

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING**

Wednesday, January 8, 2020 at 7:00pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time.

2. Review and approval of the Agenda – Conflict of Interest

3. Minutes – December 11, 2019

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
- c. Staff Report

6. Unfinished Business

- a. PD-2020-5 – Habitat for Humanity Addition SUP – FOF
- b. PD-2020-3 – Michigan State University Federal Credit Union SUP – FOF
- c. PD-2020-7 – Village at LaFranier Woods PUD – Update
- d. PD-2020-6 – Harris Hills Site Condominium SPR – FOF / Update

7. New Business

- a. PD-2020-4 – BATA Development – Conceptual Review

8. Public Comment

9. Other Business

10. Items for Next Agenda – January 22, 2020

- a. Barlow Garfield Neighborhood Plan – Draft Document Review / Discussion
- b. 2020 Priorities – Discussion
- c. Planning Staff / Planning Commission Communication – Discussion

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
December 11, 2019**

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, MI 49684.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Robert Fudge, Steve Duell, Joe McManus, Chris DeGood, Joe Robertson, Pat Cline, and John Racine

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

Thomas Lechota commented on the Harris Hills proposed development as it related to the road connections.

Martha Esbaugh commented on a letter from Dave Rowe regarding the connection to the Lone Tree Condominium Association II development.

Mike Smith from Lone Beech Drive echoed the thoughts of the others.

2. Review and Approval of the Agenda – Conflict of Interest (7:08)

Cline moved and Fudge seconded to approve the agenda as presented.

Yeas: Cline, Fudge, Duell, DeGood, McManus, Robertson, Racine

Nays: None

3. Minutes (7:09)

a. November 13, 2019

Duell moved and Robertson seconded to adopt the minutes of November 13, 2019 as amended changing the date on item 10 to December 11, 2019.

Yeas: Duell, Robertson, Fudge, Cline, McManus, DeGood, Racine

Nays: None

4. Correspondence (7:10)

a. Letter from Matthew W. Heron, Esq. dated July 15, 2019

b. Letter from Lone Tree Condominium Association II, Inc. submitted by Martha Esbaugh dated December 11, 2019

5. Reports (7:02)**Township Board Report**

Duell reported that the 2020 Budget has been passed and there is a new Ethics Policy in place. The board also accepted a piece of property that was donated to the township.

Planning Commissioners

None

Staff Report

Sych mentioned that the Barlow Garfield plan will be coming to commissioners in January.

6. Unfinished Business**a. Public Hearing PD 2019-156 Michigan State University Federal Credit Union SUP (7:13)**

The applicant requests approval of a Special Use Permit (SUP) for a financial institution including a drive-through. Drive-in or drive through businesses are only permitted in the C-G General Commercial District by special use. The site is located at 3750 N. US 31 and is on two parcels which equal 4.62 acres. Scott Maynard representing the credit union, said they have purchased the parcel and plan to put a branch of the MSU Federal Credit Union on the site.

Chair Racine opened the Public Hearing at 7:15pm and seeing no one wishing to comment, closed the Public Hearing.

Commissioners discussed the proposed project and the ingress and egress. Staff explained that the site has existed as two separate parcels and each has had their own ingress and egress drive, prior to the proposed merger of the two parcels. Maynard said that cross access would be constructed when property to the north was developed. The applicant said that the egress would be redesigned to accommodate only one vehicle and sign it to clarify that it is only an exit. Commissioners asked for a legal opinion regarding the ingress and egress as it relates to the zoning ordinance. Commissioners also asked about a wetland delineation. The applicant said that he had an independent engineer look at the wetlands and give an opinion. Staff and the applicant will get another opinion on the delineation to review materials and concur. Commissioners were concerned with setting a precedent and want EGLE to give an opinion on how to address the situation.

Duell moved to direct staff to prepare Findings of Fact for application SUP-2019-06, submitted by Michigan State University Federal Credit Union for a Special Use Permit for a financial institution including a drive-through at 3750 N. US 31. DeGood seconded the motion.

Yeas: Duell, DeGood, Fudge, McManus, Robertson, Cline, Racine

Nays: None

b. Public Hearing PD 2019-158 Village at LaFranier Woods PUD (7:47)

The application proposes a Planned Unit Development (PUD) for senior living including detached cottages, congregate residential buildings and assisted living residences. The property is 33.19 acres and is located at 2242 LaFranier Road, north of Hammond Road. It is currently zoned A-Agricultural. The development will consist of 385 units to be built in four phases. Chip Ironside, representing the applicants, said that the applicants worked on several things that the commissioners and staff pointed out and the development will include three phases.

Chair Racine opened the Public Hearing at 7:51pm.

Colleen Farran of Carriage Hill Drive shared concerns with the large development and all of the pavement going in. She also shared concerns with the dense zoning and lack of green space.

Scott Holton with Ridges 45 Development commented on the entrance boulevards.

Karla Taylor of Carriage Hill Drive would like to see some space between existing homes and the development.

Lisa Rosendahl shared concerns with the close proximity of the development to her home.

Chair Racine closed the Public Hearing at 7:56pm.

Chip Ironside, representing the developer, addressed the traffic and said that staff of the facility and assisted living would have the most traffic and developers were conscious of setbacks when designing the site. A buffer is required around the facility which is shown on the plans and there will be more than enough plantings. Ironside stressed that very little traffic will drive through the development. Commissioners and staff asked questions and discussed the soil, detention basins, parking and the entrance.

Ironside said that the plan would be revised for a better defined plan for open space on the property.

c. PD 2019-155 – Chick-fil-A C-G Rezoning Findings of Fact (8:39)

The applicant requests to rezone two parcels consisting of 1.8 acres from the C-L Local Commercial zoning district to the C-G General Commercial zoning district via the zoning Map Amendment process, without restriction. The subject property is currently home to the Flap Jack Shack restaurant on the front parcel and a pole barn on the rear parcel. The two structures would be demolished and a new Chick-fil-A restaurant would be built on the site and the two parcels would be combined. Staff reviewed the Findings of Fact with Commissioners and based on the report recommended that the Findings of fact be approved.

Cline moved and Fudge seconded that the Findings of Fact for application Z-2019-03, as presented in Planning Department Report 2018-155 and being made a part of this motion, BE ADOPTED.

Yeas: Cline, Fudge, DeGood, Robertson, McManus, Duell, Racine

Nays: None

Cline moved and McManus seconded to recommend to the Township Board THAT application Z-2019-03 BE APPROVED.

*Yeas: Cline, McManus, DeGood, Fudge, Robertson, Duell, Racine
Nays: None*

d. PD 2019-153 Harris Hills Site Condominium SPR Findings of Fact (8:42)

Staff has continued to work with the applicant for the proposed Harris Hills site condominium. The site is located on two parcels at the corner of Lone Tree and Harris Roads. The parcels are zoned R-2 – Two Family Residential.

Hannon reviewed the Findings of Fact based on the information they had at the time and said the Findings were also being reviewed with Township counsel. Connectivity is in question. Applicant Jesse Mitchell said they were trying to work with the township engineer regarding the legality of the connections. Counsel will review all documents pertaining to the Lone Tree condominium development. Mitchell explained the issues with a connection road and asked that the board table the matter until a report can be issued by the attorney.

DeGood moved and Fudge seconded to table the Application SPR 2019-04 Harris Hills Site Condominium until an attorney's opinion has been issued.

