John Iacoangeli

1. **Review and Approval of the Agenda – Conflict of Interest (7:00)**

DeGood recused himself from any Buffalo Ridge discussion.

Robertson moved and Cline seconded to approve the agenda as presented.

Yeas: Robertson, Cline, Uithol, Duell, DeGood, McManus, Racine

Nays: None

2. **Minutes (7:01)**

a. **January 10, 2018 Regular Meeting Minutes**

Duell moved and Uithol seconded to approve the January 10, 2018 Regular Meeting Minutes as presented.

Yeas: Duell, Uithol, McManus, Cline, DeGood, Robertson, Racine

Nays: None

3. **Correspondence**

None

4. **Reports (7:01)**

Township Board Report

Duell reported that the board adopted the five year Parks and Rec Plan and adopted a new revised Grand Traverse Metro Emergency Services Lease.

Planning Commissioners

No Reports

Planning Department

No Reports

5. **Business to Come Before the Commission**

a. **Buffalo Ridge Continued Discussion (7:02)**

DeGood excused himself from the discussion.

Planner Iacoangeli addressed the Planning Commission and said the applicant rescinded the applicant for Hobby Lobby site plan review and submitted an amendment for the entire Buffalo Ridge PUD. The Findings of Fact in the matter are in commissioner packets and have been developed according to criteria related to an SUP amendment. Iacoangeli said that the application as reviewed does comply with the Garfield Township Zoning Ordinance and a motion has been prepared with exhibits and seventeen conditions. Township Attorney Scott Howard reviewed the conditions which will go into the Report and Decision Order for the final approval. These conditions were provided to the developer in the RDO agreement.

Joe Sarafa, applicant, said that he received the proposed RDO late last night and he will not address the conditions tonight. He has reviewed the proposed RDO and has brought his own revised version of the RDO for commissioners this evening which he passed out at the meeting. Sarafa asked for approval of the amendment application without conditions. Attorney Howard said that the conditions set forth are boilerplate items that are consistent with what was put together this evening. He added that if the developer wants to move forward, that the Planning Commission could recommend approval based on the conditions as set forth and recommend approval of an RDO as written by either Iacoangeli or Sarafa.

Sarafa asked for approval without conditions and stated that he did not have time to review all seventeen conditions and the Township Board would not approve the proposed amendment without a Report and Decision Order from a Planner. Planning Commissioners believed the conditions were reasonable as they pertained to the ordinance and that the Commission merely recommends an approval to the Township Board.

Doug Mansfield expressed concerns with the term "dedicated open space" in section 3d and asked to change the term to "designated". Sarafa said that these small items pertaining to verbage could be worked out at a later date when an RDO was necessary and asked once again for approval without the conditions. Sarafa thought that a Report and Decision Order was a bit pre-emptive at this point in the proceedings. Planning Commissioners asked Attorney Howard about the conditions and if the Township board could change language in the conditions or change the conditions at all. Howard assured Planning Commissioners that the parties would work together to create a good document which followed the ordinance.

Uithol moved and Duell seconded to recommend to the Township Board approval of the Findings of Fact for the Master Plan for the Buffalo Ridge Center Development and the Report and Decision Order for PD 2017-41 which includes conditions for approval and changing the word "dedicated open space" to "designated open space."

Yeas: Uithol, Duell, McManus, Robertson, Cline, Racine

Nays: None

b. PD 2018 – 08 Pine Grove Homes – Mobile Home Sales – SUP Introduction (7:52)

The applicant is seeking approval to use the property for modular/manufactured home sales and mobile home sales. Bill Crain representing Pine Grove Homes said the applicant will provide compliant landscaping and is also proposing a new 10' paved bike path to connect with those existing to the north and south. He will also upgrade storm water control on the site. There will be approximately 10-12 display models located on the site. Board members asked about the sewer system for the site and asked the applicant to produce documentation of the sewer system and provide information on whether it is a private system and if the applicant has the authority to share the private system. Matt Black said some units will be set up and stay onsite for two to three years and some homes may be brought to the site before moving on to their permanent lots. Snow storage and landscaping was discussed.

DeGood moved and Uithol seconded THAT application SUP-2017-03 submitted by Richard Newman of Pine Grove Homes requesting a Special Use Permit (SUP) for a modular/manufactured home sales and mobile home sales operation BE ACCEPTED and scheduled for a public hearing at a Planning Commission meeting to be held on February 14, 2018.

*Yeas: DeGood, Uithol, Robertson, Duell, Cline, McManus, Racine
Nays: None*

c. PD 2018 – 09 Ridges 45 SUP Amendment (8:09)

This application requests a Major Amendment to Special Use Permit (SUP) approval granted in 2015 to expand the Ridges 45 apartment project on LaFranier Road. An amendment is required to include additional land area in the SUP. Mark Oppenhuizen from Oppenhuizen Architects presented the plan for the fourth phase of Ridges 45. The proposed project affects 8 acres in the northwest quadrant of what was previously rezoned. The building designs for the 96 units will be the same as what already exists and will bring the total to 400 units in the development. A landscaping plan will be required which the applicant will submit prior to the Public Hearing. Scott Jozwiak talked about the landscape plan and developers have determined which trees could be saved.

Cline moved and Robertson seconded THAT application SUP 2015-01-C submitted by Midwest MFD, LLC for a Major Amendment to a Special Use Permit for a multi-Family Development (SUP 2015-01 BE ACCEPTED and scheduled for public hearing at a meeting to be held on February 14th 2018 subject to the applicant providing additional detail as required by the Planning Department.

*Yeas: Cline, Robertson, Duell, DeGood, McManus, Uithol, Racine
Nays: None*

d. PD 2018 – 10 Brickway Map Amendment – Introduction (8:18)

The application requests to rezone approximately 3.6 acres of land from the R-1 One-family Residential District to the R-3 Multi-Family Residential District, without restrictions. The parcel is currently adjacent to an R-3 use. The Planning Department told the applicant that the neighboring church could possibly be brought into the rezoning application as well. Jeff Cockfield, representing the applicant, said that the applicant wishes to use the property as independent housing for people with disabilities which is different from an adult foster care home. They anticipate that the facilities would be single story buildings with six units each. The applicant also said that the church is agreeable to the rezoning idea.

Duell moved and Robertson seconded that application Z-2017-06, submitted by Brickways to rezone parcel 05-015-042-10 to the R-3 Multi-Family Residential District, BE ACCEPTED with or without the addition of the church property to the south; and further THAT application Z-2017-06 BE SCHEDULED for a public hearing at a meeting of the Garfield Township Planning Commission on February 14th, 2018.

*Yeas: Duell, Robertson, Uithol, DeGood, McManus, Cline, Racine
Nays: None*

e. PD 2018-13 eCities Recognition (8:29)

Perdonik said that this item was purely informational and said that that Township has been submitting data for several years and has always been ranked four out of five stars in economic prosperity.

Uithol moved and DeGood seconded THAT the 2017 eCities Star Report, as attached to PD Report No. 2018-14, BE RECEIVED.

*Yeas: Uithol, DeGood, Cline, Duell, McManus, Robertson, Racine
Nays: None*

7. Public Comment (8:31)

None

8. Items for Next Agenda – February 14, 2018


- a. Annual Report
- b. TBD

Duell talked about the amount of people using Hickory Hills for skiing.

9. Adjournment

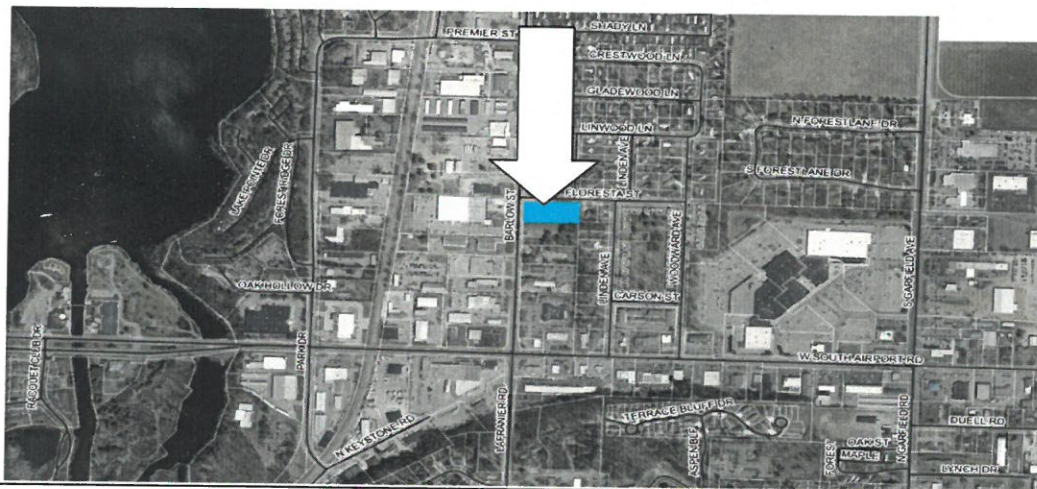
DeGood moved and Duell seconded to adjourn the meeting at 8:36pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2018-18		
Prepared:	January 31, 2018	Pages: 1 of 3
Meeting:	February 14, 2018-Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Conceptual Review-1707 Barlow Street Apartments/Condos	
Applicant:	Sean McCardel	

INTRODUCTION:

This is an application for conceptual review of a residential use (apartments) proposed for the southeast corner parcel at the intersection of Barlow and Floresta Streets, which is split-zoned approximately into halves, with the western half of the parcel falling within the C-L District and the eastern half falling within the R-3 District. If the proposed concept will be constructed wholly within the R-3-zoned side of the parcel, it would be permitted via SUP. If it encroached into the C-L-zoned side, a rezoning would be required. The purpose of the conceptual review process is to allow the applicant to seek informal Planning Commission feedback on potential development projects prior to incurring major design expenses.

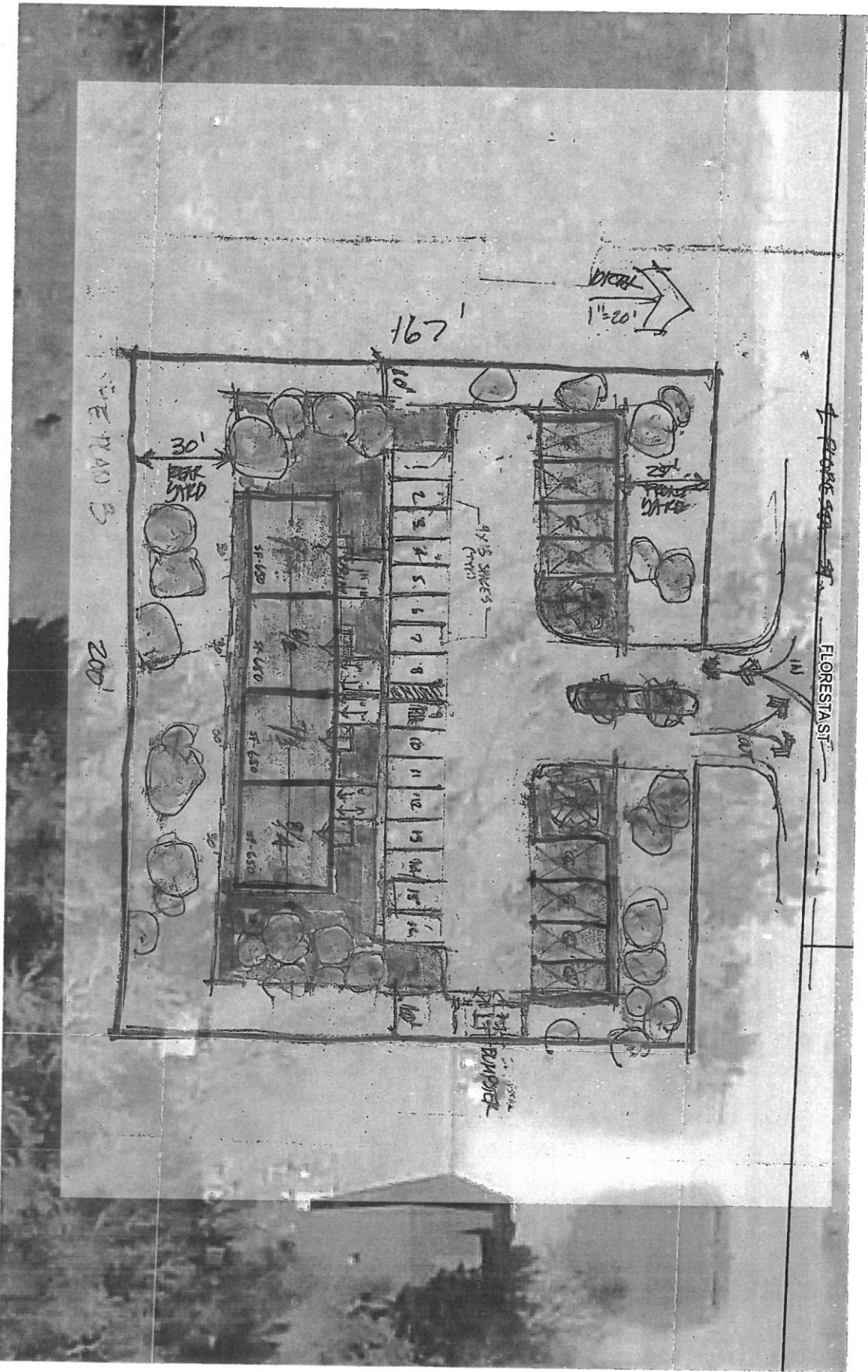



BRIEF PROJECT OVERVIEW:

The applicant proposes a concept for the development and construction of eight (8) 1-bedroom, 1-bathroom apartment homes with 8 associated detached garages and 16 parking spaces. The design would entail two 650-square-foot stacked units per building across four buildings. The site would be accessed via a new boulevard entrance/exit from Floresta Street.

ACTION REQUESTED:

The conceptual review process is intended to provide an opportunity for informal dialogue between the Planning Commission and the applicant. No formal action is requested.



 Charter Township of Garfield Planning Department Report No. 2018-19			
Prepared:	February 8, 2018	Pages:	1 of 3
Meeting:	February 14, 2018-Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Hickory Hills SUP-Public Hearing		
Applicant:	City of Traverse City		

PURPOSE

The application requests approval of a Special Use Permit (SUP) to begin implementation of the Master Plan for the Hickory Hills Ski Park and Recreation Area. Hickory Hills is located within the Charter Township of Garfield and is owned by the City of Traverse City.

Aerial image of subject property (highlighted in blue):



OVERVIEW

In 2014, a partnership between the City of Traverse City, the Charter Township of Garfield, Preserve Hickory, and the Grand Traverse Ski Club was formed. This group jointly funded a Master Plan for Hickory Hills that was adopted by both jurisdictions. This Master Plan was intended to reinvigorate and reinvent Hickory Hills, transforming it into an all-season recreation destination.

STAFF COMMENT:

Following the adoption of the Master Plan and a highly successful fundraising campaign, the City is now in the engineering and approval phase. The SUP before you would implement various elements of the Master Plan including a new lodge, parking area, and maintenance building. Due to the size of the property and location of current and proposed amenities, impacts on neighboring properties are anticipated to be minimal.

Hickory Hills SUP-Public Hearing

Vehicular Circulation:

The property is accessed by a single point of ingress and egress from Randolph Street with modifications to the parking area. The gravel entrance area is among the most used in non-winter months due to the popularity of the disc golf course at Hickory Meadows. Disc golfers will often park in the roadway, which has been a point of contention with neighboring property owners. An improved parking area should address this concern moving forward.

Non-Motorized Circulation:

A new pedestrian connection will be added between the parking area and lodge which should discourage walking in the parking aisles. The applicant will be present to provide more detail about this connection.

Landscaping:

The proposed improvements are concentrated in a mostly forested area. Although the applicant will be installing landscaping, the majority of the buffer standards required by Section 530 of the Zoning Ordinance are recommended to be waived under Section 530.H(1), due to the topography and vegetation providing an established screen or buffer which is equal, or superior, in its ability to meet the intent of the Section.

Lighting:

A review of the lighting plan shows proper illumination levels and placement to meet the standards of the Zoning Ordinance. All lighting will be full cutoff and dark sky compliant.

Site Grading and Stormwater:

A stormwater, grading, and soil erosion control plan has been provided and appears to meet the standards of the Ordinance. Consultant review is pending at this time.

Sewer/Water:

Hickory Hills is proposing to construct/reconstruct a large septic system to serve the use. The septic system is proposed on the adjoining Hickory Meadows property, which is owned by the joint Recreation Authority (City of Traverse City and Charter Township of Garfield). Final review by the Grand Traverse County Health Department will be required as a condition of approval.

Other Comments:

Although fundraising efforts have exceeded expectations, it appears that there are still several thousands of dollars to be raised before the Master Plan can become a reality. This SUP request is the first major step in the Plan's implementation. Non-winter month traffic over the years appears to have long been a concern of some Randolph Street residents. These complaints appear to be in part due to the large contingency of disc golfers and the lack of onsite parking for the course. In addition, speeding traffic along Randolph was also a concern of property owners over the years, but it may have been resolved with the increased police presence and posted speed limit.

Hickory Hills SUP-Public Hearing

ACTION REQUESTED:

The purpose of this meeting is to hold a public hearing on the application. As such, following an opportunity for public input and Commissioner discussion, the following motion is offered for consideration:

MOTION TO direct Staff to prepare Findings of Fact in support of approval of application SUP 2017-04 for consideration at the March 14, 2018 Regular Meeting of the Planning Commission.

Haggard's

PLUMBING and HEATING

"Business of Quality and Service"

"Charlevoix-the-Beautiful"

haggardsinc@hotmail.com

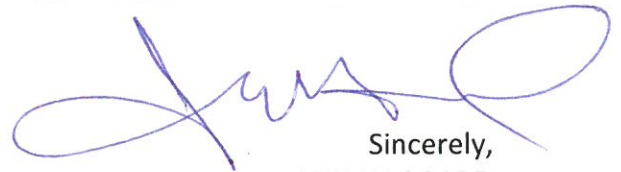
Date: January 29, 2018

To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application from City of Traverse City for a special use permit to make improvements to the Hickory Hills Ski Park and Recreation Area. Parcel# 05-005-001-00 located at 2000 Randolph St.

To Whom it May Concern,

Upon reviewing the above Notice of Public Hearing of the Zoning Board of Appeals, I would like to express my view with the above case's requests. Haggard's Plumbing & Heating is not at all opposed to the changes of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time of economical struggles to either build and/or improve their existing property, we would like to see their request granted. It would prove positive for the local, county, state and country to do all we can to improve and promote growth in any way possible.



Sincerely,
JOHN HAGGARD

2-5-18

I think you should mark the property lines of Hickory Hills and Hickory Meadows - I had 5 people on my property this summer who were hiking Hickory Hills and got lost - If I saw that many - how many came through when I wasn't there -


As more people use that land for more activities - they need to know where the property lines are -

As a hunter I know you can't just go where ever you want with out permission from the land owner - I don't know if the people who hike those woods are aware of that.