*Yeas: DeGood, Fudge, Robertson, Cline, McManus, Duell, Racine
Nays: None*

e. PD 2019-157– Habitat for Humanity Addition SUP – Update #2

This application requests approval of a Special Use Permit to expand an existing retail building, including construction of an accessory storage building, and add office uses at 2487 Rice Street. The building was recently purchased by Habitat for Humanity, which has continued to use the building for retail operations. Retail operations are permitted via SUP in the I-G district. Hannon updated members on the proposed SUP. He said that the Township Engineer is still working with the applicant on the stormwater plan and staff is working with the applicant on landscaping and signage. Fred Campbell, representing the applicant, said the stormwater plans were corrected with the help of Township Engineer Jennifer Hodges, but she has not issued a written stormwater review. Campbell also proposes three more trees on the site. Hannon suggested that additional landscaping be included to meet other landscaping requirements in the zoning ordinance. Commissioners further discussed stormwater control measures.

Duell moved and Robertson seconded to direct staff to draft Findings of Fact for Application SUP 2019-04.

*Yeas: Duell, Robertson, McManus, Cline, Fudge, Duell, Racine
Nays: None*

7. New Business

a. PD 2019-157 3077 Garfield LLC Conditional Rezoning – Conceptual Review (9:24)

The application requests conceptual review of a proposed conditional rezoning that would allow for remodeling of several commercial buildings and construction of four long storage unit buildings with several individual storage units. The site is a 4.57-acre parcel located at 3077 Garfield Road south of South Airport Road and is currently Zoned C-G General Commercial. The Master Plan designates the site as Commercial. Tom Krause, the applicant, is proposing a mini storage site on the property. The front of the building would be left with commercial uses and the rear of the building would become mini storage. He is asking for a conditional rezoning subject to a mini storage site. Sych warned about setting a precedent. Fred Campbell cited Designs for Growth which would support the proposed conditional rezoning. Krause has commercial users with intentions to occupy the commercial portion of the building. Commissioners were favorable towards the proposal and discussed possible conditions on the use.

8. Public Comment

Donna Manthei of Chestnut Court commented on the private road vs. public road issue. She said if neither party wants a connection they should not be forced into a connection.

Sharon Brundell of Chestnut Court commented and agreed with Manthei.

Larry Manthei of Chestnut Court commented on connectivity between Lone Pine and the proposed Harris Hills development and views it as detrimental to the area.

Joe Price of Lone Beech Drive agreed with the connectivity issue already presented.

9. Other Business

a. Adoption of 2020 Meeting Schedule

Duell moved to approve the 2020 Planning Commission Meeting Dates with the possibility of moving the November 11, 2020 meeting. Fudge seconded the motion.

*Yeas: Duell, Fudge, Cline, DeGood, McManus, Robertson, Racine
Nays: None*


10. Items for Next Agenda – January 8, 2020

- a. BATA Development – Conceptual Review**
- b. Other items TBD**

11. **Adjournment**

Fudge moved to adjourn the meeting at 10:06pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2020-5		
Prepared:	January 2, 2020	Pages: 7
Meeting:	January 8, 2020 – Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Habitat for Humanity Special Use Permit – Findings of Fact	
File No.	SUP-2019-04	Parcel No. 28-05-015-054-00
Applicant/Owner:	Habitat for Humanity	
Agent:	JML Design Group Ltd.	

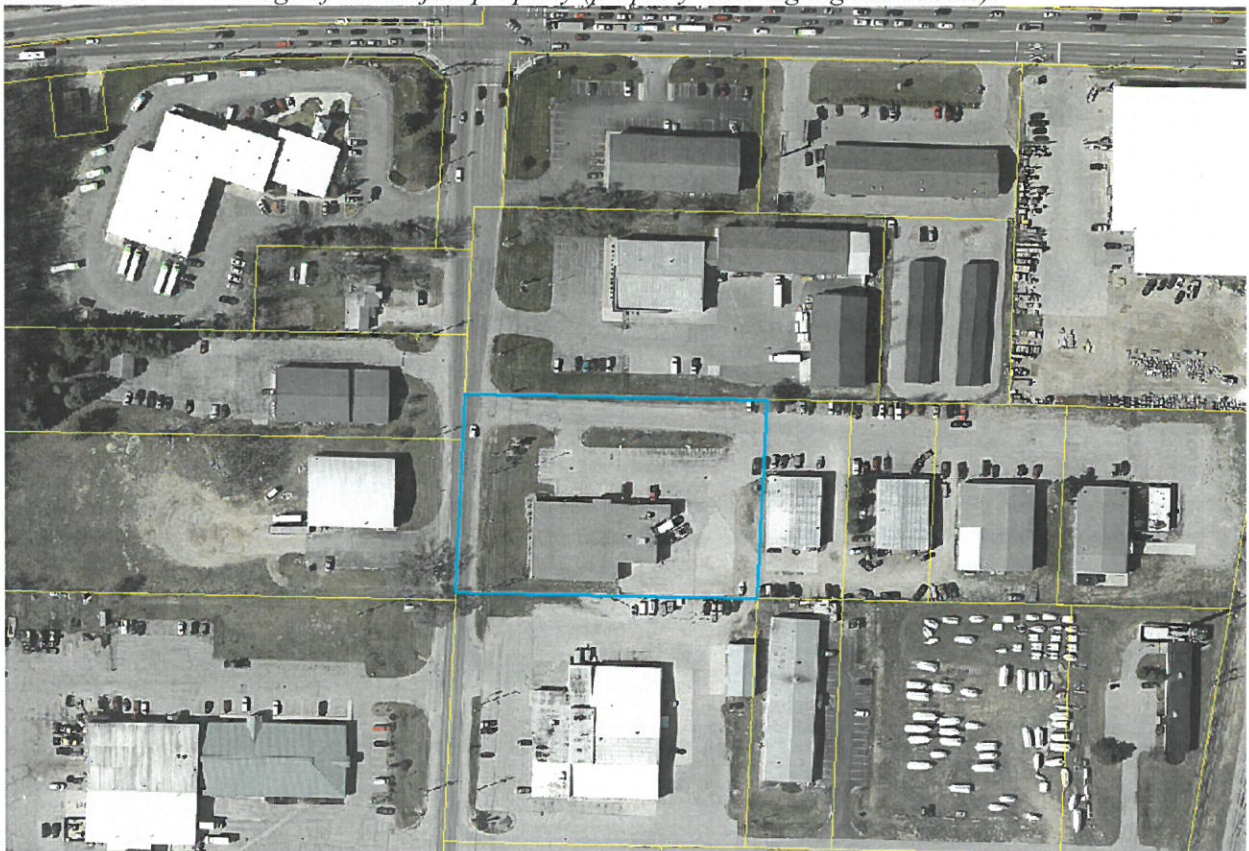
BRIEF OVERVIEW:

- 2487 Rice Street (corner of Rice Street and Cass Road)
- 1.62 acres in area
- Expansion of existing building and construction of new accessory storage building
- I-G General Industrial zoning district

BACKGROUND:

This application requests approval of a Special Use Permit (“SUP”) to expand an existing retail building, including construction of an accessory storage building, and add office uses at 2487 Rice Street. The building was formerly the Excel Office Interiors retail store and was recently purchased by Habitat for Humanity, which has continued to use the building for retail operations. Retail businesses and offices are permitted via SUP in the I-G district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



The project was introduced at the September 11, 2019 Planning Commission meeting; a public hearing was conducted during the October 9, 2019 meeting. Since then, the applicant has worked through several issues at subsequent Planning Commission meetings.

SITE DESIGN OVERVIEW:

This application is for a proposed expansion of the existing building on this site, with all construction at the back of the building, and some changes in the general building appearance. The additional space allows for offices and storage. The applicant also plans to construct a separate pole barn sometime in 2020 for additional storage at the back of the property.

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Items of potential interest to the Planning Commission include the following:

Storm Water

Storm water on the existing site is controlled via two catch basins in the parking lot, with the site graded to these basins. The applicant proposes an additional stone drain for storm water management behind the new building addition area. The storm water control system is still subject to review and approval by the Township Engineer.

Landscaping

The applicant proposes three new sugar maple trees as the additional landscaping. Existing landscaping is shown on the plan but has no details on size or species. According to Section 530.C (Greenspace Areas, Generally – Expansions), when a building or parking lot is enlarged, the greenspace requirements apply on an incremental basis such that landscaping shall be required in the same proportion that the enlarged building area or off-street parking area has to the development (e.g., a 10% increase requires 10% of the required landscaping).

The existing building is 12,387 square feet and the proposed addition is 1,768 square feet. The building will be increased by 14.3% and so 14.3% of the required landscaping is required. According to the site plan, the existing landscaped area is 2,390 square feet and so 342 square feet of new landscaping would be required. The site plan states the existing landscaping will be increased by 20% due to the proposed building increasing by 20%, with 495 square feet of new landscaping proposed. Relevant landscaping standards include the following:

- Buffer. The primary uses on the site will be commercial and office, which both require a buffer of Type “B” when adjacent to an industrial use. The site is bordered on all sides by industrial uses. A Type “B” buffer consists of the following:
 - Two large trees, one medium or small tree, and 4 shrubs per 100 linear ft. of greenspace
 - Minimum width of 10 feet
 - Ground cover (e.g. lawn space) on areas not used for parking
- Parking Area Landscaping. This section applies to all parking areas of more than ten (10) spaces including the following requirements:
 - Minimum width of 10 feet on the parking area perimeter where not adjacent to a building and planted according to buffer requirements (no additional planting requirements)

Although there are three new trees on the site plan, no new shrubs are proposed. Also, according to the plant material requirements of Section 530.F (2), the landscape plan shall not contain more than 25% of any single plant species. Additional landscaping is needed to help bring the site into greater compliance with the landscaping requirements. The following landscaping improvements are suggested:

- Add 6 shrubs to the northern landscape area, alternating with existing and proposed trees
- Add 3 shrubs between the transformer and well head along the eastern lot line
- Use three different species of shrubs to allow for an appropriate mixture of plant species
- These shrubs can be at minimum 5-gallon size to not overcrowd the site, and some of the existing landscaping can be groomed as well.

According to Section 530.H, the Planning Commission, as the approval authority for a special use permit, may waive or adjust any requirement of this section based on certain criteria listed in this subsection.

Utilities

There is an existing well on the eastern edge of the site as indicated on the plan. There is also an existing transformer and fence which are not shown on the plan. An easement exists for the eastern 10 feet of the parcel, which is granted between this site and the site to the east as a non-exclusive easement for ingress, egress, and installation and maintenance of public utilities. The transformer and fence should be shown on the site plan as an existing condition.

FINDINGS OF FACT:

At its December 11, 2019 meeting, the Planning Commission passed a motion directing Staff to prepare Findings of Fact for the application which are provided below for your consideration:

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The site is in the I-G General Industrial zoning district, which allows for retail and office uses via the special use permit approval process.
- The Master Plan indicates this site as Industrial on the Future Land Use map. The description for the Industrial designation states that this area is intended to remain primarily industrial in nature while allowing a limited number of non-industrial uses that are accessory or complementary to the industrial uses. The proposed retail use concerns furniture and other items that are larger than merchandise available at typical retail outlets, and the proposed use is allowed via the special use permit approval process as described above. The proposed office use will function as accessory to the retail use.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed addition and accessory storage building will be at the rear of the existing building, both of which will be built within the required setback area.
- The existing building and parking lot area will otherwise retain the same footprint, and so the use will be compatible with the neighborhood, adjacent properties, and the natural environment.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed uses for this site are retail and office, which are not anticipated to be detrimental, hazardous, or disturbing to neighboring uses.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will occur on an existing developed site. The building addition and accessory storage building will be consistent with the existing development pattern in the area.
- There existing landscaping and screening on site. The applicant proposes three new sugar maple trees as additional landscaping. Adding shrubs as suggested above will help meet this standard of special use approval.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will occur on an existing developed site and in the existing impervious surface area. No greenspace areas will be removed.
- There are no significant hillsides, watercourses, or wetlands located on the site.
- Storm water management, subject to approval of the Township Engineer, will protect the natural features and greenspace on the site and in the surrounding neighborhood.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Municipal water and sewer exist along Cass Road and serves the site.
- Storm water management is subject to approval of the Township Engineer and will be required to adequately control the storm water on the site.
- Significant additional demand for schools and police and fire protection is not anticipated.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will not be detrimental to the public health safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The public interest and welfare are well served by the proposed use, which is allowed via special use permit in the I-G district.

Habitat for Humanity Addition Special Use Permit – Findings of Fact

- No opposition to the project was expressed at the October 9, 2019 Planning Commission meeting public hearing or via correspondence.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will occur on an existing developed site which has an acceptable ingress and egress pattern. No changes to ingress and egress are proposed.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The existing parking lot, which provides adequate parking and maneuvering, will be retained.
- There are no sidewalks or pathways along Cass Road.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use is permitted via special land use permit in the C-G district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

ACTION REQUESTED:

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2019-04, as presented in Planning Department Report 2020-5 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT application SUP-2019-04 BE APPROVED, subject to the following conditions:

1. Additional landscaping is needed to help bring the site into greater compliance with the landscaping requirements.
2. The transformer and fence should be shown on the site plan as an existing condition.
3. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
4. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
5. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.

Habitat for Humanity Addition Special Use Permit – Findings of Fact

6. The applicant shall provide two (2) full-size plan sets, one (1) 11x17” plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
7. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within ninety (90) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commissioners deem necessary should be added to this motion.

Attachments:

1. 11” x 17” site plan set provided by applicant dated November 14, 2019

CASES.

HABITAT FOR HUMANITY
 TRAVERSE CITY, MICHIGAN 49604
 CONTACT: MR. NATHAN KALZIK
 PHONE: (231) 944-1182

PROPERTY INFORMATION

PARCEL NO.: 06-018-034-00
 ADDRESS: 2487 RICE ST., TRAVERSE CITY, MI

LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF GRAND TRAVERSE, TOWNSHIP OF SAUTHELL, PART OF THE 30TH MERIDIAN, NORTH 17° 00' 00" WEST, RICE STREET, TRAVERSVILLE, NORTH AND SOUTH 60 FEET EAST AND 60 FEET WEST OF THE POINT OF BEGINNING, PART OF THE 101/4 ACRES TRACT OF SAUTHELL TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, BEING 1/4 OF THE 30TH MERIDIAN, NORTH 17° 00' 00" WEST, 2487 FEET TO THE POINT OF BEGINNING.