Please try to keep your people on your property -

Ally Allan
4455 Benzonia State Rd
T.C, Mi. 49684

231-941-0474

 Charter Township of Garfield Planning Department Report No. 2018-20		
Prepared:	January 31, 2018	Pages: Page 1 of 7
Meeting:	February 14, 2018-Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Ridge 45 (Phase 4) Major SUP Amendment-Public Hearing and FOF	
File No.	SUP-2015-01-C	Parcel Nos. 05-023-026-20 05-023-025-20
Applicant/Owner:	Midwest MFD, LLC, c/o Scott Knowlton	
Agent:	Mark A. Oppenhuizen, Oppenhuizen Architects	

PURPOSE OF APPLICATION:

This application requests a Major Amendment to Special Use Permit (SUP) approval granted in 2015 (*see* SUP-2015-01) to expand the Ridge 45 apartment project on La Franier Road. A Major Amendment is required to include additional land area in the SUP (*see* Section 423.G(6)(c)).

SUBJECT PROPERTY:

This Major Amendment affects two parcels immediately south of the approved third phase of Ridge 45 on La Franier Road, approximately one-quarter of a mile north of the intersection at Hammond Road. The proposed development area consists of approximately 7.9 acres on the western side of the site. The subject properties are each currently vacant.



STAFF COMMENT:

This Major Amendment continues the land use pattern of moving south into recently rezoned R-3 Multi-Family property. This is consistent with the Master Plan as it encourages density in the core urbanizing area of the Township. As noted above, this application is to begin the fourth phase of an apartment complex, named Ridge 45, consisting of four apartment buildings that contain 96 market-rate units in

Ridge 45 Phase 4 Major SUP Amendment

total. The first and second phases, approved in 2015, consist of nine apartment buildings that contain 232 units. Phase 3, approved in 2017, consists of three apartment buildings that contain 72 market-rate units. Therefore, with the addition of Phase 4, there will be a total of 400 apartment units. As noted above, the proposed development area consists of a 7.9-acre area on the western side of the site, east of the mobile home expansion and west of La Franier Road.

The project site is proximate to outside supporting services such as employment opportunities, retail and shopping, health services, and alternative means of transportation such as BATA and nearby non-motorized trails.

SITE DESIGN OVERVIEW:

The application proposes a nice variety of residential units to cater to various income levels and occupant needs. In keeping with the previous phases, the buildings are attractively designed and include construction materials such as cultured stone, vinyl trim and siding, and board and batten siding. Each unit also includes a deck or patio area.

This project provides various support services and amenities to encourage outdoor interaction and increased quality of life within the project. Some of these amenities include a kid's play area, walking trails through protected tree stands, a fire pit, a club house, pool and hot tub area, a dog park, and sidewalks within the site itself and along La Franier Road.

Parking is provided at a ratio of 2.12 spaces per unit, which is acceptable considering that the Zoning Ordinance requires 2 spaces per unit. The applicant has provided 98 additional indoor garage parking spaces that are connected to the buildings as an option to the residents. This unique design adds an element of convenience and security otherwise lacking with detached garages and carport designs.

The proposed lighting appears to be night sky compliant and within the acceptable range for brightness and color. The site will be illuminated with a series of gooseneck-style street lamps, covered building-mounted fixtures, and *pedestrian-scale bollard lighting*. Any minor details can be addressed as we move forward.

An overall landscaping plan was received in the submittal for Phases 1 and 2; however, a landscaping plan for Phase 4 in particular was requested by the Planning Department at the January 24th introduction of this application to the Planning Commission. The applicant agreed to provide one and it has been received. It indicates the required "Type C" buffers on the west, south, and east property lines and therefore complies with the Ordinance.

APPROVAL CRITERIA DISCUSSION:

To aid in the discussion, the following approval criteria are offered for consideration:

Section 423.E Approval Criteria for a Special Use Permit

In its review of an application for a Major Amendment to a Special Use Permit, the Township should consider, but is not necessarily limited to, the criteria as defined in § 423.E(1) through § 423.E(11). No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the Major Amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

Ridge 45 Phase 4 Major SUP Amendment

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

The Planning Commission may find this standard to be met for the following reasons:

- With a proposed density of less than 10 units per acre, the application meets the intent of medium-density residential designation (7-14 units per acre). The proposed development is generally compatible with existing medium-density residential developments in its vicinity.
- The Future Land Use Map (FLUM) targets this area for higher-density residential uses with additional uses that may be permitted by way of a Planned Development.
- The underlying zoning district is R-3 Multi-Family, which allows for development of multi-family dwellings as a use permitted by a Special Use Permit.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The Planning Commission may find this standard to be met for the following reasons:

- The adjacent uses are compatible with the proposed use with medium-density residential to the northwest, north, and northeast.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The Planning Commission may find this standard to be met for the following reasons:

- The project will be a continuation of the approved multi-family project which has been designed in a manner to limit any adverse affects on neighboring properties.
- A service road provides access along the LaFranier roadway without requiring multiple curb cuts.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The Planning Commission may find this standard to be met for the following reasons:

- Landscape buffers will be used to minimize adverse impacts on neighboring properties. Structures with more intensive uses are centrally located and buffered by structures with less intensive uses. Regarding parking, as noted above, there are 2.12 spaces provided per dwelling unit, which exceeds the required 2 spaces in the Ordinance.
- The buildings are located in a manner to minimize any issues with neighboring properties including parking, lighting, and vehicular circulation.

Ridge 45 Phase 4 Major SUP Amendment

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may find this standard to be met for the following reasons:

- The development will retain existing wooded areas to the extent possible, especially in the setback areas, which will provide a visual buffer between this development and the adjacent development to the west.
- There are no significant hillsides, watercourses, or wetlands on the site.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The Planning Commission may find this standard to be met for the following reasons:

- Municipal water and sewer were extended to the overall site during the first two phases of development and, like Phase 3, Phase 4 will use these connections. Water main within the development will be constructed to service each building with a domestic service and feed for the fire suppression systems.
- The installation of all required site improvements including roadways, sidewalks, bike paths and access drives will be the responsibility of the property owner.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The Planning Commission may find this standard to be met for the following reasons:

- The property has been designed to incorporate several quality of life features for future residents by providing a large amount of open space, parks, sidewalks, trails, and bike paths. The project has been designed in a manner that emphasizes recreation, safety, and health.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The Planning Commission may find this standard to be met for the following reasons:

- The project does not propose unreasonable density, and has been designed to minimize impacts on neighboring high density properties, practices access management, and incorporates good planning design.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The Planning Commission may find this standard to be met for the following reasons:

Ridge 45 Phase 4 Major SUP Amendment

- The apartment complex will be served by two entrances along La Franier Road, providing easy ingress and egress. Because the applicant has been working closely with the Road Commission, a traffic impact study was not required; however, traffic congestion along La Franier Road is unlikely to increase significantly in light of the addition of a left-hand turning lane in 2015.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The Planning Commission may find this standard to be met for the following reasons:

- The site contains a relatively extensive sidewalk network, which discourages walking on the interior roads and parking lots, and makes the preserved open space accessible. In addition, the design of interior roads allows for a smooth flow of traffic, with the boulevard serving the more populous sections of the complex. The interior sidewalks connect with the sidewalk along La Franier Road at four points.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The Planning Commission may find this standard to be met for the following reasons:

- The use is an expansion of an existing development and will not impede the development and improvement of surrounding properties, particularly since a large part of the surrounding property is also medium-density residential. In fact, development of this density has the potential to bring about further development in the area, which is envisioned in the Master Plan.

ACTION REQUESTED:

The purpose of this meeting is to hold a public hearing on the application. As such, following an opportunity for public input and commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2015-01-C, as presented in Planning Department Report 2018-20, BE ADOPTED. (Motion to be made only following review and modification as necessary.)

The following motion is recommended to approve the project, subject to the conditions as noted, and subject to conditions which are routinely added to all approvals:

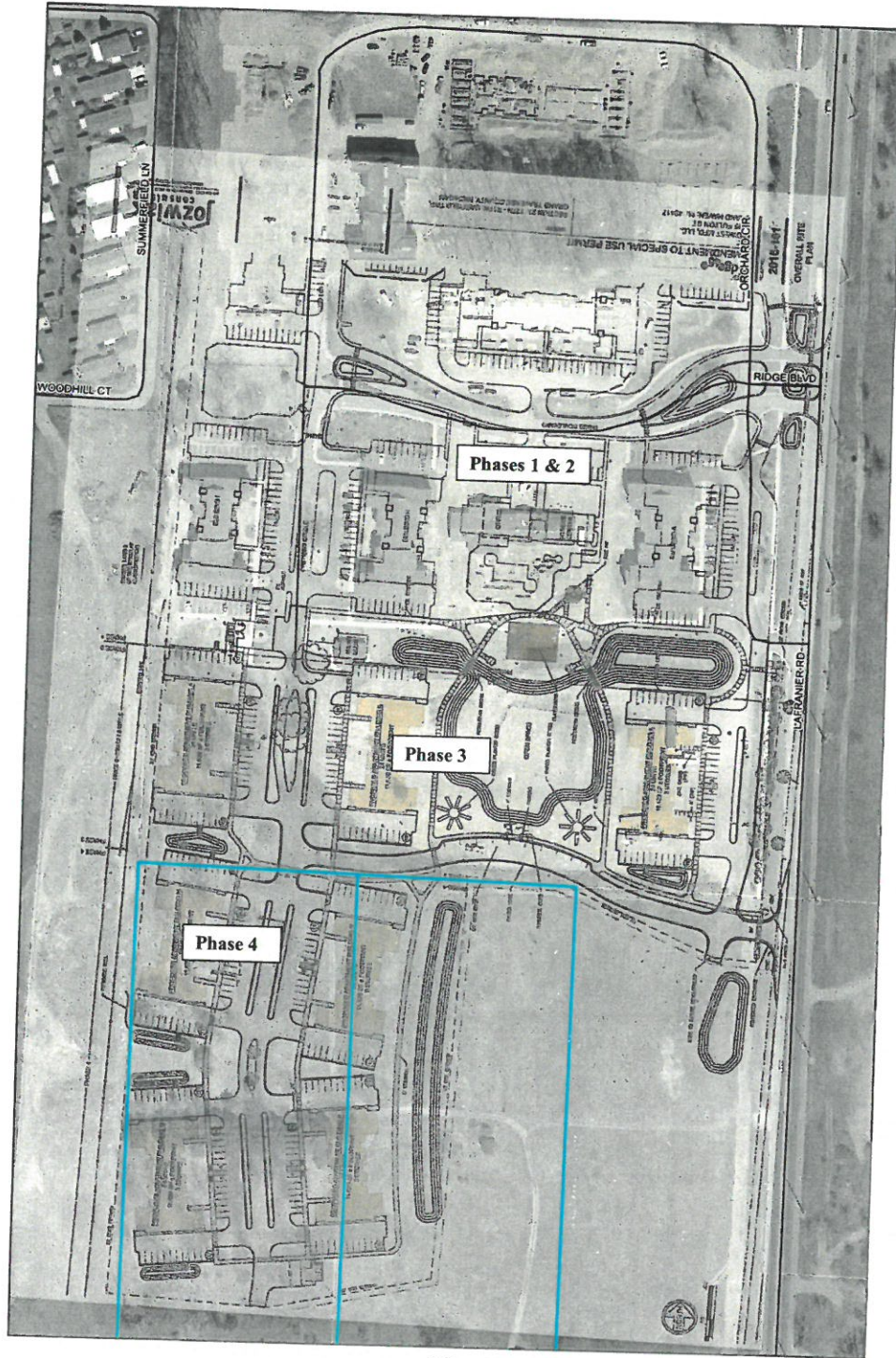
MOTION THAT Application SUP-2015-01-C to request a Major Amendment to SUP-2015-01 BE APPROVED, subject to the following conditions:

1. Final engineering review and approval by the Township Engineer including all infrastructure, stormwater, and FAA, if necessary.
2. All final reviews from agencies with jurisdiction shall be provided prior to any land use permits being issued.
3. The applicant shall work with Staff to identify an appropriate means to provide future cross-access between the subject property and the future development sites to

the south, as well as to ensure public access to the pedestrian pathway to be constructed along La Franier Road.

4. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
5. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within ninety (90) days of final approval by the Township or approval shall be considered to have expired.

Any additional information that the Planning Commission determines to be necessary should be added to this motion. If the Planning Commission is not satisfied with the level of information provided to date, the above motion would be premature and should not be adopted.



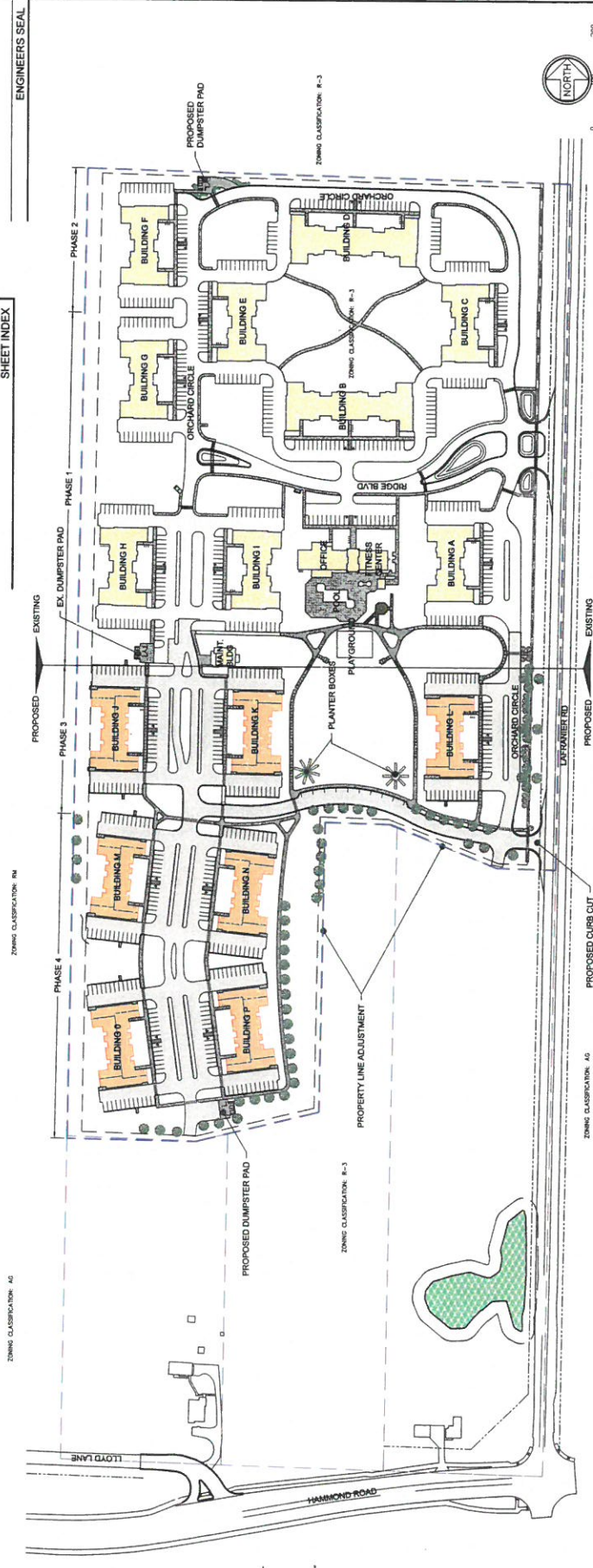
CONSTRUCTION PLANS FOR ridge45

(PHASES 3 and 4)

SHEET

SHEET TITLE
C100 GENERAL PLAN INFORMATION
C101 ZONING COMPLIANCE
C102 EX. CONDITIONS AND DEMOLITION PLAN
C103 SITE PLAN
C104 GRADING PLAN
C105 NORTH DUMPSTER SITE PLAN AND PROJECT DETAILS
EC1.1 LIGHTING PLAN
EC1.2 PHOTOMETRIC SITE PLAN
RD 7A 1st FLOOR PLAN
RD 7A 2nd FLOOR PLAN
AZ.0 ELEVATION VIEWS
AZ.1 SECTION VIEWS
RD 7B 1st FLOOR PLAN
RD 7B 2nd FLOOR PLAN
AZ.0 ELEVATION VIEWS
AZ.1 SECTION VIEWS
RD 7C 1st FLOOR PLAN
RD 7C 2nd FLOOR PLAN
AZ.0 ELEVATION VIEWS
AZ.1 SECTION VIEWS

SHEET INDEX



ENGINEER'S SEAL

PROJECT LOCATION MAP

PROPERTY OWNER/SITE DATA

Midwest MFG, LLC
1435 Fulton St.
Grand Haven, MI 49417

SITE
Lot/Parcel #: 05-033-023-50
Parcel #: 05-033-023-50
Zoning: R-1M

SITE DATA

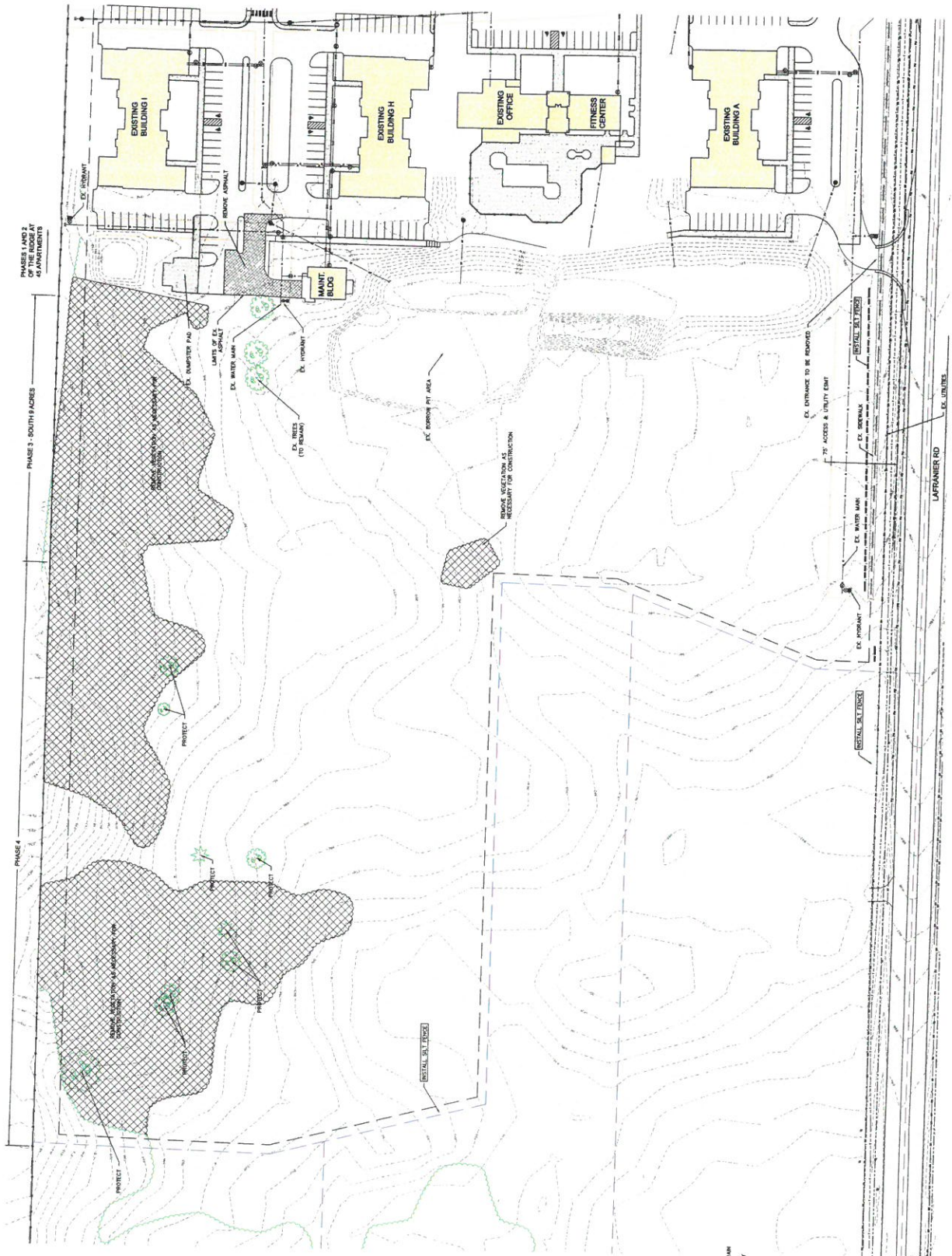


13400 Grand Haven Rd. Grand Haven, MI 49417
313.486.1340 | www.jozwiakconsulting.com

PROJECT: 2016-161
GENERAL PLAN INFORMATION
AMENDMENT TO SPECIAL USE PERMIT
Ridge45
MIDWEST MFG, LLC
1435 FULTON ST.
GRAND HAVEN, MI 49417
SECTION 23, T27N - R11W, GARFIELD TWP.
GRAND TRAVERSE COUNTY, MICHIGAN

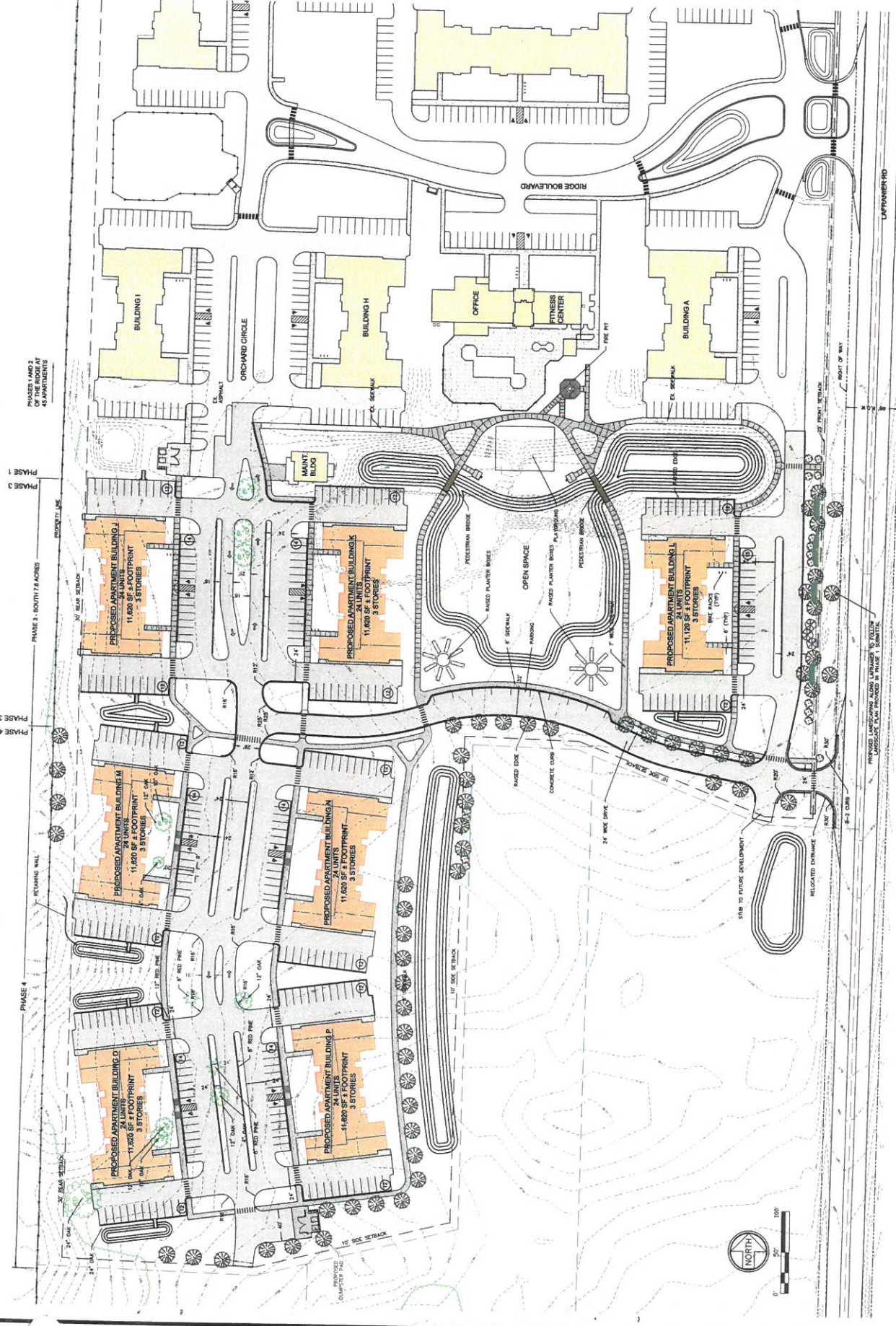
C100
OVERALL DEVELOPMENT MAP





LEGEND
 - - - - - EXISTING STORM
 - - - - - EXISTING WATER MAIN
 - - - - - EXISTING SEWER
 - - - - - EXISTING GAS
 - - - - - EXISTING ELECTRIC
 - - - - - EXISTING PROPERTY BOUNDARY
 - - - - - EXISTING ASPHALT DRIVE
 - - - - - EXISTING DRIVE





DATE: 03-17-17
 DRAWN BY: J. B. BROWN
 CHECKED BY: M. J. BROWN
 PROJECT: 2016-161

PHASE 1
 PHASE 2
 PHASE 3
 PHASE 4

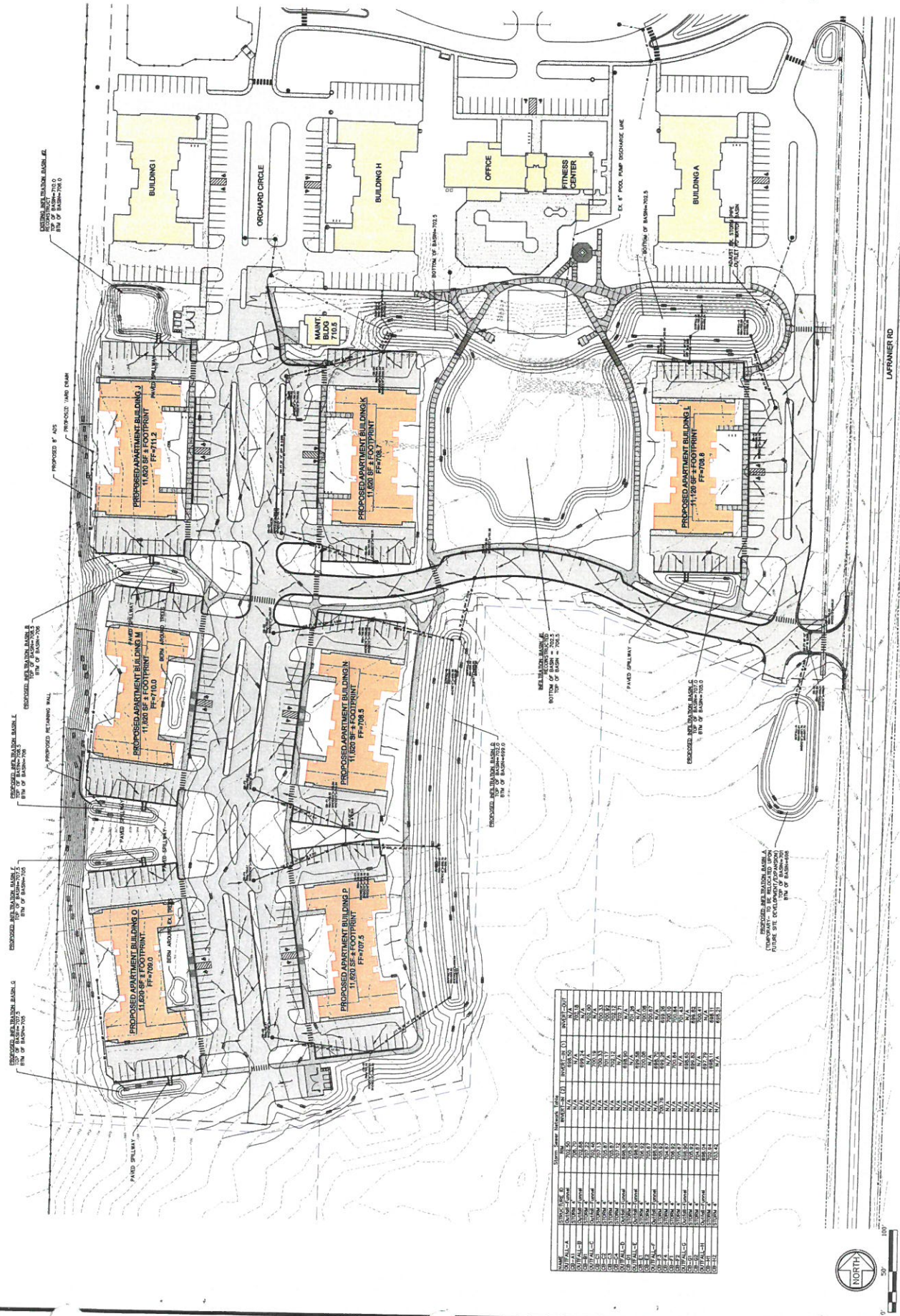
DATE: 12/11/17
 PROJECT: 2016-161
 CLIENT: MIDWEST MFD, LLC
 ADDRESS: 1435 FULTON ST. GRAND HAVEN, MI 49417
 SECTION: 23, 172N - R11W, GARFIELD TWP, GRAND TRAVERSE COUNTY, MICHIGAN

AMENDMENT TO SPECIAL USE PERMIT

ridgely
 PROJECT: 2016-161
 CLIENT: MIDWEST MFD, LLC
 ADDRESS: 1435 FULTON ST. GRAND HAVEN, MI 49417

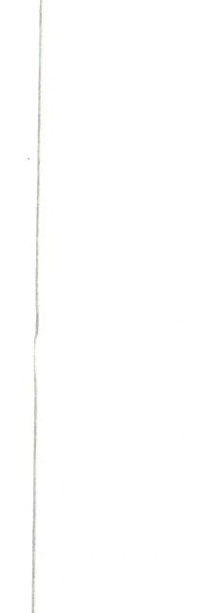
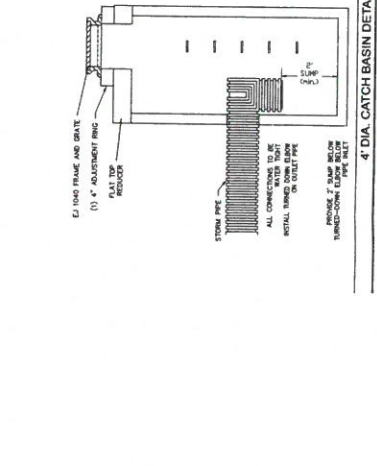
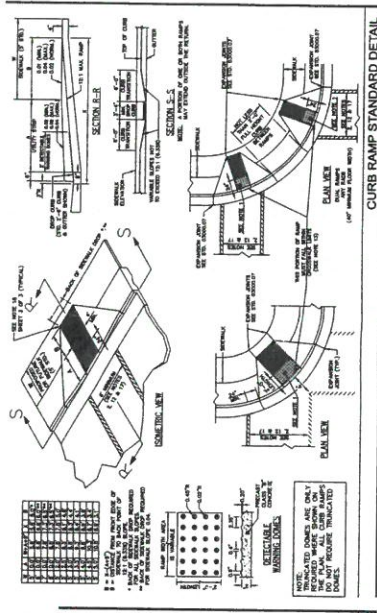
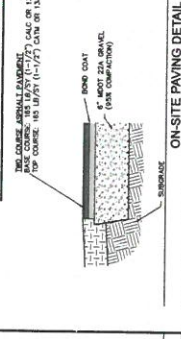
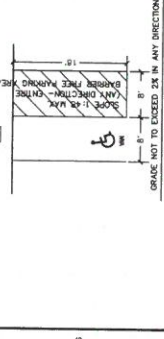
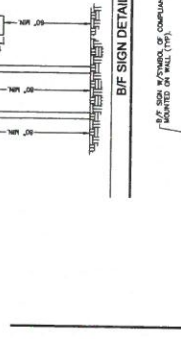
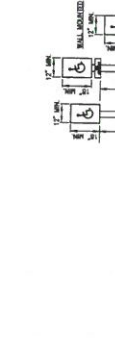
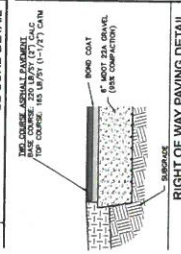
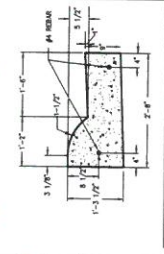
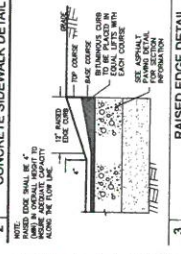
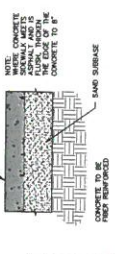
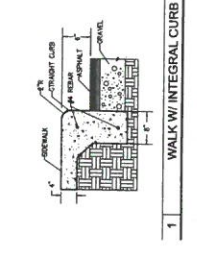
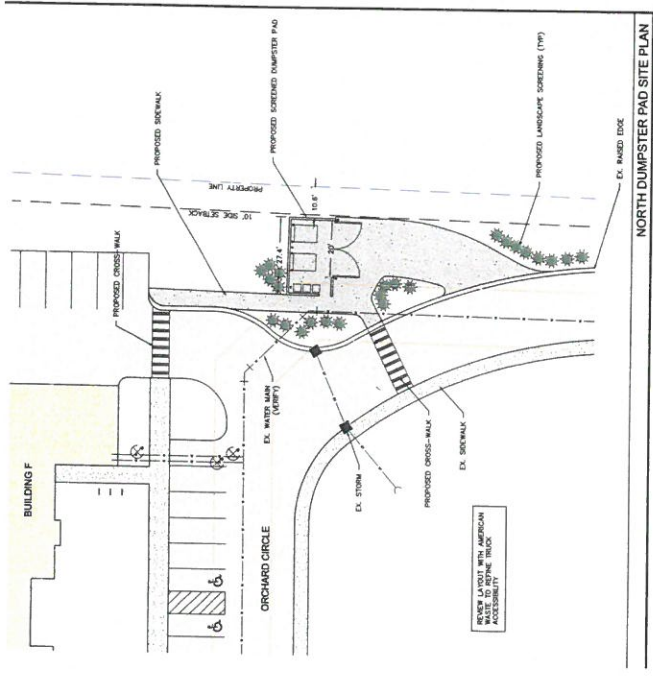
OVERALL GRADING PLAN

C104

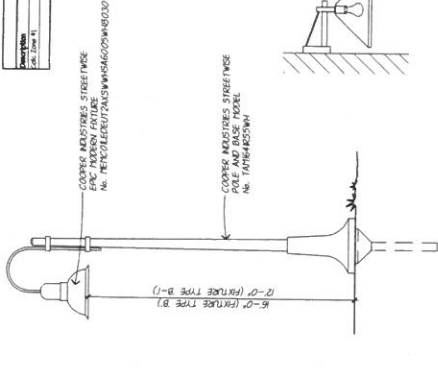


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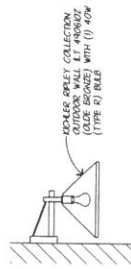




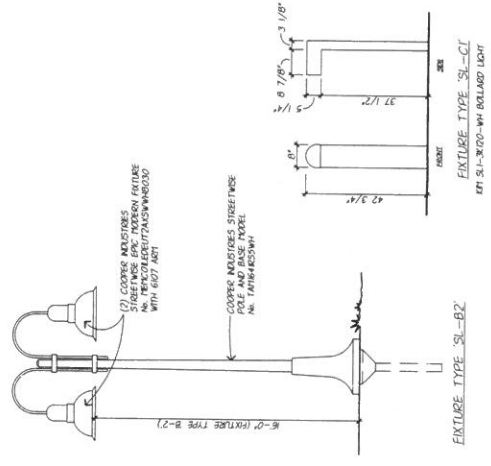
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FIXTURE TYPE SL-B1

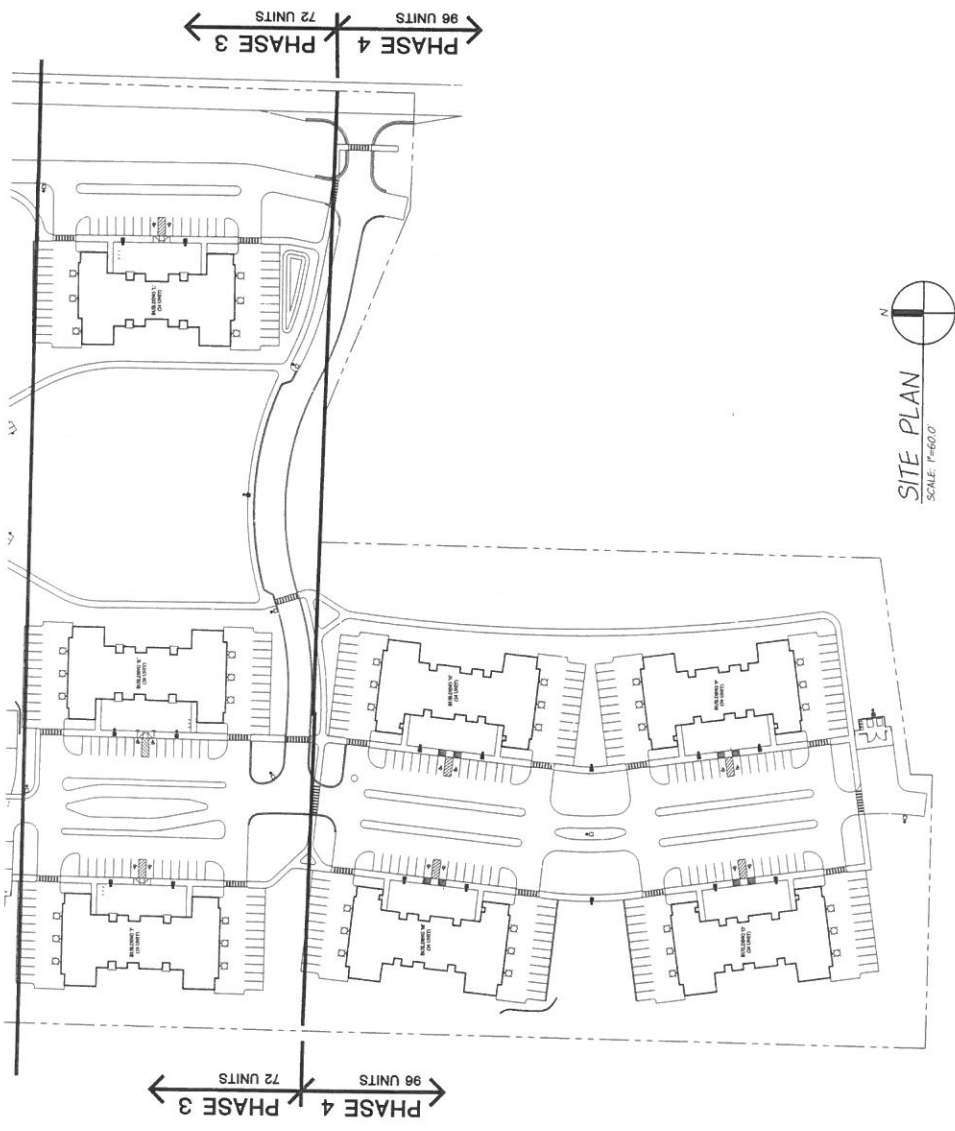


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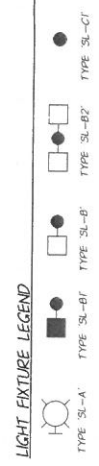
FIXTURE TYPE SL-C1