PROPERTY ZONED. U.S. GENERAL MIXED USE INDUSTRIAL BUSINESS.

80' BUILDING WIDTH REQUIRED.

25' MAX. HEIGHT REQUIRED.

COMMERCIAL USE ALLOWED BY SPECIAL USE PERMIT.

PARKING REQUIRED.

OFFICES:

- (1) SPACE PER 200 S.F. MINIMUM
- (2) SPACE PER 100 S.F. MINIMUM

FURNITURE AND APPLIANCES/HOUSEHOLD EQUIPMENT STORAGE:

- 1210 S.F. STORAGE SPACE/ROOM = 15 SPACES
- 1210 S.F. OFFICE SPACE/ROOM = 30 SPACES
- 4244 S.F. OFFICE SPACE/ROOM = 71 SPACES
- TOTAL PROVIDED = 41 SPACES (INCLUDING (2) ACCESSIBLE SPACES)

EXISTING BUILDING: 12487 S.F.

PROPOSED BUILDING ADDITION: 17469 S.F.

PROPOSED OFFICE ADDITION HEIGHT: 14'-6" (TO MATCH EXISTING)

PROPOSED STORAGE BUILDING: 1400 S.F.

PROPOSED STORAGE BUILDING HEIGHT: 22 FT.

EXISTING BUILDING COVERAGE: 18%

PROPOSED BUILDING COVERAGE: 20%

NO HANDICAP COVERAGE LIMITATION.

ENCASING PLAN.

RETAIL STORE TO OCCUPY AUGUST 2014
 ADDITION TO BE COMPLETED BY APRIL 2020
 STORAGE BUILDING TO BE COMPLETED IN 2020

LANDSCAPING CALCULATIONS.

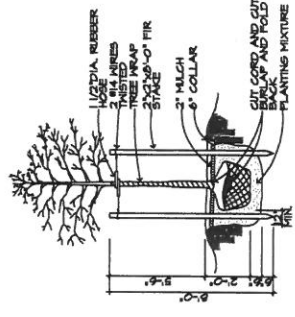
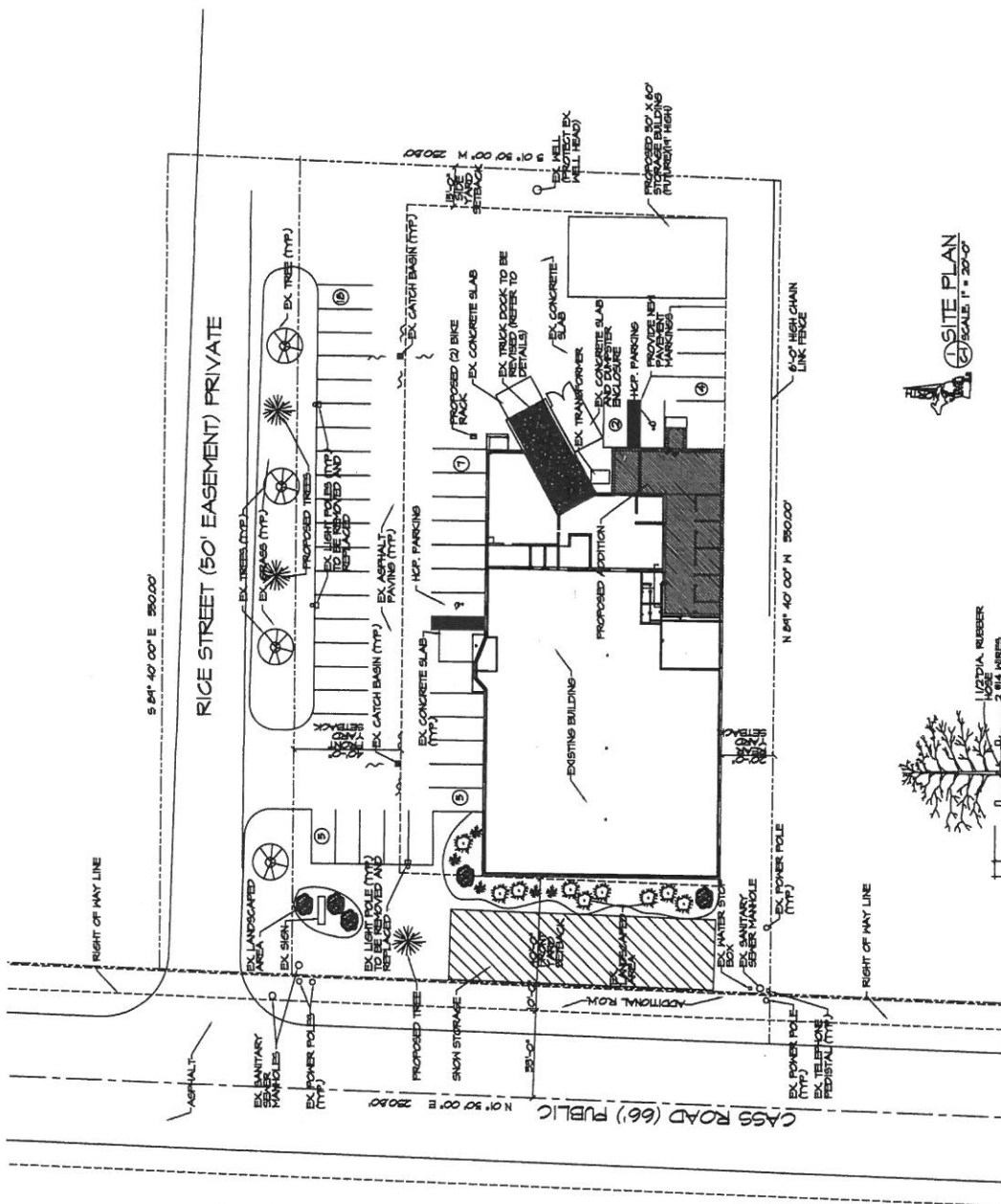
EX. LANDSCAPING TO BE INCREASED BY 20% DUE TO PROPOSED BUILDING INCREASING BY 20%.

EXISTING LANDSCAPE AREA = 2290 S.F.
 PROPOSED LANDSCAPING = 458 S.F.
 TOTAL REQUIRED LANDSCAPING = 2,748 S.F.

PROPOSED LANDSCAPING = 458 S.F.
 TOTAL LANDSCAPE AREA PROVIDED = 2,688 S.F.

SNOW STORAGE CALCULATIONS.

EXISTING PARKING AREA = 25,101 S.F.
 REQUIRED SNOW STORAGE = 10 S.F./100 S.F. PARKING AREA
 REQUIRED SNOW STORAGE = 2,510 S.F.
 PROVIDED SNOW STORAGE AREA = 2,670 S.F.