LIGHT FIXTURE DETAILS

NO SCALE



SITE PLAN
SCALE: 1"=60'-0"



LIGHT FIXTURE LEGEND

TYPE SL-A
TYPE SL-B1
TYPE SL-B2
TYPE SL-B
TYPE SL-C1

ridge45

WESTWARD
CONSTRUCTION
CORPORATION

3546
2-1-17

commission

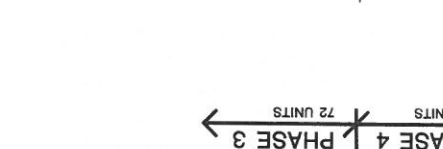
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Oppenhuizen Architects

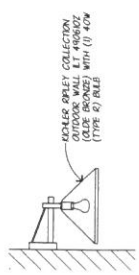
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NO. OF PHASES	4
NO. OF LOTS	1
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NO. OF SECTIONS	1
NO. OF SUBDIVISIONS	1
NO. OF LOTS	100
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NO. OF TRACTS	1
NO. OF BLOCKS	1
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EPC MODERN FIXTURE
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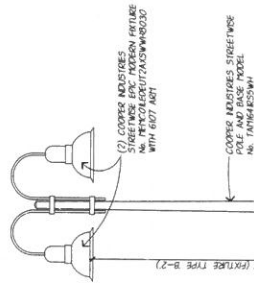
COOPER INDUSTRIES STREETWIRE
POLE AND BASE MODEL
NO. TAT#R#S25W#



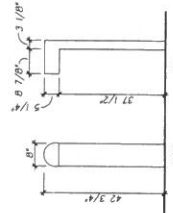
FIXTURE TYPE SL-A



FIXTURE TYPE SL-B-1 AND SL-B-2

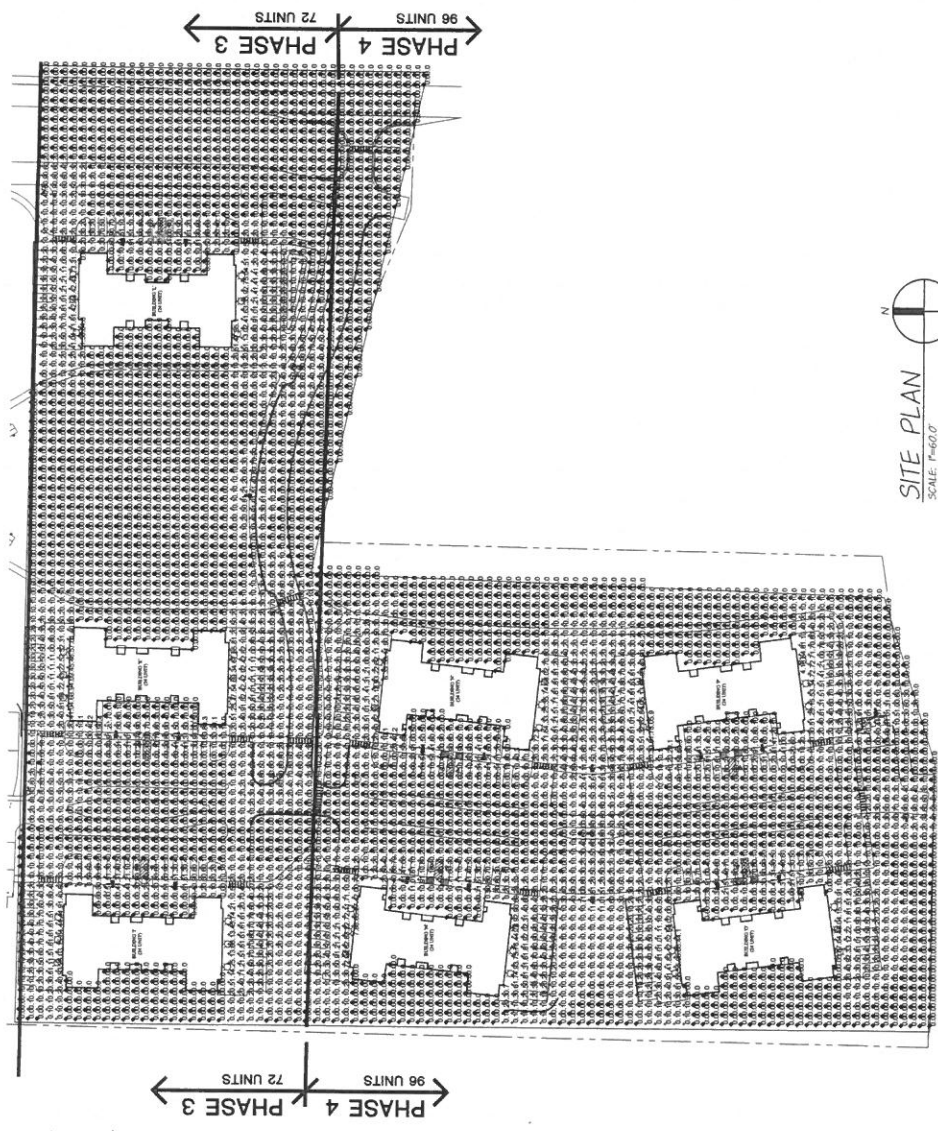


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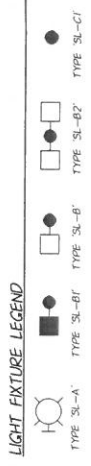


FIXTURE TYPE SL-B2

LIGHT FIXTURE DETAILS
NO SCALE



SITE PLAN
SCALE: 1"=40.0'



ridge45 - 24 Unit (Building 'M')

WESTWARD
CONSTRUCTION
CORPORATION
1000 15th Street, N.W.
Atlanta, GA 30335
Tel: 404.525.1100
Fax: 404.525.1101

Set, Plan Approval Date
8-10-07

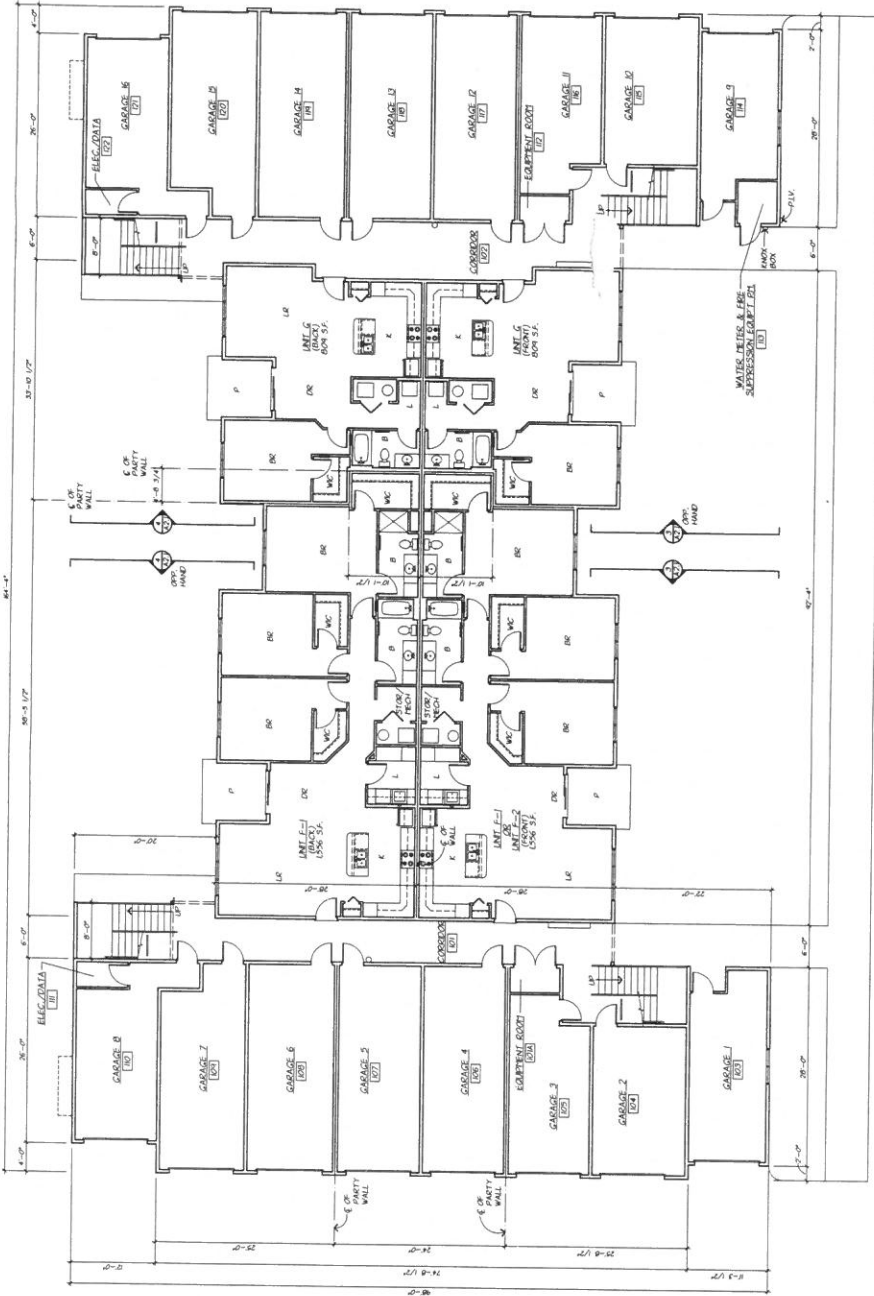
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1111 Peachtree
Street, N.W.
Atlanta, GA 30309
Tel: 404.525.1100
Fax: 404.525.1101

Oppenhuizen Architects
1111 Peachtree Street, N.W.
Atlanta, GA 30309
Tel: 404.525.1100
Fax: 404.525.1101



OVERALL BUILDING - FIRST FLOOR PLAN (BUILDING 'M')
SCALE: 1/8"=1'-0"

ridge45 - 24 Unit (Building 'M')

WESTWARD
CONSTRUCTION
1000 10th St. N
Edmonton, Alberta T6A 1P1
Tel: 780-443-1111

The Plan Approved
2-15-17

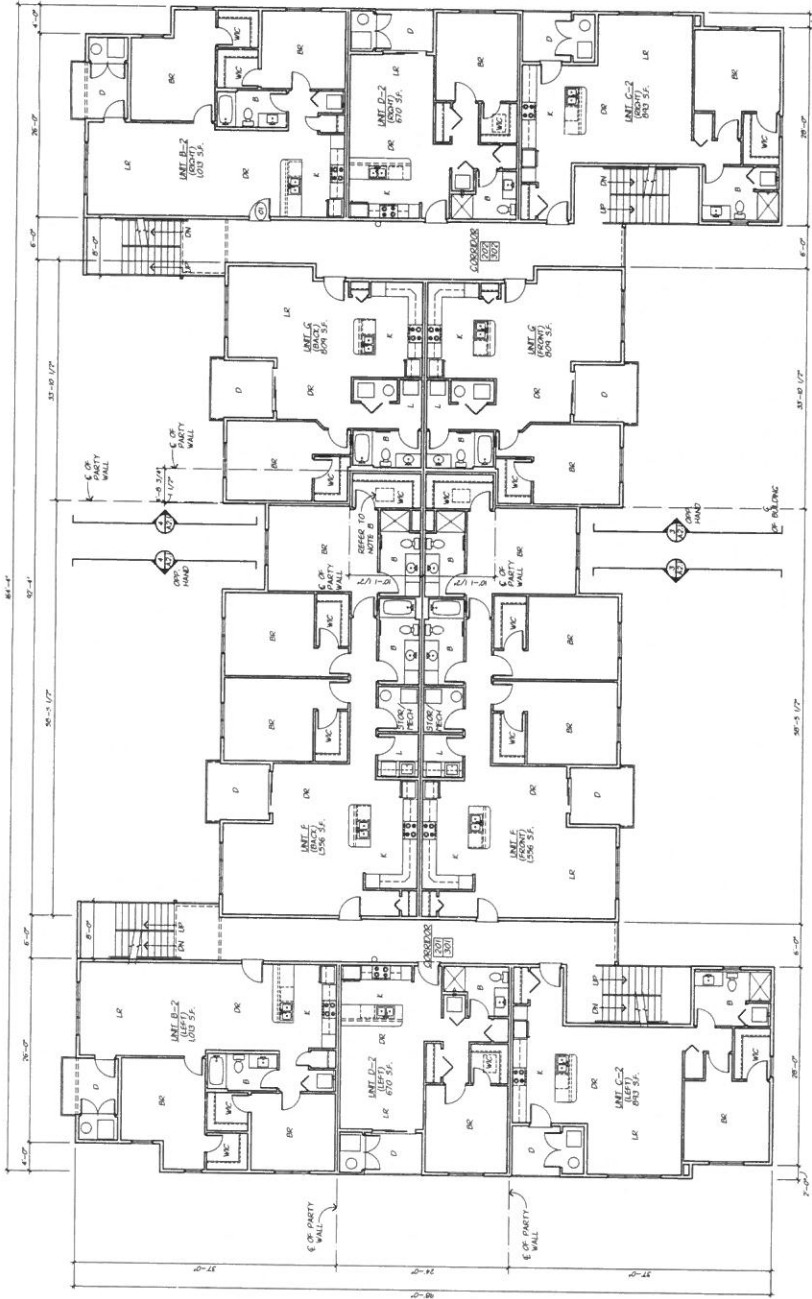
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shall remain the property of
WESTWARD CONSTRUCTION.

1000 10th St. N
Edmonton, Alberta T6A 1P1
Tel: 780-443-1111

Oppenhuizen Architects
1000 10th St. N
Edmonton, Alberta T6A 1P1
Tel: 780-443-1111



OVERALL BUILDING - SECOND & THIRD FLOOR PLAN (BUILDING 'M')

SCALE 1/8"=1'-0"

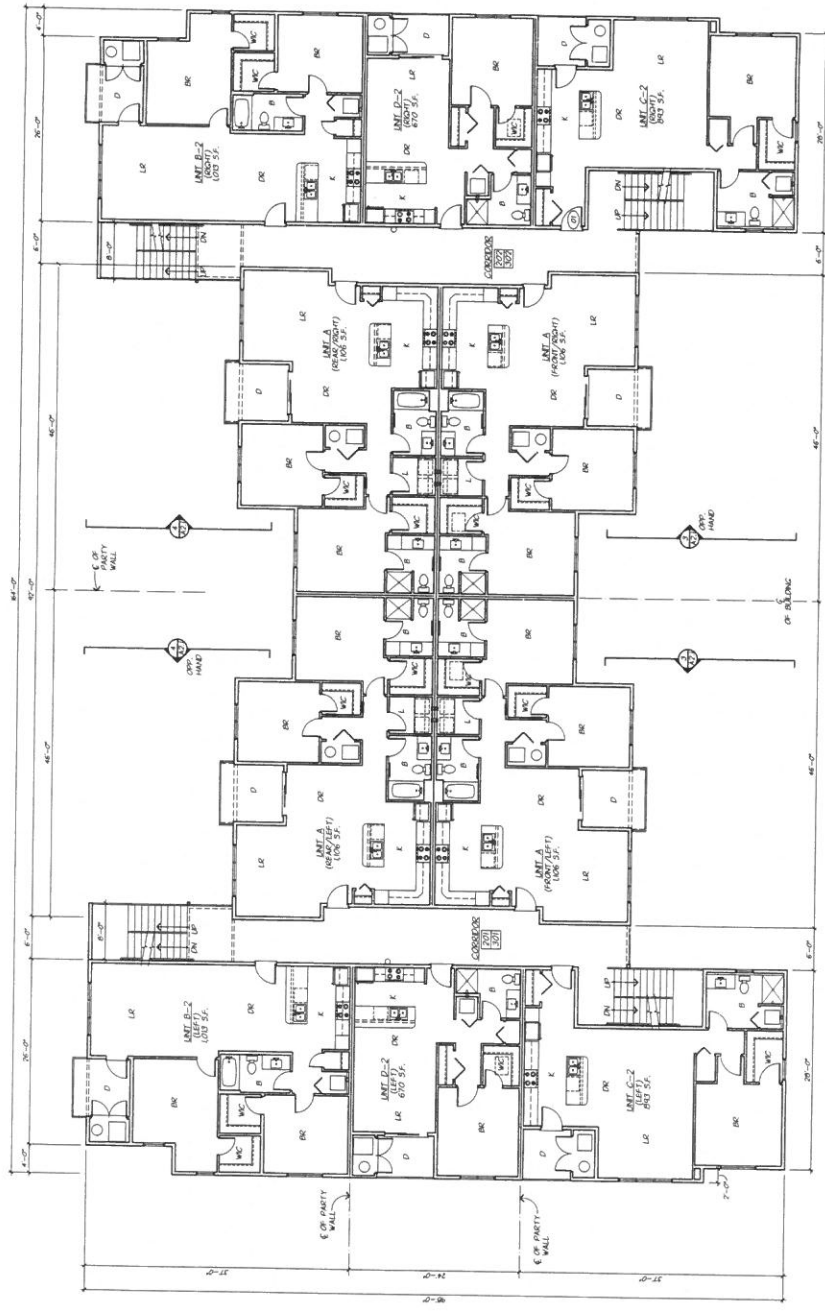
Ridge45 - 24 Unit (Building 'N' & 'O')