PLANT LIST

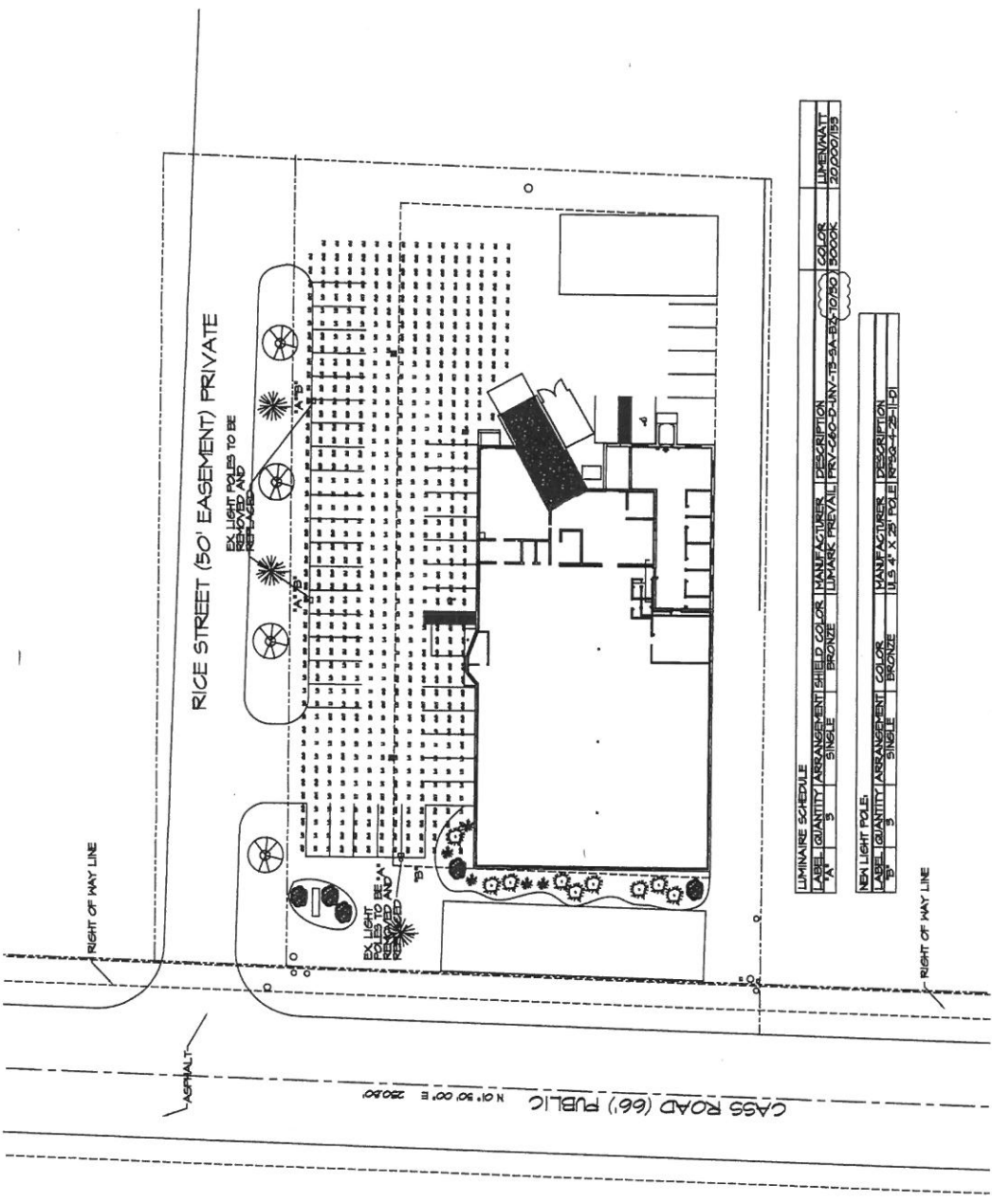
RETENTIONAL AND COMMON NAME (RTZ SIZE) (ROOT INK MARKS)

AS | **QTY** | **DBH** | **BIB** | **QUALITY SPECIMEN**

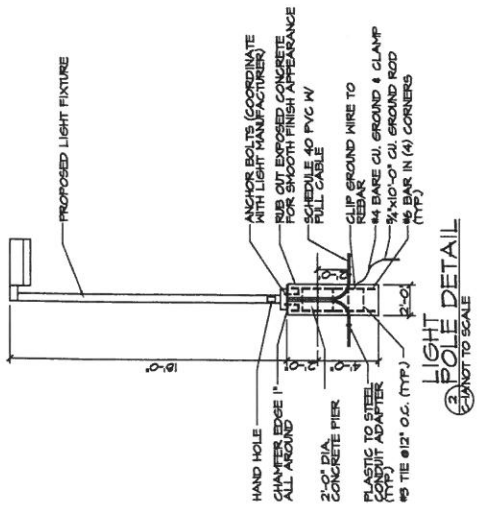
Canopy Trees				
Aspen				
Redstart				
Robin				

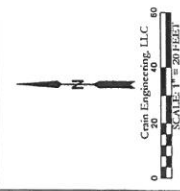
② DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE

JPL DESIGN GROUP, LTD., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

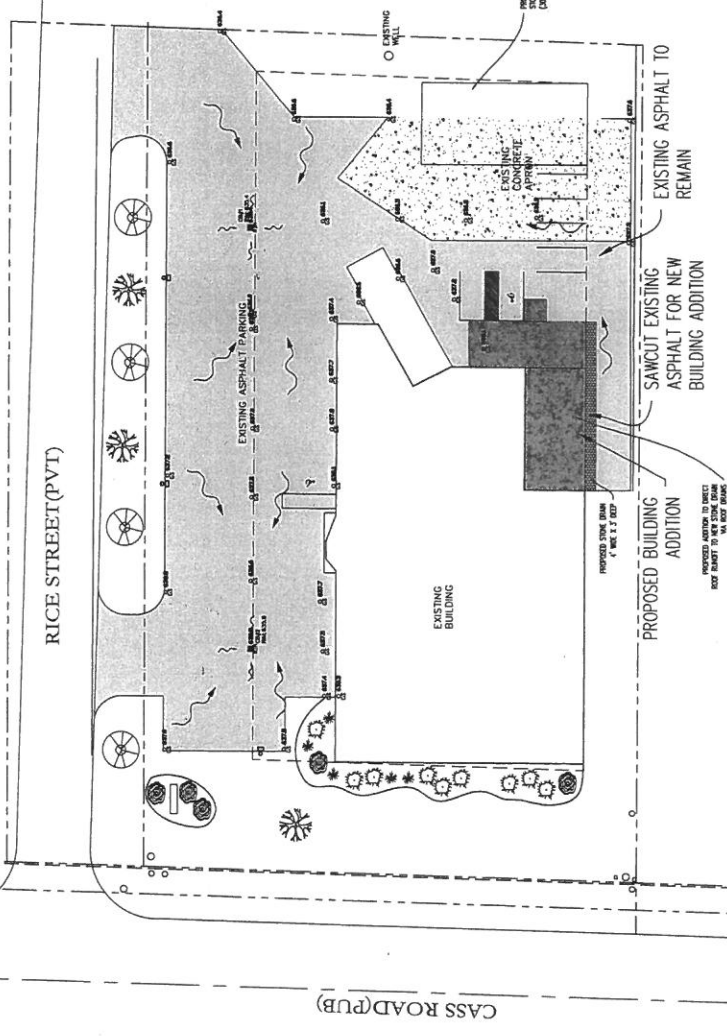


LUMINAIRE SCHEDULE	MANUFACTURER	DESCRIPTION	COLOR	QUANTITY
ASSEMBLY SHIELD	MANUFACTURER	DESCRIPTION	COLOR	QUANTITY
ASSEMBLY SHIELD	MANUFACTURER	DESCRIPTION	COLOR	QUANTITY