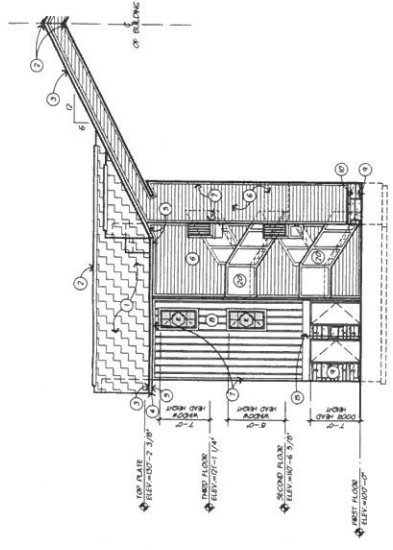
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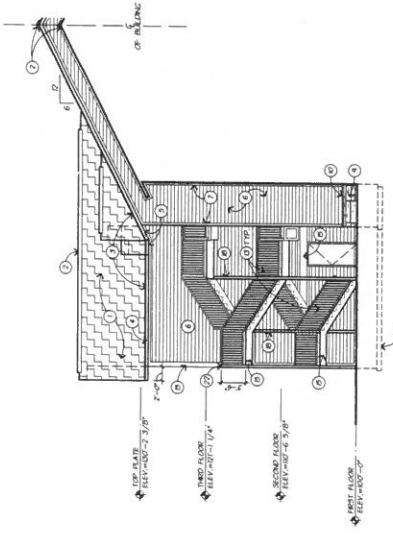
Oppenhuizen Architects
 1000 University Ave
 Suite 100
 Toronto, ON M5G 1R8
 Tel: 416-923-1111
 Fax: 416-923-1112
 www.oppenhuizen.com



OVERALL BUILDING - SECOND AND THIRD FLOOR PLAN (BUILDING 'N' & 'O')
 SCALE: 1/8"=1'-0"



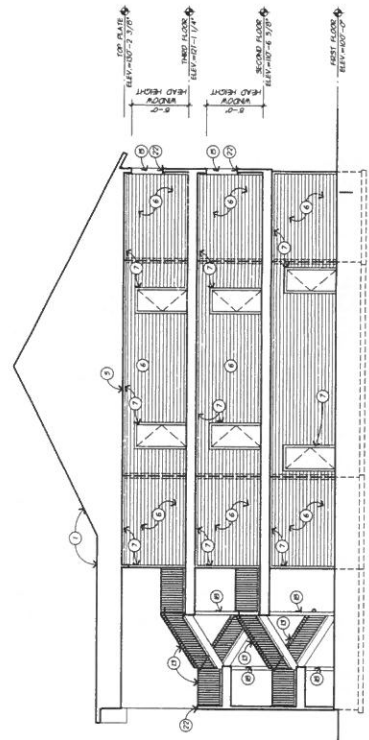
3 PARTIAL ELEVATION 'B'
SCALE: 1/8"=1'-0"



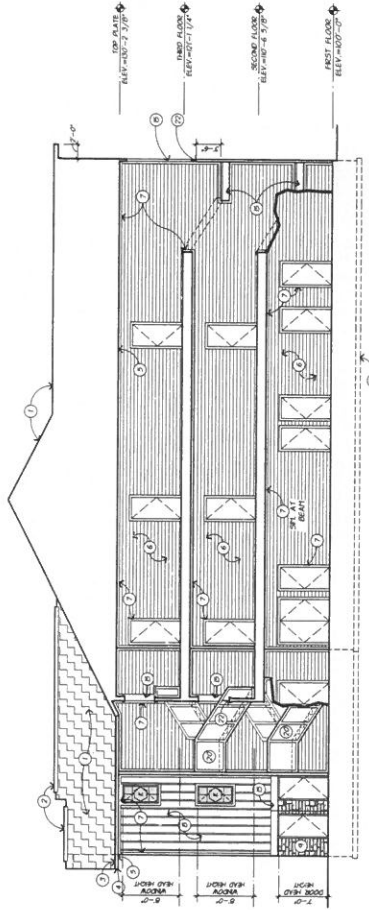
4 PARTIAL ELEVATION 'A'
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

- 1 ASPHALT SHINGLES
- 2 REDS WENT
- 3 PRE-FINISHED METAL ROOF EDGE
- 4 ALUMINUM FLASHING, COLOR SELECTION BY ARCHITECT
- 5 WOOD, FINISHED (FOR WHITING) ALUMINUM SMOOTH
- 6 4" EUROPEAN PINE, CARVED WOOD 44, BEVELED UNTIL SINKING COLOR
- 7 SELECTION BY ARCHITECT FOR INTERIOR COLOR PALETTE
- 8 4" LOCAL WOOD, 100%
- 9 4" WOOD, FINISHED (FOR WHITING) SINKING COLOR SELECTION BY ARCHITECT FOR INTERIOR COLOR PALETTE
- 10 VERDETTA STONE, LEICESTERSTONE COLOR - STEELING
- 11 VERDETTA STONE, ONCELED WASSCOAT SILL COLOR - FAUPE
- 12 SQUARE POT FOR THE ROOF WENT
- 13 SEAMLESS VINYL COATED AND DOWNROVE WITH INSULATION BLOCK AT ARCHITECT'S APPROVAL OF DOWNROVE/STAIN AND LOCATIONS
- 14 POWDER COATED ALUMINUM RAINING SYSTEM
- 15 3/4" x 3/4" PRESSURE TREATED WOOD DECKING
- 16 4" CEILING RESTORATION 100%
- 17 4" CEILING RESTORATION 100%
- 18 4" CEILING RESTORATION 100%
- 19 4" CEILING RESTORATION 100%
- 20 4" CEILING RESTORATION 100%
- 21 4" CEILING RESTORATION 100%
- 22 4" CEILING RESTORATION 100%
- 23 4" CEILING RESTORATION 100%
- 24 4" CEILING RESTORATION 100%
- 25 4" CEILING RESTORATION 100%
- 26 4" CEILING RESTORATION 100%
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- 95 4" CEILING RESTORATION 100%
- 96 4" CEILING RESTORATION 100%
- 97 4" CEILING RESTORATION 100%
- 98 4" CEILING RESTORATION 100%
- 99 4" CEILING RESTORATION 100%
- 100 4" CEILING RESTORATION 100%



1 ELEVATION 'D' - CORRIDOR ELEVATION
SCALE: 1/8"=1'-0"



2 ELEVATION 'C' - CORRIDOR ELEVATION
SCALE: 1/8"=1'-0"

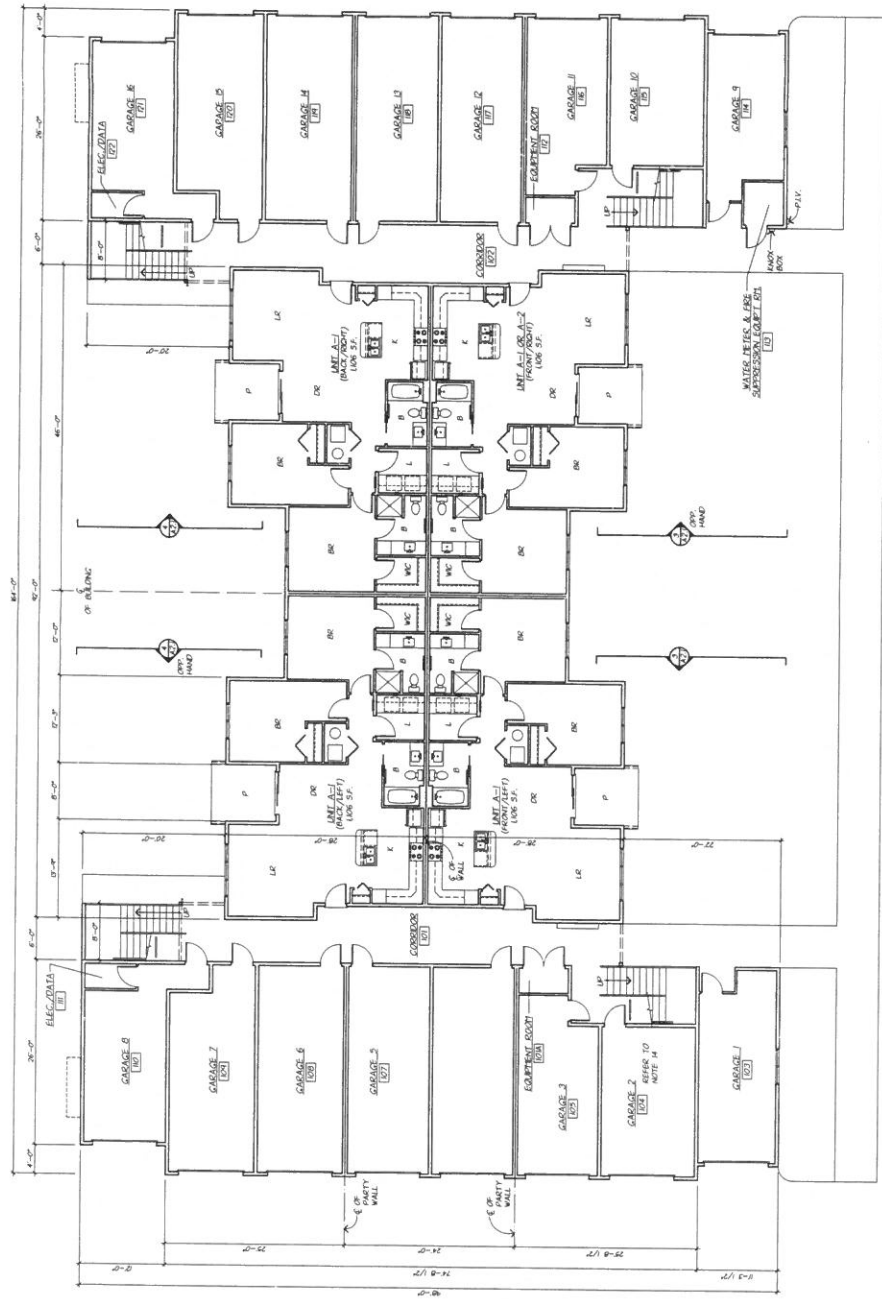
ridge45 - 24 Unit (Building 'N' & 'O')

WESTWARD CONSTRUCTION
 1000 10th Street, NW
 Atlanta, GA 30309
 Tel: 404.525.1100
 Fax: 404.525.1101

3514NO.24 COMMERCIAL
 11-17-17
 11-17-17

A1.0 sheet

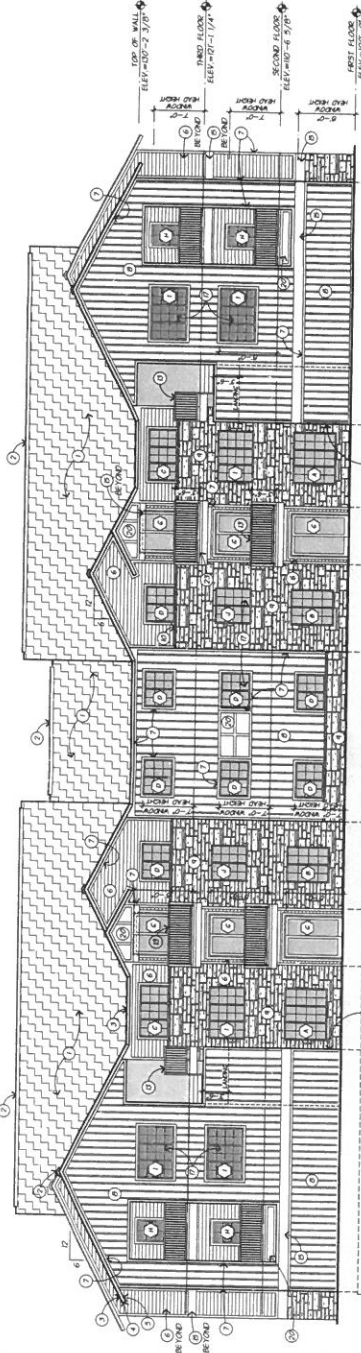
Oppenhuizen/Architects
 1115 Peachtree St. NE
 Atlanta, GA 30309
 Tel: 404.525.1100
 Fax: 404.525.1101
 www.oppenhuizen.com



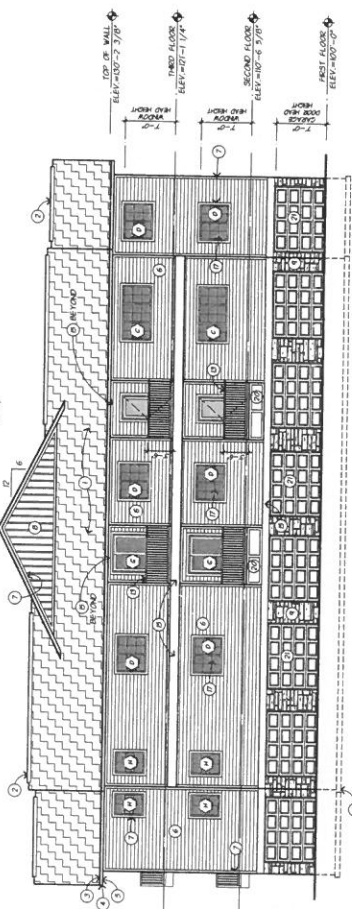
OVERALL BUILDING - FIRST FLOOR PLAN (BUILDING 'N' & 'O')
 SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

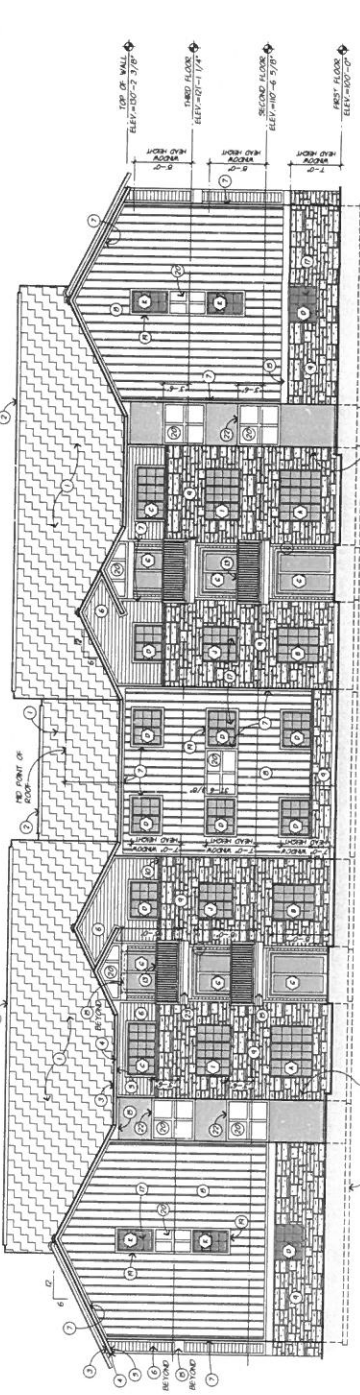
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- 19) 40MMX120MM SQUARES
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- 21) 40MMX120MM SQUARES
- 22) 40MMX120MM SQUARES
- 23) 40MMX120MM SQUARES
- 24) 40MMX120MM SQUARES



REAR ELEVATION - (BUILDING 'N' & 'O')
SCALE: 1/8"=1'-0"



SIDE ELEVATION - (BUILDING 'N' & 'O')
SCALE: 1/8"=1'-0"



FRONT ELEVATION - (BUILDING 'N' & 'O')
SCALE: 1/8"=1'-0"

WESTWARD CONSTRUCTION
 1200 W. 10TH AVENUE
 DENVER, CO 80202
 Tel: 303.733.7777
 Fax: 303.733.7777
 3514NO.24
 Commission
 A2.0
 SHEET

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Oppenhuizen Architects
 1000 14TH AVENUE
 DENVER, CO 80202
 Tel: 303.733.7777
 Fax: 303.733.7777
 www.oppenhuizen.com
 AIA # 67,000,000
 AIA # 67,000,000

Ridge 45 - 24 Unit (Building 'P')

WESTWIND CONSTRUCTION
 10000 14th Street, NW
 Seattle, WA 98147

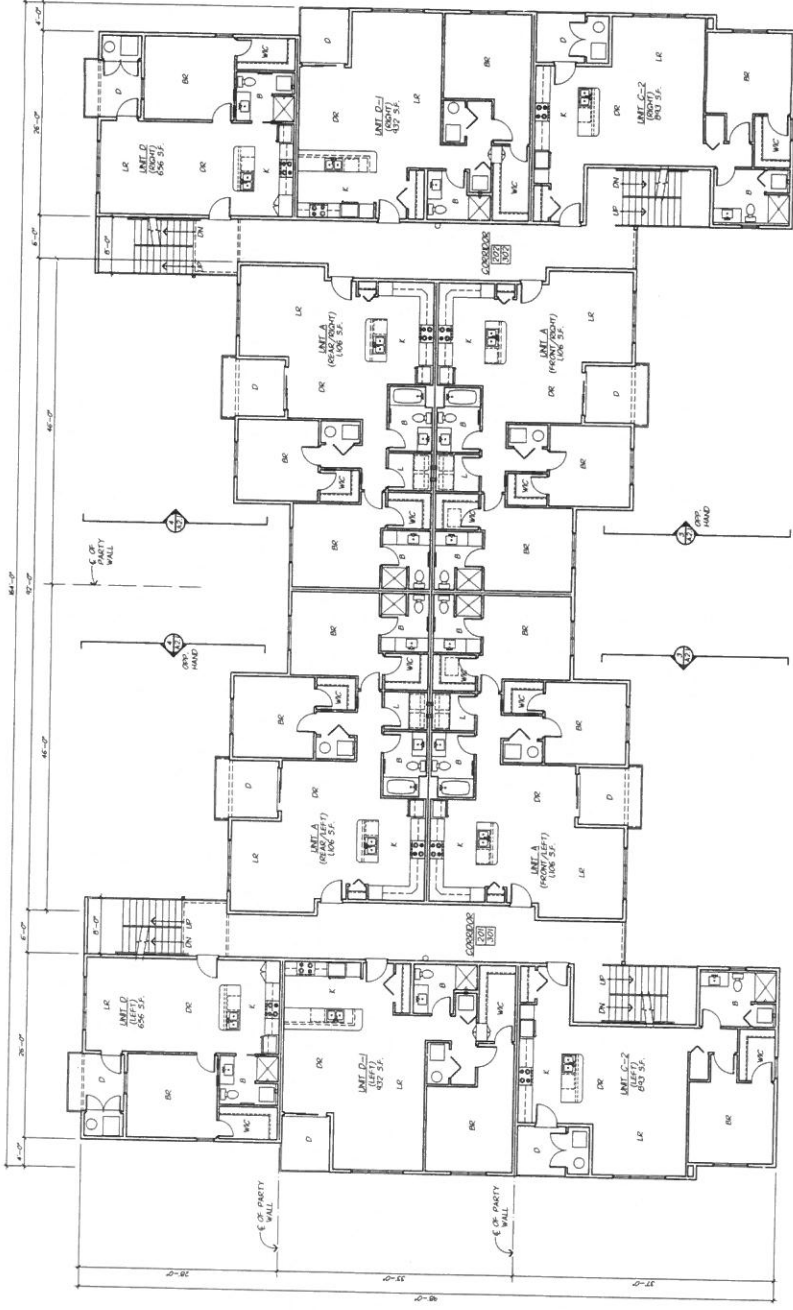
Per City Approved Date
 2-10-27 GJC

3514P.24
 COMMERCIAL

A.I.I.

Sheet
 Drawing for the City of Seattle
 10000 14th Street, NW
 Seattle, WA 98147

1317 1st Avenue, N
 Chicago, IL 60610
 A.I.I. Architects
 1000 1st Avenue, N
 Chicago, IL 60610
 Oppenhuizen Architects
 1000 1st Avenue, N
 Chicago, IL 60610



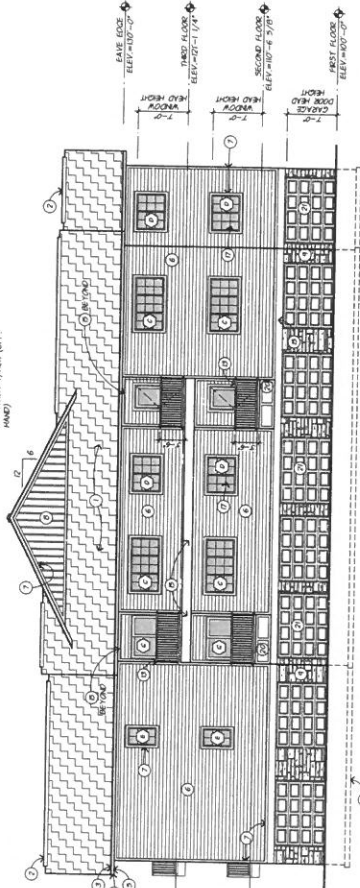
OVERALL BUILDING -- SECOND AND THIRD FLOOR PLAN (BUILDING 'P')
 SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

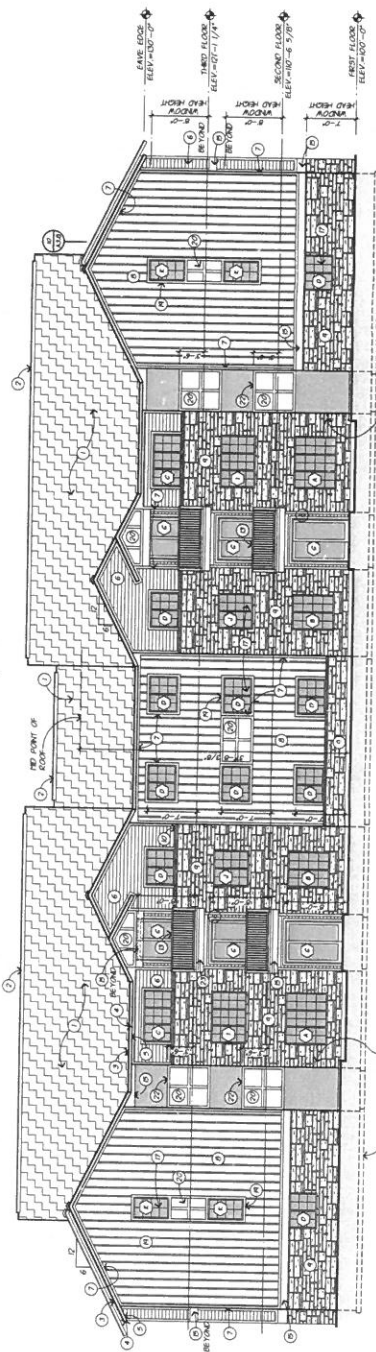
- 1) CORNET BRICKS
- 2) BRICK
- 3) PRE-FINISH METAL ROOF EDGE
- 4) ALUMINUM FASCIA, COLOR SELECTION BY ARCHITECT
- 5) BRIMS FINISHED (FOR FINISH) ALUMINUM SHIPP
- 6) BRIMS FINISHED (FOR FINISH) ALUMINUM SHIPP
- 7) SELECTION BY ARCHITECT FROM MATERIAL COLOR PALETTE
- 8) 4" LAMAL VINYL Siding
- 9) PASTIC GUEST BOARD - BATTEN VINYL Siding, COLOR SELECTION BY ARCHITECT FROM MATERIAL COLOR PALETTE
- 10) VERDEITA STONE, LINGSTONE COLOR - STERLING
- 11) VERDEITA STONE, CHELSEA WINGCOAT SILL COLOR - TAUPE
- 12) SIKANSI PINE TYPE 1000 - 1000
- 13) 2" x 4" - 1000 - 1000
- 14) 2" x 4" - 1000 - 1000
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REAR ELEVATION - (BUILDING 'P')
SCALE: 1/8"=1'-0"



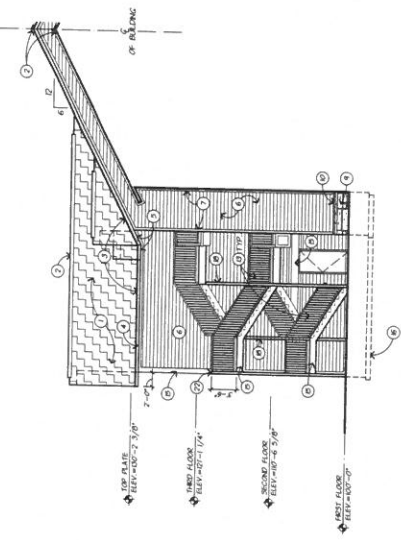
SIDE ELEVATION - (BUILDING 'P')
SCALE: 1/8"=1'-0"



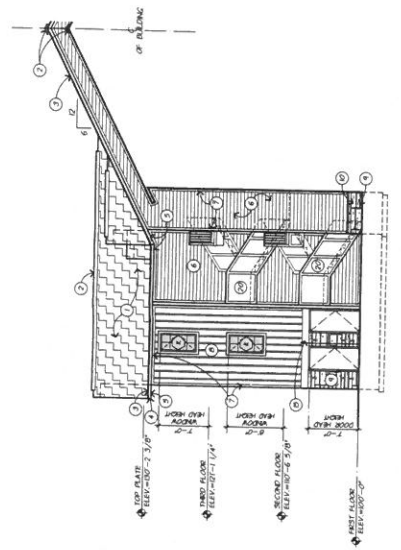
FRONT ELEVATION - (BUILDING 'P')
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL KEY:

- 1 ASPHALT SHINGLES
- 2 ROOF VENT
- 3 PRE-FINISHED METAL ROOF FASCIA
- 4 ALUMINUM FASCIA, COLOR SELECTION BY ARCHITECT
- 5 BRICK, PROGRAMMED (FOR FINISH) ALUMINUM SHEATH
- 6 4" EXPOSURE PASTIC CARVED WOOD 14, REVELED WHITE STONE, COLOR SELECTION BY ARCHITECT FROM INSTANT COLOR PALETTE
- 7 4" BRICK, INSTANT
- 8 4" BRICK, INSTANT, WHITE STONE, COLOR SELECTION BY ARCHITECT FROM INSTANT COLOR PALETTE
- 9 VERDETTA STONE, LEDGESTONE, COLOR - STEELBARK
- 10 VERDETTA STONE, ONSELED MANOCCINI SKL, COLOR - FAUPE
- 11 SQUARE PINE TYPE ROOF VENT
- 12 2" X 4" BRICK, INSTANT, WHITE STONE, COLOR SELECTION BY ARCHITECT FROM INSTANT COLOR PALETTE
- 13 4" OVER 2" CERTAINTED RESTORATION TPT
- 14 POWDER COATED ALUMINUM FINISHING SYSTEM
- 15 3/4" X 6" INSULATED TREATED WOOD FINISH
- 16 2" CERTAINTED RESTORATION TPT
- 17 FOUNDATION, 26" FOUNDATION PLAN
- 18 4" OVER 2" CERTAINTED RESTORATION TPT
- 19 4" OVER 2" CERTAINTED RESTORATION TPT
- 20 4" OVER 2" CERTAINTED RESTORATION TPT
- 21 4" OVER 2" CERTAINTED RESTORATION TPT
- 22 4" OVER 2" CERTAINTED RESTORATION TPT
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- 100 4" OVER 2" CERTAINTED RESTORATION TPT



4 PARTIAL ELEVATION 'A'
SCALE: 1/8"=1'-0"



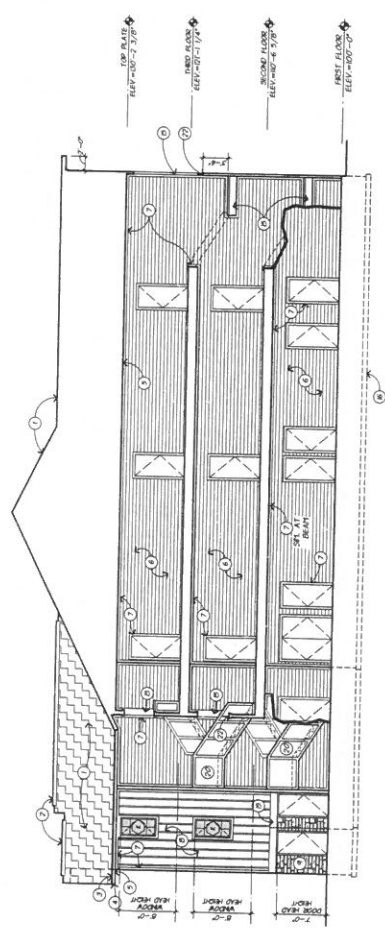
3 PARTIAL ELEVATION 'B'
SCALE: 1/8"=1'-0"

Ridge45 - 24 Unit (Building 'P')

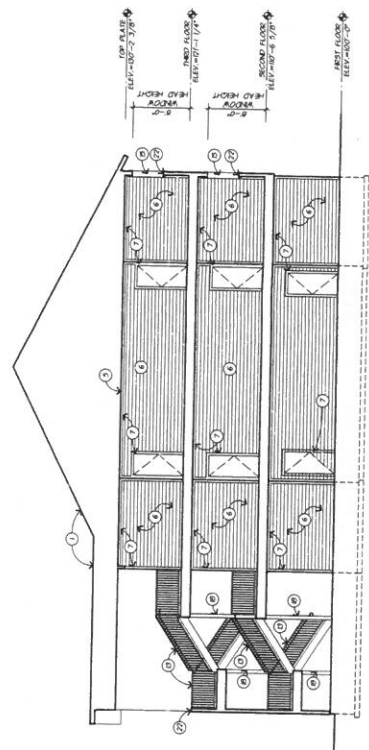
WESTWIND CONSTRUCTION

3514P.24 COMMISSION

Oppenhuizen Architects



2 ELEVATION 'C' - CORRIDOR ELEVATION
SCALE: 1/8"=1'-0"



1 ELEVATION 'D' - CORRIDOR ELEVATION
SCALE: 1/8"=1'-0"

Haggard's

PLUMBING and HEATING

"Business of Quality and Service"

"Charlevoix-the-Beautiful"

haggardsinc@hotmail.com

Date: January 29, 2018

To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684


RE: Consideration of application received from Midwest MFD, LLC for a special use permit granted in 2015 for Ridge 45 to construct the fourth phase of an apartment project on a 30-acre site on LaFranier Rd. Parcel# 05-023-026-20 & 05-023-025-20

To Whom it May Concern,

Upon reviewing the above Notice of Public Hearing of the Zoning Board of Appeals, I would like to express my view with the above case's requests. Haggard's Plumbing & Heating is not at all opposed to the changes of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time of economical struggles to either build and/or improve their existing property, we would like to see their request granted. It would prove positive for the local, county, state and country to do all we can to improve and promote growth in any way possible.



Sincerely,
JOHN HAGGARD

		Charter Township of Garfield	
		Planning Department Report No. 2018-21	
Prepared:	February 5, 2018	Pages:	1 of 9
Meeting:	February 14, 2018-Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Fox Run PURD		
Applicant:	William Clous-Eastwood Custom Homes		

BACKGROUND:

This Planned Unit Residential Development (PURD) application was introduced at the September 21, 2017 Planning Commission meeting. Commissioners held an onsite meeting on September 27, 2017 to better understand the application, then held a public hearing on the application at their October 11, 2017 meeting. At the hearing, the Planning Commission requested that the applicant provide an amenity for young children, such as a playground, to further justify the density sought. The project was also discussed at the December 13, 2017, December 20, 2017, January 10, 2018, and January 24, 2018 Planning Commission meetings.

The property is currently zoned R-3 Multi-Family Residential and allows apartments by way of a Special Use Permit (SUP). The property is approximately 8 acres in area, 3.75 acres of which is open space, thus leaving 4.25 acres of developable land. The plan, as proposed, contemplates transferring the density from the low wet areas (3.75 acres) and clustering it upfront to provide a density of approximately 10 units per acre (totaling 84 units proposed). Considering the *buildable acreage* of the site, only 46± units are allowed via the SUP, which is why a PURD has been requested whereby additional density may be allowed by the Planning Commission in exchange for additional amenities proposed by the applicant.

For context, there are three high-density projects adjacent to or within approximately 700 feet of this property: Manitou Woods (99 units @ 9/ac); Garfield Condominiums (75+ units @ 7/ac); and Sugar Plum Apartments (172 units @ 8/ac). An office/industrial park is also located within this distance.

In accordance with Section 427.B of the Zoning Ordinance, PURDs are subject to a two-stage approval process: The first stage is preliminary review and decision, which does not require final engineering. The second is final review and decision, which requires final engineering and that the applicant have addressed all of the conditions imposed via the preliminary approval. The Commission's approval of this project via the Findings of Fact included in this report would constitute a *preliminary decision*.

In general, the discussion concerning this application largely centered on whether the amenities proposed justify the increased density which the applicant seeks. More specifically, the discussion ultimately focused in on the feasibility of the proposed natural trail in light of its location within a potentially wet area.

OVERVIEW OF AMENITIES PROPOSED:**Tot Lots:**

The applicant is proposing three (3) separate tot lots in various locations around the site, each containing one (1) sandbox, one (1) bench, and one (1) swing set. The proposed "South Tot Lot" is located at the southeast corner of the existing stormwater basin and includes "security fencing" where it fronts the parking lot, the "North Tot Lot" is located at the northeast corner of the same basin and also includes "security fencing" where it fronts the parking lot, and a third tot lot is located just outside of the eastern

Fox Run PURD-Findings of Fact

fence line of the proposed dog park. It appears that the "security fencing" along the north and south tot lots was added in response to Commissioners' concerns about the potential for children running out of the tot lots into the parking area.

Dog Park:

In addition to the three tot lots, the applicant is proposing a 3,300-square foot fenced and gated dog park near the southeast corner of the property, which includes one (1) picnic table, one (1) 12 x 10 covered pavilion, and one (1) "dog station."

Natural Park Area:

The applicant is also proposing a 3,900-square foot park area adjacent to the dog park, which includes the easternmost tot lot, one (1) picnic table, and one (1) 12 x 10 covered pavilion.

Natural Trail:

Commissioners questioned the lack of improvements planned as a part of the nature trail, which is proposed as an amenity. In addition, Commissioners raised questions regarding the environmental or water quality aspects of locating the trail in the wetlands. Ultimately, recognizing that the shape of the trail might vary in response to a DEQ evaluation of the site, Commissioners requested a nature trail of a minimum of 1,294 linear feet in length which uses MDEQ best management practices where pertinent to protect the environmentally sensitive areas.

Stormwater-Low Impact Design:

The applicant has created a low impact design for capturing the parking lot stormwater runoff. Two landscaped swales will capture parking lot stormwater and direct it into a catch basin and underground retention area, which will then direct water into the stormwater basin before entering the wetland area.

ADDITIONAL CONSIDERATIONS:

Traffic Impacts:

Section 618 of the Zoning Ordinance provides the Planning Commission with the authority to require a traffic study for a project of this type. Staff recommended that the applicant work with the GTCRC to determine if improvements can be agreed upon in lieu of a traffic study. An email dated September 7, 2017, from the GTCRC was provided to Staff on December 21, 2017. This email states the following:

Based on the submitted plans, a traffic study would not be required as part of the permit review. Completed plans and a completed ROW application will be required prior to the start of construction.

If the Planning Commission feels a traffic study is nonetheless warranted, it certainly has the authority to require one.

Sidewalks:

The applicant must install a sidewalk along Garfield Road with curb and gutter to provide a safe pedestrian passage as required by Section 522 of the Zoning Ordinance. In accordance with Section 522, the required sidewalk must be made of concrete and measure 6 feet in width. A note on the site plan calls for a 6-foot wide concrete path with curb and gutter; however, another note refers to the proposed path as an asphalt path. The conflicting note should be removed from the site plan.

Fox Run PURD-Findings of Fact

A GTCRC email dated October 4, 2017, was provided to Staff on December 21, 2017. This email states the following:

The proposal for Fox Run to construct a curb along the frontage of Garfield Ave. along with a snow bench, would be permissible by the Road Commission. The proposed design would need to be submitted to the Road Commission for approval, and a permit issued prior to construction.

The drawings must show the grades, drainage, details, and location of the proposed curb and snow bench. It must be a sealed drawing from a licensed engineer.

Clearing of the sidewalk is a requirement that will be made a condition of approval for this project.

Parking:

The Planning Commission was satisfied with the parking proposed provided the applicant agrees to the numbering and assignment of spaces to ensure each unit has a designated space. Staff recommends conditioning any approval on the applicant including details regarding parking space numbering in the plan set.

Snow Storage:

Snow storage may cause additional issues for parking as the applicant is requesting to utilize some of the parking spaces for snow storage, effectively lowering the winter parking availability by an additional 6 spaces to 156 total winter parking spaces. The Planning Commission was generally satisfied with this concern provided the applicant numbers and assigns spaces to the residential units.

APPROVAL CRITERIA:

Scope of Authority – Uses

A planned unit residential development may include any residential use(s) permitted by right, permitted under special condition or permitted by special use permit in the various agricultural or residential zoning districts within the Township, provided appropriate findings of fact are made demonstrating that:

(a) The proposed density is in accordance with the policies and objectives set out in the master plan; and

The Planning Commission may consider this standard to be MET based on the following reasons:

- The area of the subject property proposed to be built upon is planned for “Medium Density Residential” in the Master Plan/Future Land Use Map (FLUM), which anticipates “[d]evelopments of 7 to 14 units per acre...” The subject proposal calls for approximately 10 units per acre and is therefore in accordance with the Master Plan/FLUM.

(b) In areas where the surrounding lands have been substantially developed in accordance with a particular land use character, pattern and density, the PURD shall be consistent and compatible with the existing residential uses, land use character, pattern and density.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The Planning Commission has determined the density and design of the project to be appropriate and compatible with the three high density projects adjacent to or within approximately 700 feet of the subject property, including:
 - Manitou Woods (99 units @ 9/ac);
 - Garfield Condominiums (75+ units @ 7/ac); and
 - Sugar Plum Apartments (172 units @ 8/ac).
- The Planning Commission has identified an office/industrial park that is also located within 700 feet of the project and found it to be compatible with the proposed use.
- The subject property is currently zoned and planned for multi-family residential uses, and it is located in close proximity to amenities and businesses.