SITE DATA
 PROJECT OWNER & APPLICANT:
 HABITAT FOR HUMANITY
 139 WOODBERRY AVE, SUITE F
 TROY, MI 48068
 PARCEL ADDRESS: 2467 RICE STREET, TC
 PARCEL ID: 150 GENERAL INDUSTRIAL
 PERMIT NO: 15010000040
 SITE NO: 15010000040
 FRONT: 427
 DEPTH: 157
 ZONING: I-1
 BUILDING EXPANSION OVER EXISTING PARKING AREA

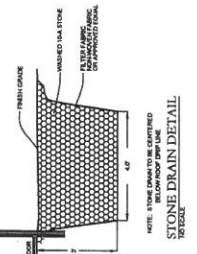


STONE DRAIN # NEW ADDITION

Location	1871 sq ft
Drainage Area	1871 sq ft
Storage Required	607 cu ft
Void Ratio for Stone	50 %

Calculated depth based on length & width

Stone Volume	0 cu ft
Area	620 sq ft
Width	4 ft
Area	248 sq ft
Infiltration	248 cu ft
Remaining	359.02 cu ft
Depth req.	2.89 ft
Depth avail.	2.89 ft
Storage Provided	620 cu ft




Crain Engineering, LLC
 Engineering, Consulting, & Design
 7622 Bolt Road
 Buckley, MI 49620
 Phone: (231) 832-4207
 Cell: (231) 947-7255
 email: crainengineeringllc@gmail.com

DRWN BY: WLC
 DSN BY: WLC
 DATE: 10-29-2019
 11-16-2019 STORMWATER NEW ADDITION

HABITAT FOR HUMANITY
 TML DESIGN GROUP
 GRAND TRAVERSE COUNTY, MICHIGAN
 GARFIELD TWP

JOB NUMBER:
146319
 SHEET C-2

 Charter Township of Garfield Planning Department Report No. 2020-3			
Prepared:	January 2, 2020	Pages:	8
Meeting:	January 8, 2020 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SUP-2019-06 Michigan State University Federal Credit Union – Findings of Fact		
File No.	SUP-2019-06	Parcel No.	05-016-012-00 & 05-016-013-00
Owner:	Michigan State University Federal Credit Union		
Agent:	Gosling Czubak Engineering Sciences, Inc.		

BRIEF OVERVIEW:

- 3750 N. US 31
- 4.62 acres, combined for two parcels
- Existing uses include offices and a vacant site
- C-G General Commercial zoning district

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit (“SUP”) for a financial institution including a drive-through. Drive-in or drive-through businesses not otherwise identified are permitted via special use permit in the C-G district.

SUBJECT PROPERTY:

The site is located on the east side of US 31, just south of Big Boy and across from Meijer. The applicant plans to merge the two subject parcels, demolish the existing buildings, and construct a new building for a financial institution with a drive-through. There are two existing access drives for the site, one drive for each of the existing parcels. The proposed drive-through would include three drive-through service lanes at the back of the site.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



The project was introduced to the Planning Commission on November 13, 2019 and a public hearing was held on December 11, 2019. The applicant has made several adjustments to the site plan based on input from the Commissioners.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

ZONING ORDINANCE STANDARDS FOR DRIVE-THROUGH USES:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

1. Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.

The site plan shows three drive-through service lanes at the back of the building and two ATM lanes near the southern edge of the site. Service will be provided to customers in automobiles; all other proposed activities would be inside the building.

2. A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.

The drive-through lanes are proposed for the back of the building; setbacks are at least 60 feet.

3. Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.

There are no intersecting streets within 50 feet.

4. Pedestrian areas shall be clearly marked and maintained.

The site plan shows internal sidewalks around the front and sides of the building and a designated connection to the path on US 31, using part of one of the existing access drives. Based on input from the Planning Commission and staff research on the Ordinance, the northerly curb cut at US 31 shall be removed and the ingress-egress access drive converted to a pedestrian-only connection.

5. Only one (1) ingress-egress drive shall be allowed per major thoroughfare.

There are two existing ingress-egress drives for this site. The southern drive will be the only ingress-egress drive and allow for two-way traffic. Based on input from the Planning Commission and staff research on the Ordinance, the northerly curb cut at US 31 shall be removed and the ingress-egress access drive converted to a pedestrian-only connection.

6. All parking requirements shall comply with Article 5 of this Ordinance.

Financial institutions have a minimum parking requirement of 1 space for each 200 square feet of floor area and a maximum 1 space for each 100 square feet of floor area. The proposed building will be 10,131 square feet, giving a minimum of 51 spaces and a maximum of 102 spaces. There will be 58 total parking spaces, including 4 barrier-free, as well as 1 loading space.

Bicycle parking shall be provided at the rate of 2 spaces per 25 motor vehicle spaces. There are 3 bike racks proposed which will give space for 6 bicycles which meets this standard.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long, which is shown on the north side of the site.

7. Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.

Upon combination of the parcels, the lot width will be 460 feet.

8. Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required

queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).

There are 3 drive-through service lanes. The architectural site plan demonstrates that 12 cars can be accommodated by these drive-through lanes. There are also two ATM lanes at the southern end of the site, but these are not considered to be drive-through lanes.

9. Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.

This requirement shall be enforced as needed as part of the operation of the site.

10. The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

The applicant shall provide information demonstrating that this requirement is met to include as part of the approval process for this project.

Other site plan elements which the Planning Commission may consider include the following:

Natural Features

The site is adjacent to Kids Creek and a nearby wetland area. Specifically, the site is near state-regulated wetlands. The applicant had a wetland delineation performed by their engineer; the wetland delineation shall also be reviewed by another qualified engineer. The Planning Commission has required applicants in the past to obtain EGLE certification of the wetland delineation, although this is not a requirement specifically listed in the Zoning Ordinance.

The proposed redevelopment area has no significant natural features, with all building to take place with a buffer from Kids Creek and the wetlands. Several aspects of the proposal, such as landscaping and storm water management, will be designed to have no negative impacts on the delicate natural features.

Cross-Access

The parking lot will have two stubs for future connections to neighboring sites allowing for cross-access and ingress-egress between sites. As part of this process, an easement shall be recorded to document the cross-access agreement. Also, the cross-access connections to both the north and south neighboring sites shall be paved to the lot line.

Snow Storage

The site plan identifies the total parking lot area as 42,145 square feet. Snow storage is required as a rate of 10 square feet per 100 square feet. The southern and eastern parts of the site near the detention basis are designated as the snow storage area, shown as totaling 4,330 square feet which exceeds the minimum requirement.