Site Design Requirements

Generally, the design of a site must be found to meet the overall purpose and intent of this section. Additionally, the following specific design standards must be met.

(a) The site shall be designed in a compact, clustered manner which maximizes the preservation of usable and consolidated open space.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant will transfer the density from the 3.75 acres of environmentally sensitive area (wetlands) on the site and cluster the increased density on the 4.25 acres of developable land.
- The density transfer is permitted provided the wetland area is protected as open space for the passive recreational use of residents.
- The project as proposed preserves 3.75 acres of wetland as open space.

(b) Open spaces are intended to function as a public areas or parks to encourage neighborhood interaction and recreation opportunities. These areas incorporate amenities such as play structures, pedestrian circulation, pavilions, and other similar design features.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant shall provide amenities such as:
 - Three (3) tot lots, including swing sets, sand boxes, seating, and protected fencing.
 - A dog park consisting of 3,300 square feet of fenced area with two (2) gates and a dog waste bag dispenser.
 - Two (2) 12'x10' Pavilions and two (2) picnic tables to encourage interaction among residents
 - A nature trail of a minimum of 1,294 linear feet in length which uses MDEQ best management practices where pertinent to protect the environmentally sensitive areas.

(c) Sidewalks shall be provided along all streets. Generally, sidewalks should be constructed on each side of the street except where found to serve no useful purpose, such as if there are no homes on one side of the street. Sidewalks along streets shall be constructed of concrete to a minimum width of four (4) feet and shall be separated from the street by a grassy lawn area.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant is required to construct a raised curb concrete sidewalk along Garfield Road.

(d) In addition to the street sidewalks, hard-surfaced pathways connecting open areas, parks and other points of interest shall be provided.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant has designed the project to incorporate concrete sidewalks throughout the project area.
- A natural trail is required of no less than 1,294 linear feet throughout the open space which uses MDEQ best management practices where pertinent.

(e) In mixed-residential settings, each residential use (i.e. single family, multiple family, etc.) shall stand on its own in meeting the integrated site design requirements of this section. The intent of this requirement is for each area to resemble a traditional neighborhood with interior park areas. Useable open space shall be designed so that it is directly accessible to nearby residents.

The Planning Commission may find this standard to be NOT APPLICABLE based on the following reasons:

- The project does not contemplate mixed-residential but rather single-use, multi-family residential.

(f) There shall be a direct relationship between the residential use, density, and useable space of each project area, and each such areas shall be self contained.

The Planning Commission may find this standard to be MET based on the following reasons:

- The project will preserve approximately 3.25 acres of environmentally sensitive open space.

(g) The project shall be served by municipal water and sewer services.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The application is conditioned on municipal water and sewer servicing the project.

General Criteria

The PURD is intended to encourage well designed neighborhoods that emphasize safe movement of pedestrian traffic and open areas that encourage active lifestyles and quality of life. The Planning Commission shall determine if the project meets the following standards of approval:

- (a) The project is compatible and harmonious with adjacent and surrounding land uses and properties;

The Planning Commission may find this standard to be MET based on the following reasons:

Fox Run PURD-Findings of Fact

- The Planning Commission has determined the density and design of the project to be appropriate and compatible with the three high density projects adjacent to or within approximately 700 feet of the property, including:
 - Manitou Woods (99 units @ 9/ac);
 - Garfield Condominiums (75+ units @ 7/ac);
 - Sugar Plum Apartments (172 units @ 8/ ac).
- The Planning Commission has identified an office /industrial park that is also located within 700 feet of the project and has found it to be compatible with the proposed use.
- The Property is currently zoned and planned for multi-family residential, is located adjacent to amenities, and is in close proximity to businesses.

(b) The project minimizes motorized/non-motorized conflict points and creates a separation of pedestrian and vehicular traffic;

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant has provided for internal concrete sidewalks and will stripe any crosswalk areas of potential pedestrian/vehicular conflict within the project boundary and along Garfield Road.
- The applicant will work with the MDEQ and Staff to determine where the open space path requires best management practices such as boardwalks or other methods to protect the wetland.

(c) The development consolidates and maximizes useable open space while encouraging neighborhood interaction;

The Planning Commission may consider this standard to be MET based on the following reasons:

- The applicant will transfer the density from the open space area and utilize the open space for a dog park, play and sitting area, and nature trails that utilize MDEQ best management practices.

(d) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may consider this standard to be MET based on the following reasons:

- The remaining natural features of the parcel are required to remain in place, undisturbed but with the exception of creating the approved amenities indicated on the site plan and submitted documents.
- MDEQ best management practices will be used to construct the nature trail where pertinent.
- The applicant has incorporated Low Impact Design (LID) standards within the parking area to filter and direct stormwater.

(e) The development is compatible with the intent and purpose of the adopted master plan.

The Planning Commission may consider this standard to be MET based on the following reasons:

- The project as proposed complies with the intent of the current and proposed Master Plan.
- The project utilizes LID standards for surface parking water containment and treatment.

Fox Run PURD-Findings of Fact

- The project will utilize MDEQ best management practices for the construction of the natural trail.
- The project incorporates safe pedestrian circulation.

ACTION REQUESTED:

The following motion is offered for consideration:

MOTION THAT the Findings of Fact for application PURD 2017-01, as presented in Planning Department Report 2018-21, BE ADOPTED. (Motion to be made only following review and modification as necessary).

The following motion is recommended to grant *preliminary* approval for the project in accordance with Section 427 of the Zoning Ordinance, subject to the conditions as noted, and subject to conditions which are routinely added to all approvals.


MOTION THAT application PURD 2017-01 BE PRELIMINARILY APPROVED, subject to the following conditions:

1. That an updated site plan be submitted with the note "Asphalt Path" in reference to the path along Garfield Road removed, as Section 522 of the Zoning Ordinance requires a 6' wide concrete sidewalk.
2. The property owner shall be responsible for *all* maintenance of the path along Garfield Road, including upkeep and snow and ice removal.
3. Parking spaces shall be painted with numbering and assigned to units so that each unit has at least one designated parking space; this must be reflected in an updated submittal and no certificate of occupancy shall be issued until this condition is met.
4. No assigned parking spaces shall be used for snow storage.
5. A natural trail is required of no less than 1,294 linear feet throughout the open space which uses MDEQ best management practices where pertinent.
6. The developer shall construct, install, and operate the project in accordance with approvals received from the Township and all governmental entities with applicable jurisdiction. In constructing and operating the project, the developer shall comply with all state and local laws, ordinances, and regulations as well as the conditions of this approval and the Township's Zoning Ordinance.
7. The developer will design, develop, construct, and operate the project in accordance with any and all approvals and conditions of approval received from the Township and/or its various bodies, officers, departments, and commissions including, without limitation, any approved supplementary final plans approved pursuant to the Township's Zoning Ordinance as well as the terms of these conditions. No variances from the Zoning Board of Appeals may be sought for any approved PURD plan or conditions imposed in the approval granted by the Township.
8. If the project is to be partitioned as a condominium the developer shall comply with the requirements of Act 59 of 1978, known as the Michigan Condominium Act. Further, the developer shall comply with applicable Township requirements, and shall provide the Township with copies of adopted bylaws and master deed which affects the rights and obligations of a co-owner in the condominium.

9. Dedicated open spaces shall be maintained as shown on sheet C-1 (last updated 02-05-2018) and labeled on the site plan as "Open Space." The PURD plan indicates that 3.77 acres of the site will be dedicated and remain open space.
10. The developer shall submit materials to MDOT Traverse City TSC sufficient enough for it to make a determination on any future traffic impact studies and/or improvements associated with the Fox Run development. Documentation of the submittal to MDOT Traverse City TSC and MDOT's response regarding the results of its review shall be provided to the Township as part of the applicable site plan review.
11. The developer shall apply for and obtain the approval from the Township Engineer, and any other required entity relative to the construction of the stormwater and drainage systems. The developer will include, where reasonably possible, low impact development stormwater applications within the development.
12. Public electricity, telephone, gas, water and sanitary sewer service ("Public Utilities") shall be provided by the developer to all lots in the Project. Public Utilities shall be installed and maintained underground as required by the Township. Prior to the issuing of any foundation or building permits for the project, the developer shall provide all public easements reasonably necessary, in such locations approved in advance by the relevant utility service provider and the Township. All reasonably necessary easements for water and sanitary sewer service shall be granted to the Township and/or Grand Traverse County. Thereafter, and before issuing any building permits for any phase of the project, final construction drawings for that phase of the project shall be submitted for the review and approval of the Township Engineer and the Township Planning Department.
13. Landscaping shall be incorporated and installed by the developer on the property in accordance with a landscaping plan as provided for on sheet C-5 (dated 08-11-2017):
 - (a) Prior to issuance of building permits for any phase of the project, all landscaping as identified on the landscaping plan shall be installed by the developer, or adequate financial surety as approved by the Township shall be provided to the Township for those landscaping items not installed. Installation of the landscaping shall constitute a condition of approval of each phase final plan.
 - (b) The developer and/or association is responsible for maintaining all Commons Areas and landscape areas within the development, which maintenance shall include, but is not limited to: mowing all turf areas, trimming trees and shrubs, watering all landscaped areas, and promptly removing and replanting all diseased or dead plants in such areas, as well as appropriate maintenance of all park amenities.
 - (c) The developer and/or association shall maintain all walkways, non-motorized paths, and sidewalks constructed on the property.
14. Sidewalks and/or non-motorized paths (in accordance with Township ordinances) shall be provided.
15. The developer shall file any monetary security (in a form, amount, and language as approved by the Township) with the Township as required by the Township's Zoning Ordinance or pursuant to the PURD approval.
16. The developer shall pay any and all applicable building permit, zoning, and other fees to the Township. All fees determined by the Township must be paid in full prior to the issuance of a Land Use Permit.

17. The applicant shall provide two (2) full sized plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.

18. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within ninety (90) days of final approval by the Township or approval shall be considered to have expired.

 Charter Township of Garfield Planning Department Report No. 2018-22			
Prepared:	January 29, 2018	Pages:	Page 1 of 4
Meeting:	February 14, 2018-Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Brickways and Church of Christ Proposed Rezoning-Public Hearing		
File No.	Z-2017-06	Parcel Nos.	05-015-042-10 & 05-015-044-00
Applicant/Owner:	Grand Traverse Engineering, LLC/Brickways (for Brickways Parcel only)		
Agent:	Grand Traverse Engineering, LLC (for Brickways Parcel only)		

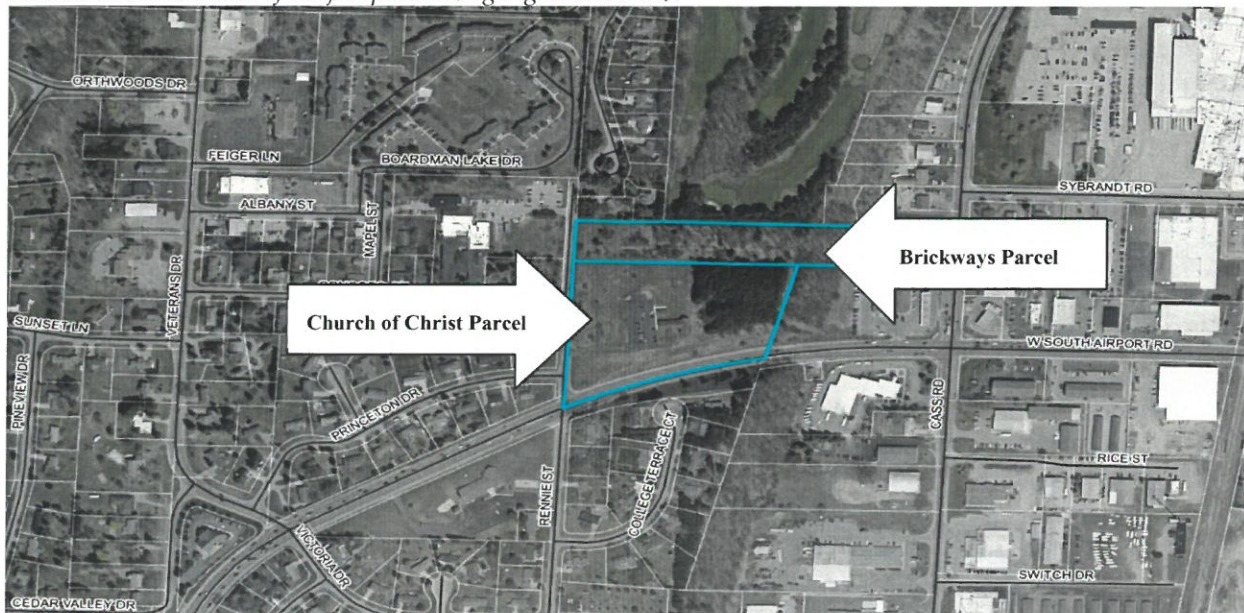
BACKGROUND:

The request is to rezone approximately 12 acres of land from the R-1 One-family Residential District to the R-3 Multi-family Residential District, without restriction. (3.6-acre Brickways parcel + 8.4-acre Church of Christ parcel = 12 acres).

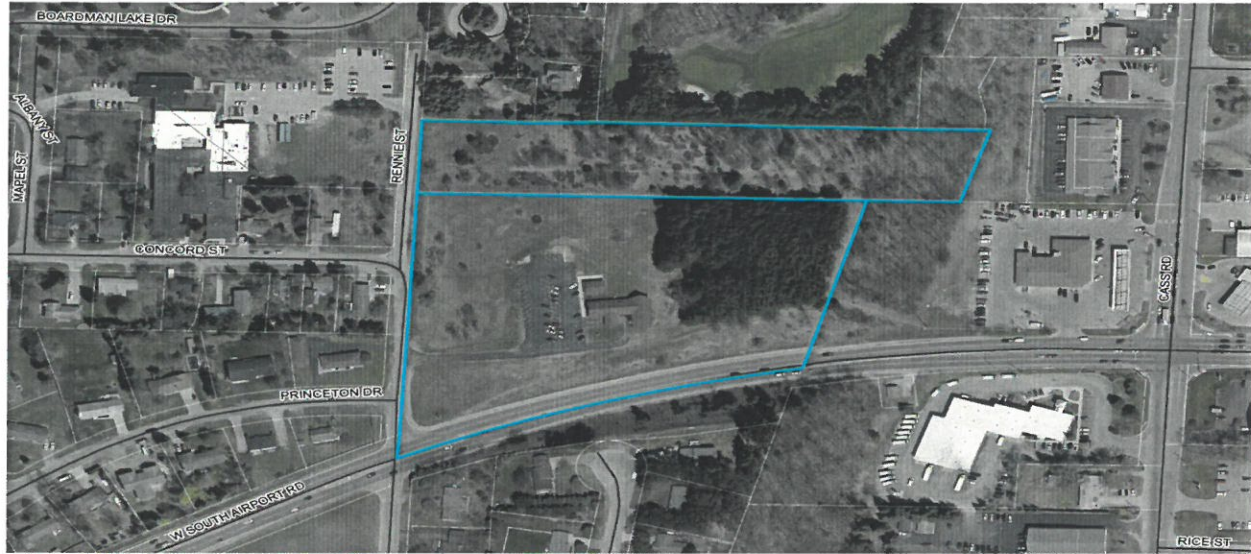
The original application which initiated this rezoning submitted by Grand Traverse Engineering, LLC, was introduced at the January 24, 2018 Planning Commission meeting. This application included only the 3.6-acre Brickways parcel. At that meeting, Staff recommended that the Church of Christ parcel immediately south of the Brickways parcel be included in the rezoning and the applicant agreed. This was recommended because the 3.6-acre Brickways parcel is relatively small with regard to accommodating multi-family development and rezoning a single parcel is discouraged under the Zoning Ordinance. Consideration of the adequacy of the size of the tract in question is one of the approval criteria for map amendments (*see* Section 421.E(7)).

On January 29th, upon receiving correspondence from the Church of Christ indicating their consent to be rezoned from R-1 to R-3, Staff officially added the 8.4-acre parcel to the request. Therefore, the rezoning request before you includes both the Brickways and Church of Christ parcels, totaling approximately 12 acres in area. (*Both parcels will together be referred to as the "subject property"*).

Zoomed-out aerial view of subject parcels (highlighted in blue):



Zoomed-in aerial view of subject property (highlighted in blue):



USES OF SURROUNDING PROPERTIES:

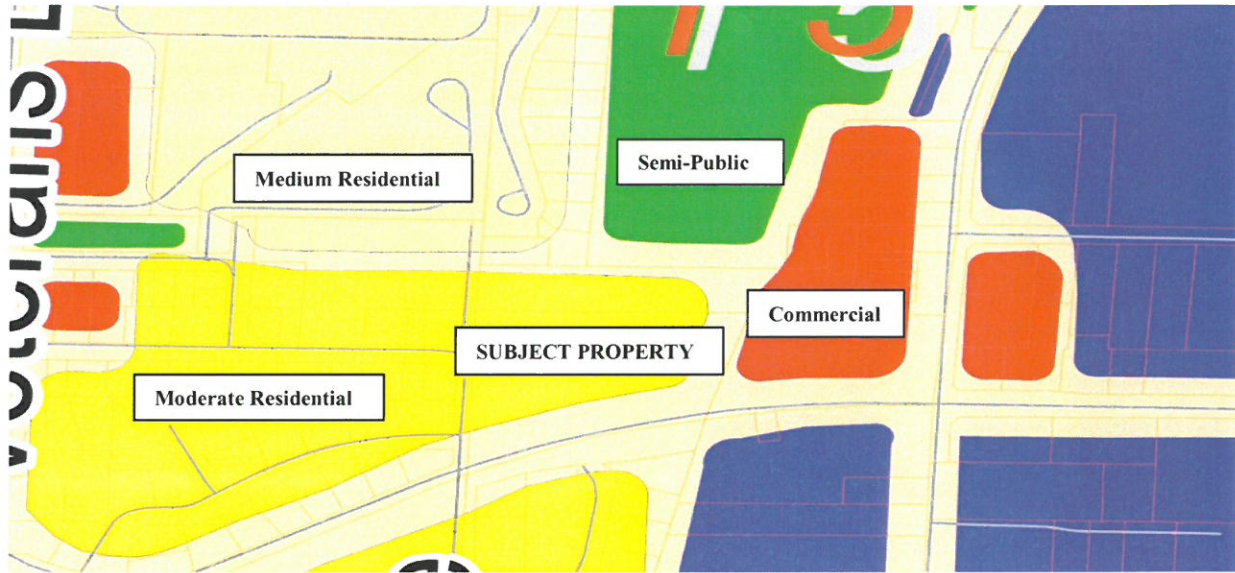
The subject property is abutted by medium- to high-density residential uses and single-family residential uses to the west (R-3); medium- to high-density residential (R-3), single-family residential (R-1), and commercial uses to the north (C-G); commercial uses to the east (C-G); and single-family residential (R-1) and industrial uses to the south (I-G).