FINDINGS OF FACT:

At its December 11, 2019 meeting, the Planning Commission unanimously passed a motion directing the Staff to prepare Findings of Fact for the application, which are provided below for your consideration:

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The site is in the C-G General Commercial zoning district. Drive-in or drive-through businesses not otherwise identified are permitted via special use permit in the C-G district.
- The Master Plan identifies this site as Commercial on the Future Land Use map. The commercial designation indicates where commercial uses of varying intensity may be appropriate. The C-G district is one of the potentially compatible zoning districts for the Commercial designation.
- The site will be able to meet all regulations of the C-G zoning district.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- There are other drive-through uses along US 31 in the C-G zoning district, including the 4Front Credit Union and Walgreens sites. The proposed use is compatible with the existing and planned character of the neighborhood and with adjacent uses.
- The proposed design is appropriate given the natural environment features of the site, including the creek and wetlands. There will be native landscaping elements along the creek to restore the buffer area for the creek.
- The applicant had a wetland delineation performed by their engineer; the wetland delineation shall also be reviewed by another qualified engineer. The Planning Commission has required applicants in the past to obtain EGLE certification of the wetland delineation. Although this is not a requirement specifically listed in the Zoning Ordinance, including EGLE certification as a condition of approval would help meet this standard of special use approval.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use of a financial institution with drive-through is not expected to be detrimental to the surrounding uses or to the public welfare and is not expected to generate any nuisances.
- The proposed lighting and photometric plan address all lighting requirements of the Ordinance.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- As stated above, there will be native landscaping elements along the creek to restore the buffer area for the creek.
- The applicant had a wetland delineation performed by their engineer; the wetland delineation shall also be reviewed by another qualified engineer. The Planning Commission has required applicants in the past to obtain EGLE certification of the wetland delineation. Although this is not a requirement specifically listed in the Zoning Ordinance, including EGLE certification as a condition of approval would help meet this standard of special use approval.
- The other landscaping elements on the site plan meet the buffer standards of the Ordinance.
- Traffic is expected to be reasonable for the use in this district, though the applicant shall provide a statement that the site is suitable for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering, in accordance with Section 730.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- As stated above, there will be native landscaping elements along the creek to restore the buffer area for the creek.
- The applicant had a wetland delineation performed by their engineer; the wetland delineation shall also be reviewed by another qualified engineer. The Planning Commission has required applicants in the past to obtain EGLE certification of the wetland delineation. Although this is not a requirement specifically listed in the Zoning Ordinance, including EGLE certification as a condition of approval would help meet this standard of special use approval.
- The proposed building and parking lot area will be on previously developed land. The proposed project would not increase the total developed area on the site.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Municipal water and sewer facilities exist along US 31 and currently serve the site.
- The applicant proposes to manage storm water on the site with a detention basin. Details for the storm water management system are being reviewed by the Township Engineer.
- Significant additional demand for schools and police and fire protection is not anticipated.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will not be detrimental to the public health safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The public interest and welfare are well served by the proposed use, which is allowed via special use permit in the C-G district.
- No opposition to the project was heard at the December 11, 2019 Planning Commission meeting public hearing or via correspondence.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The applicant proposes to use one of existing ingress-egress drives. The southernmost drive would be the ingress-egress point.
- Based on input from the Planning Commission and staff research on the Ordinance, the northerly curb cut at US 31 will be removed and the ingress-egress access drive converted to a pedestrian-only connection crossing Kids Creek.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The site design will allow for safe vehicular traffic throughout the site. The drive-through lanes at the rear of the site will allow for enough queueing space to avoid traffic conflicts.
- Pedestrians will be accommodated via sidewalks going around the building and the site will also have a pedestrian walkway connection to the Mall Trail.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use is permitted via special land use permit in the C-G district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

ACTION REQUESTED:

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2019-06, as presented in Planning Department Report 2020-3 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT application SUP-2019-06 BE APPROVED, subject to the following conditions:

1. As per the requirements of Section 730, if the queuing of vehicles interferes with the free flow of traffic on the public roadway, then the Special Use Permit holder is subject to enforcement such as fines, injunctive relief and/or revocation of the Special Use Permit.
2. Provide a statement that the site is suitable for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
3. EGLE certified delineation regarding the regulated/unregulated nature of wetlands on the site. In lieu of this condition, the applicant's wetland delineation may be reviewed by another qualified engineer.
4. An easement shall be recorded to document the cross-access agreement.
5. The cross-access connections to both the north and south neighboring properties shall be paved to the lot line. If the north cross-access connection is not provided to the lot line, then it shall be a condition of this approval that the property owner shall extend the driveway to the lot line when a paved stub connection at the property line is made available by the adjacent property owner.
6. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
7. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
8. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.
9. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
10. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within ninety (90) days of final approval by the Township or approval shall be considered to have expired.

Any additional information that the Commissioners deem necessary should be added to this motion.

Attachment:

1. 11" x 17" site plan set from applicant dated January 2, 2020

Michigan State University Federal Credit Union 3750 N. US 31

Traverse City, MI 49684

OWNER
Michigan State University
Federal Credit Union
3777 West Road
East Lansing, Michigan 48823
(517) 333-2424 ex. 2207

ARCHITECT
NEUMANN/SMITH
ARCHITECTURE
400 GALLERIA OFFICENTRE, SUITE 555
SOUTHFIELD, MICHIGAN 48034
(248) 352-8310

**CONSTRUCTION
MANAGER**
Granger
6267 Aurelius Road
Lansing, Michigan 48911
(517) 887-4127

CIVIL ENGINEER
Gosling Czubak Engineering
Sciences, Inc
1280 Business Park Dr, Traverse City,
Michigan 49686
(231) 846-8191

**LANDSCAPE
ARCHITECT**
Gosling Czubak Engineering
Sciences, Inc
1280 Business Park Dr, Traverse City,
Michigan 49686
(231) 846-8191

**STRUCTURAL
ENGINEER**
SDI Structures
275 E. Liberty Street
Ann Arbor, Michigan 48104
(734) 213-6901

**MECH / ELECT
ENGINEER**
Strategic Energy Solutions,
Inc.
4000 W. Eleven Mile Road
Berkley, Michigan 48072
(248) 399-1900

CODE DATA	
CODES OF JURISDICTION	1. 2015 MICHIGAN BUILDING CODE
	2. MICHIGAN PLUMBING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
	3. MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL ENERGY CODE
	4. MICHIGAN UNIFORM ENERGY CODE INCORPORATING THE 2009 EDITION OF THE INTERNATIONAL ENERGY CODE
	5. 2014 NATIONAL ELECTRICAL CODE (NEC) WITH MICHIGAN ELECTRICAL CODE
	6. AMERICANS WITH DISABILITY ACT - ACCESSIBILITY GUIDELINES (ADAAG)
BUILDING DATA	1. STORES
	TOTAL GROSS SQUARE FOOTAGE: 10,131 SF
	USE GROUP: B
	CONSTRUCTION TYPE: SB
	FIRE SUPPRESSION TYPE: FULLY SPRINKLERED
	MIXED OCCUPANCIES: NA
	FIRE RESISTANCE RATING:

Location Map



INDEX OF DRAWINGS	
NO.	SHEET TITLE
01	GENERAL
02	FOUNDATION
03	FOUNDATION PLAN
04	FOUNDATION PLAN
05	FOUNDATION PLAN
06	FOUNDATION PLAN
07	FOUNDATION PLAN
08	FOUNDATION PLAN
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100	FOUNDATION PLAN



Site Plan Approval 01-02-2020
Site Plan Approval 11-28-2019
Site Plan Approval 10-10-2019

Job Number
2018015.13
Title
TITLE SHEET

DESCRIPTION	REQUIRED	PROVIDED
MINIMUM BUILDING SETBACKS:		
FRONT YARD	40' 0"	85' 4"
REAR YARD	25' 0"	283' 1"
SIDE YARD	25' 0"	127' 0" SOUTH - MEASURED PERPENDICULAR TO PROPERTY LINE
MINIMUM PARKING SETBACKS:		
50' FROM KIDS CREEK	10' 0"	10' 0"
25' FROM WETLANDS	10' 0"	10' 0"
MAXIMUM BUILDING HEIGHT:	35' 0"	35' 3.34'