MASTER PLAN CONSIDERATIONS:

A primary factor in considering any rezoning request is the relationship between the application and the Master Plan. In this case, the Master Plan targets the site for “Moderate Density Residential,” which anticipates “[a]reas having a density of 2 to 6 residential units per acre, ideally served by municipal water and sewer services” (p. 2). This Master Plan designation is compatible with the 6-9 units per acre called for in the R-3 Multi-Family District on the highest end, and the 2 units per acre called for in the R-2 Two-Family District on the lowest end. In addition, as specifically called for in the language of the Master Plan designation, the site is served by municipal sewer and water services. Therefore, Staff regards this rezoning request as consistent with the Master Plan.

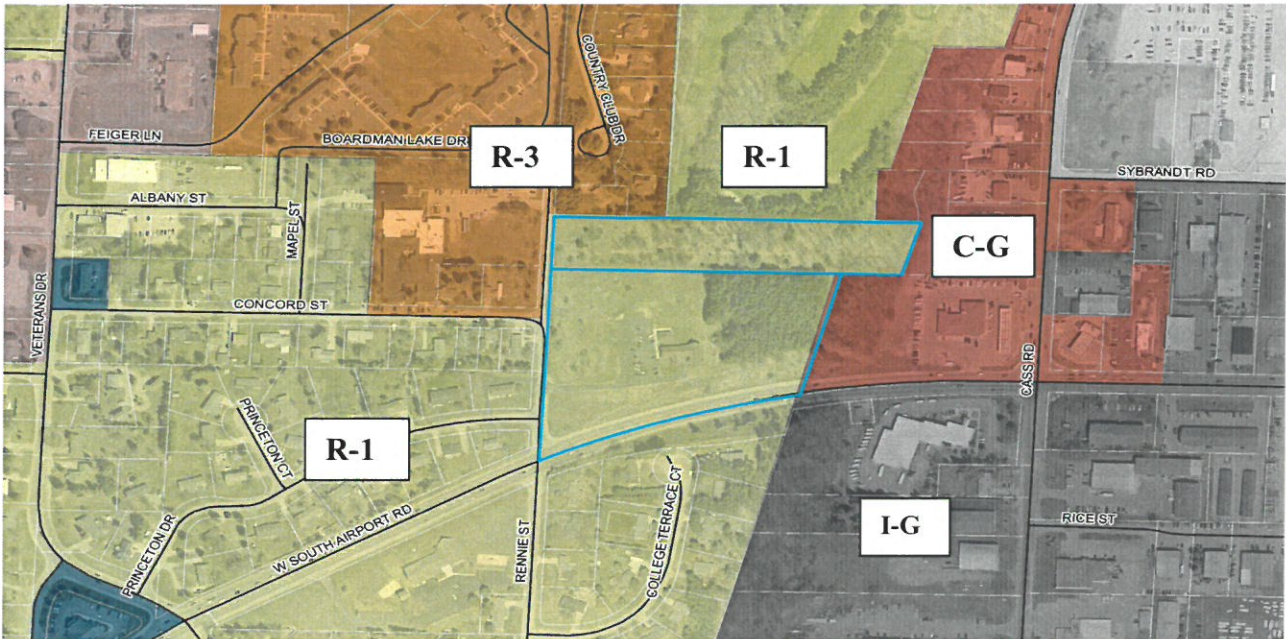
MASTER PLAN:

The Master Plan (yellow) identifies this area as Moderate Residential (2 to 6 units per acre):



CURRENT AND SURROUNDING ZONING:

The property is currently zoned R-1 One-Family Residential as identified in light green below and adjoins R-3 Multi-Family, C-G General Commercial, and R-1 One-Family Districts:



STAFF COMMENT:

The property appears to be a logical location for multi-family development in light of the surrounding uses, zoning, and the subject property's Master Plan designation. It is adjacent to a large R-3 District to the northwest and in close proximity to many essential services along the South Airport corridor. In addition, the site is served by municipal sewer and water services. Although the subject property is adjacent to R-1 districts to the north and south, the use within the District to the north, a golf course, is nonresidential and

Brickways and Church of Christ Rezoning-Public Hearing

relatively intense. The use to the south is a single-family neighborhood; however, the subject property is separated from that neighborhood by West South Airport Road.

Under the Zoning Ordinance, the burden is on the applicant to justify the rezoning. In this case, the applicant offers several persuasive reasons as to why the property is appropriate for rezoning for greater density, including that the rezoning is consistent with the Master Plan, that there is lack of foreseeable impacts on neighboring lands, and that there is a continuing need for affordable multi-family housing. The one criterion on which the application was initially deficient was the consideration of the size of the tract. However, this concern has been addressed with the addition of the 8.4 acre Church of Christ parcel.

APPROVAL CRITERIA DISCUSSION:

To aid in the discussion, the following approval criteria are offered for consideration:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E.1 Master Plan Consistency through § 421.E.8 Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

1. **Master Plan Consistency**
2. **Adverse Impacts on Neighboring Lands**
3. **Suitability as Presently Zoned**
4. **Changed Conditions**
5. **Health, Safety, and Welfare**
6. **Public Policy**
7. **Size of Tract**
8. **Other Factors**

ACTION REQUESTED:

If the Planning Commission is satisfied with the information within this report and as presented by the applicant at the February 14, 2018 Planning Commission meeting, the following motion is offered for your consideration:

MOTION TO direct Staff to prepare Findings of Fact in support of approval for consideration at the March 14, 2018 Regular Meeting of the Planning Commission.

Haggard's

PLUMBING and HEATING

"Business of Quality and Service"

"Charlevoix-the-Beautiful"

haggardsinc@hotmail.com

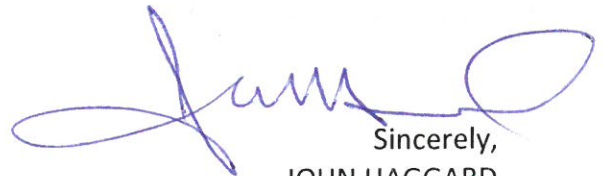
Date: January 29, 2018

To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684


RE: Consider application from Grand Traverse Engineering LLC to rezone the following parcel from R-1 to R-3. Parcel# 05-015-042-10 located at Rennie St and N and S Airport Rd.

To Whom it May Concern,

Upon reviewing the above Notice of Public Hearing of the Zoning Board of Appeals, I would like to express my view with the above case's requests. Haggard's Plumbing & Heating is not at all opposed to the changes of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time of economical struggles to either build and/or improve their existing property, we would like to see their request granted. It would prove positive for the local, county, state and country to do all we can to improve and promote growth in any way possible.



Sincerely,
JOHN HAGGARD

 Charter Township of Garfield Planning Department Report No. 2018-23			
Prepared:	January 30, 2018	Pages:	1 of 5
Meeting:	February 14, 2018-Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Modular/Manufactured and Mobile Home Sales in C-G District-Public Hearing		
Applicant:	Richard Newman-Pine Grove Homes		
Agent:	Bill Crain-Crain Engineering, LLC		
Owner:	Richard Newman		
File No.	SUP-2017-03		
Parcel No.	05-032-001-20		

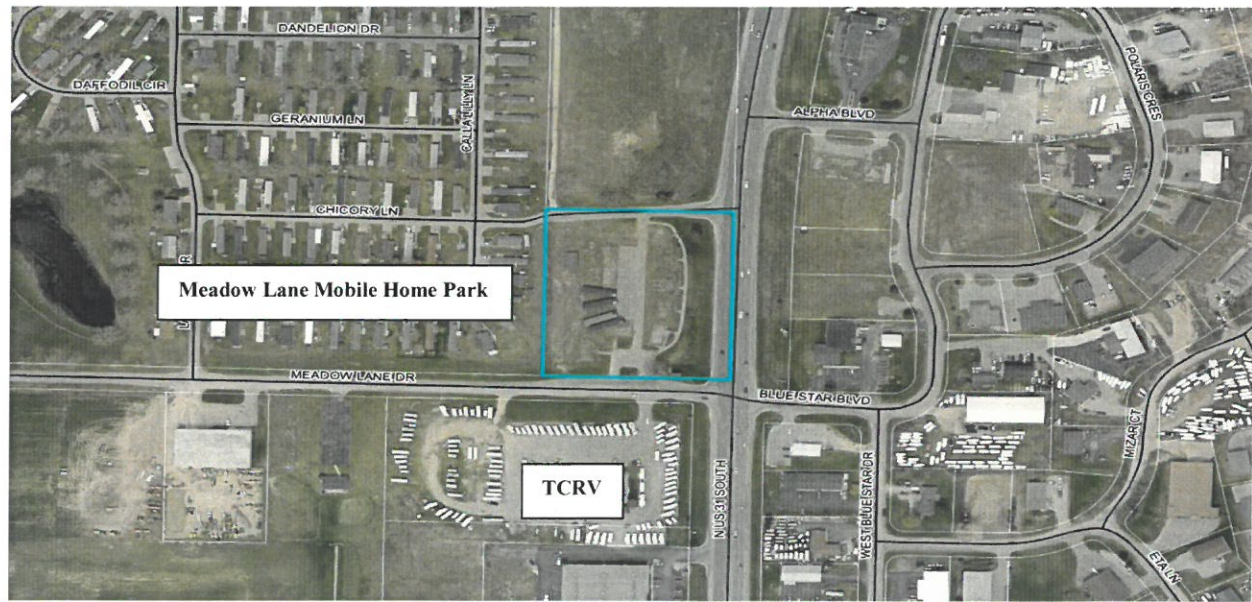
SUBJECT PROPERTY:

- 4030 Meadow Lane Drive
- 3.2 acres in area
- Relatively flat with a very gradual slope to the northeast
- C-G General Commercial District

The east property line runs along North US-31 South, the south line along Meadow Lane Drive, the west line along the Meadow Lane Mobile Home Park, and the north line along Chicory Lane (*see aerial images below*).

The subject property is an essentially vacant site with a large asphalt pad running through its center. During a brief site visit on November 16, 2017, Staff found none of the modular homes observed in the aerials on the property, except the “existing building” near the northwest corner of the property, which would be demolished as part of this proposal.

Zoomed-out aerial view of subject property (highlighted in blue):



Zoomed-in aerial view of subject property (highlighted in blue):



PURPOSE OF APPLICATION:

The applicant is seeking approval for the following uses at the subject property:

1. "Modular/Manufactured Homes Sales"
2. "Mobile Home Sales"

STAFF COMMENT:

Both "Modular/Manufactured Home Sales" and "Mobile Home Sales" are permitted via Special Use Permit (SUP) in the C-G District. The application was introduced at the January 24, 2018 Planning Commission meeting. Staff regards the following issues as unresolved:

Sewer Service:

According to the property owner and his engineer, the existing sanitary sewer line shown on the site plan running east-west to service the proposed office unit is part of a private system servicing the adjacent mobile home park, which extends from the park to the west. Township and Gourdie-Fraser, Inc. records verify that no public sewer line exists on the property. Nonetheless, Staff would like to see some form of documentation verifying that a private sewer agreement in fact exists. At the January 24th meeting, the applicant stated that they are looking further into whether documentation can be found. In addition, the Planning Commission suggested that the applicant might be able to "create" an agreement or documentation. This is particularly important since the property could of course change ownership.

On February 6, 2018, the applicant contacted Staff and explained that the property owner has been trying to get in touch with the owners of the neighboring mobile home park to work out some form of sewer agreement. His efforts have thus far been unsuccessful. The applicant stated that they are willing to coordinate with the health department to install septic on the site if a sewer agreement ultimately cannot be obtained.

Stormwater/Impervious Surface:

This site is relatively complex from a stormwater review standpoint in part because a considerable amount of the impervious surface is moveable. The placement of the “concrete tire pads” for many of the modular units helps to alleviate this problem; however, the applicant should not be permitted to display any more than the three proposed units on the asphalt strip at the center of the property. This will ensure that stormwater review reflects the appropriate amount of impervious surface that will remain there in the future.

At the January 24th meeting, the applicant stated that all impervious surfaces have been identified and accounted for in the provided stormwater calculations. The applicant will be required to coordinate with the Township Engineer for stormwater review prior to any approval. Staff has already consulted with the Engineer regarding these concerns.

Landscaping:

In accordance with Section 531 of the Zoning Ordinance, a “Type D” buffer is required along the east property line along US-31. Although the applicant has provided the required quantity and types of plantings for a “Type D” buffer, the placement of the plantings is highly clustered, which makes the buffer more ornamental than functional. For example, the required evergreens are tightly clustered at the southeast and northeast corners of the property. This is presumably so that the trees do not obscure one’s view of the display units. Nonetheless, the intent of the Section 531 is to create a functional and visual buffer along the roadway, which would require dispersing the trees across the frontage to a greater extent. As proposed, Staff does not feel that the landscaping along the east property line meets the intent of the Zoning Ordinance.

Similarly, the required shrubs are tightly clustered in front of the display units, presumably to make each look like it has a landscaped front yard. This too makes the buffer more ornamental than functional. The applicant is free to plant to compliment the display units; however, the intent of the Ordinance is that the plantings be dispersed so as to create a functional barrier. The Ordinance does recognize that clustering is acceptable in many cases, but to create “viewing windows to a development site” (p. 529), rather than leaving virtually the entire frontage open.

On February 6, 2018, the applicant contacted Staff and explained that the property owner will be present at the February 14, 2018 Planning Commission meeting to discuss the application and that he would be willing to disperse the plantings to better meet the intent of the Ordinance.

Non-Motorized Connectivity and Circulation:

In accordance with Sections 424.F(1)(g) and 522.A of the Zoning Ordinance, as well as the Township’s Non-Motorized Plan Map, a bike path measuring 10-feet in width is required to be constructed along the entire length of the property’s North US-31 South frontage. The applicant has included the required 10-foot path; however, a note should be added to the site plan that specifies the type of material to be used to construct the path, as Section 522 requires that the path be made of asphalt or another appropriate permanent surface.

Snow Storage:

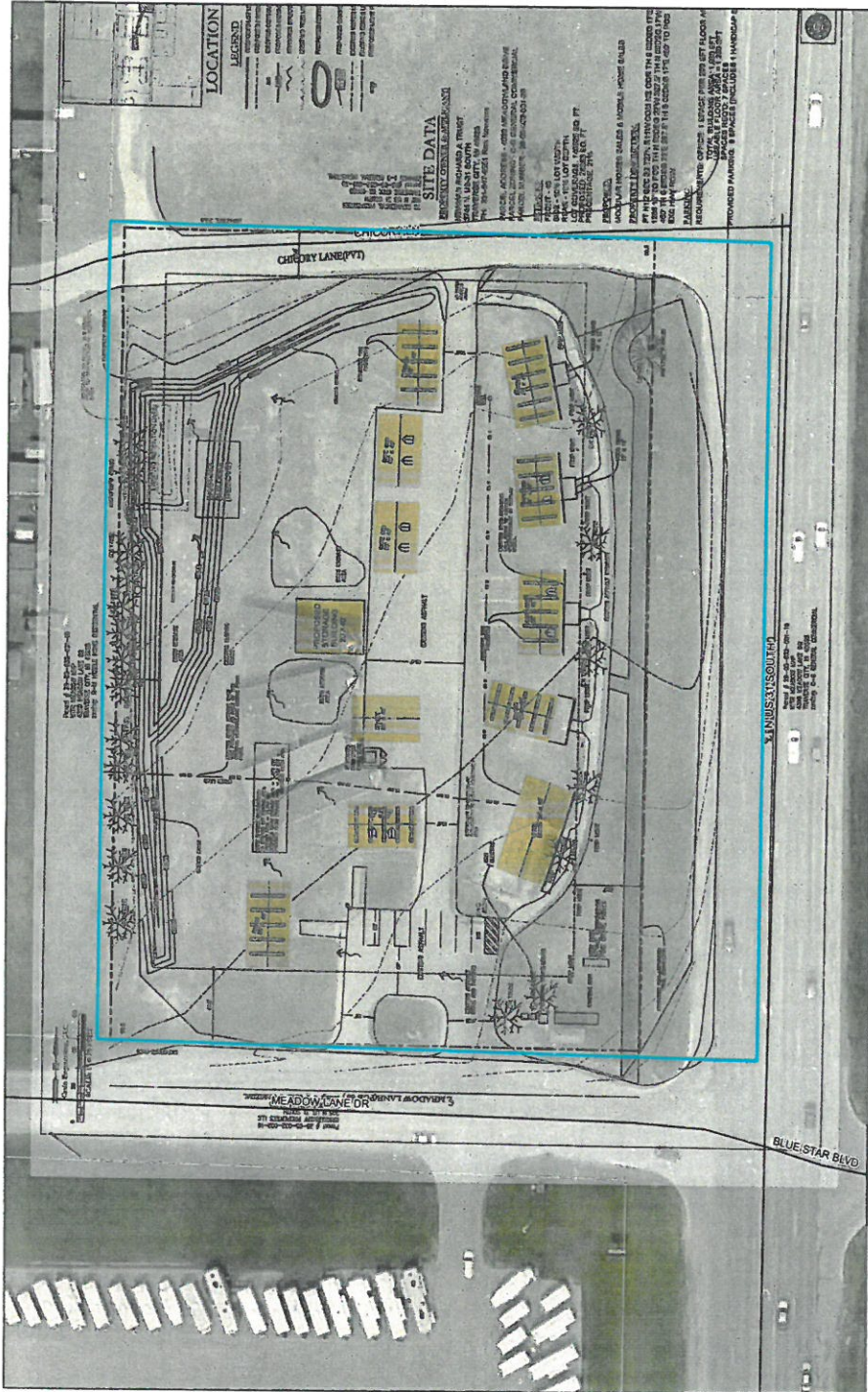
The designated snow storage location on the site plan appears to be impractical as a plow truck would have to travel north up the asphalt strip from the parking lot several hundred feet and make a sharp left turn. In addition, the two spaces between the units and proposed storage building where a plow is to

push the snow into the proposed storage area are less than 20 feet in width and are unlikely to be used in practice as proposed. Staff suggested that the applicant revise the plans to indicate a more usable snow storage area that better meets the intent of Section 551.E(6).

At the January 24th meeting, the applicant stated that they disagree with Staff's assessment in this regard and that snow storage is essentially the owner's concern. The Planning Commission should discuss whether the proposed storage location meets the intent of Section 551.E(6).

ACTION REQUESTED:

Direct Staff to continue working with the applicant to address any outstanding concerns AND/OR to prepare Findings of Fact in support of a decision for the March 14, 2018 Regular Meeting of the Planning Commission.



Haggard's

PLUMBING and HEATING

"Business of Quality and Service"

"Charlevoix-the-Beautiful"

haggardsinc@hotmail.com

Date: January 29, 2018

To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application by Richard Newman for a special use permit to allow for a sale of Modular Home Sales located at 4030 Meadow Ln. Parcel# 05-032-001-20

To Whom it May Concern,

Upon reviewing the above Notice of Public Hearing of the Zoning Board of Appeals, I would like to express my view with the above case's requests. Haggard's Plumbing & Heating is not at all opposed to the changes of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time of economical struggles to either build and/or improve their existing property, we would like to see their request granted. It would prove positive for the local, county, state and country to do all we can to improve and promote growth in any way possible.



Sincerely,
JOHN HAGGARD