DESCRIPTION	REQUIRED	PROVIDED
PARKING REQUIREMENTS		
8' 0" - 10' 0" WIDE X 20' 0" WIDE X 20' DEEP		
PARALLEL - 8' 0" X 20' 0" SPACES		
LOADING / UNLOADING AREA	(1) SMALL	PROVIDED
TOTAL GROSS SQUARE FOOTAGE	10,131 SF	
1 SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA (MIN)	10,131 / 200 = 50.66 = 51 MIN	
1 SPACE PER 100 SQ. FT. OF GROSS FLOOR AREA (MAX)	10,131 / 100 = 101.31 = 101 MAX	
BARBER FREE SPACES	688 = 13 SPACES	4 SPACES
EXPANDED SPACES	51 MIN, 101 MAX	56 SPACES
TOTAL NUMBER OF SPACES PROVIDED		59 SPACES

ADA TABLE 202.2 PARKING SPACES	
TOTAL NUMBER OF PARKING SPACES	MINIMUM NUMBER OF RESERVED ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3

Architecture
NEUMANN/SMITH
SOUTHFIELD - DETROIT
400 Galleria Officentre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
www.neumannsmith.com

MICHELAN
FEDERAL CREDIT UNION
Michigan State University
Federal Credit Union
3750 N. US. 31
Traverse City, MI 49684



Issued for

Site Plan Approval - 01.02.2020
95% Owner Review -
12.13.2019
Site Plan Approval - 11.26.2019
Design Development -
09.06.2019
Site Plan Approval - 10.10.2019
Schematic Design - 09.06.2019

RMV Professional
Checked Record
SM Record
Scales: Use Full Scale
Dimensions only

2018015.13
DEMOLITION PLAN

Scale: As Noted

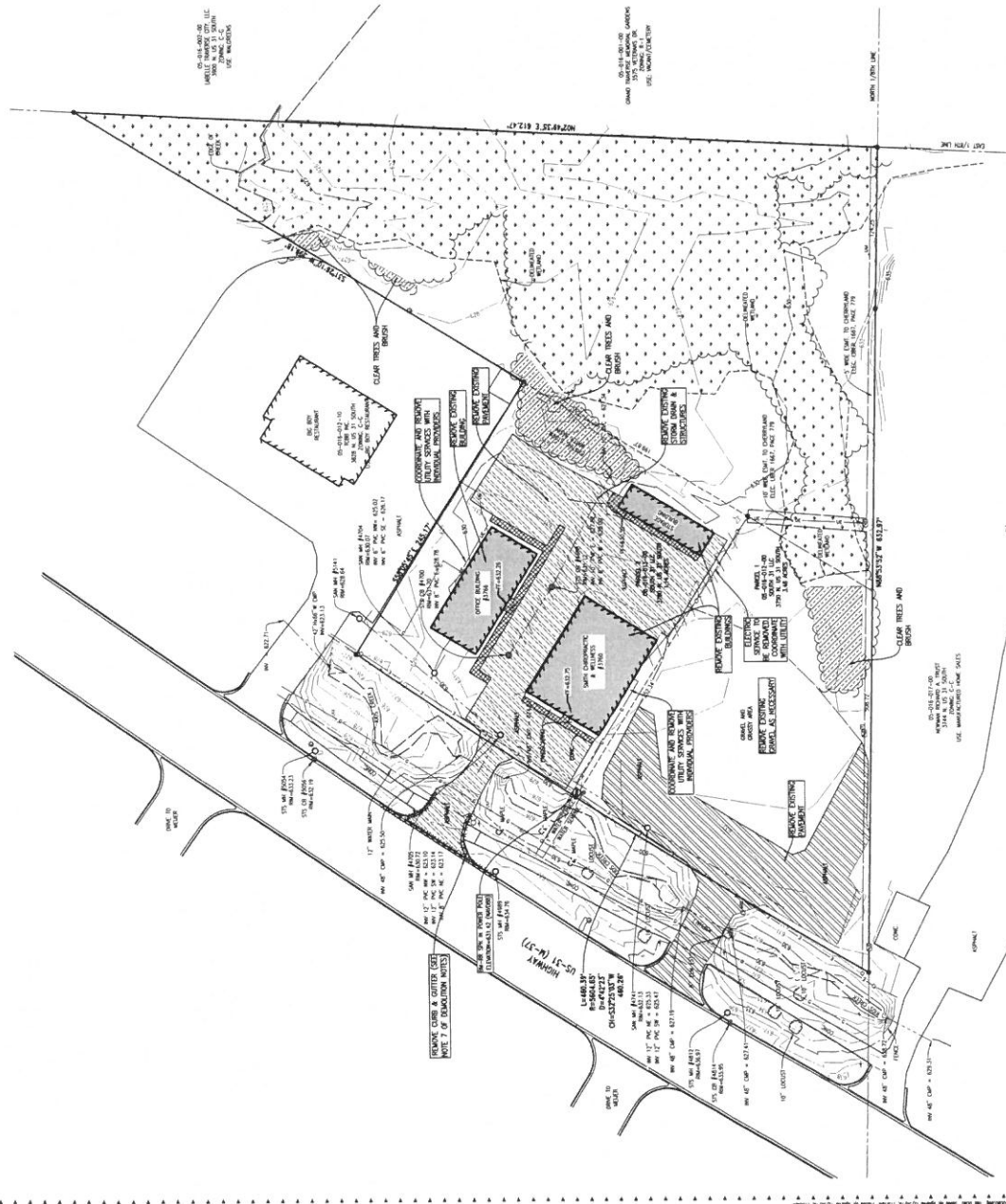


DEMOLITION LEGEND

- BUILDING FOOTING (SEE ARCH. & STRUCTURE)
- ASPHALT PAVEMENT
- SIDEWALK PAVEMENT
- TREE / BRUSH CLEARING
- CURB AND GUTTER REMOVAL
- UTILITY REMOVAL
- REMOVE EXISTING TREE/BRUSH

DEMOLITION NOTES

1. CONTRACTOR SHALL CALL MGS DCS (811) A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL PROVIDE TEMPORARY SAFETY FENCE AREAS AS REQUIRED TO PROTECT WORK AND GENERAL PUBLIC.
3. CONTRACTOR SHALL INVESTIGATE EXISTING AND LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE RESULT OF CONTRACTOR'S OPERATIONS.
4. ALL ITEMS NOT INDICATED FOR REMOVAL SHALL REMAIN UNDISTURBED AND PROTECTED. CONTRACTOR SHALL FULLY DEMOLISH AND REMOVE ALL ITEMS NOT INDICATED FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. PROTECT EXISTING TREES NEAR WORK AREA THAT ARE TO REMAIN.
6. ALL LIGHTING AND ELECTRICAL ITEMS INDICATED FOR REMOVAL SHALL BE COORDINATED WITH THE ELECTRICAL SITE DRAWINGS.
7. ALL CONCRETE PAVEMENT AND CURB REMOVALS SHALL BE TO THE NEAREST JOINT BEYOND INDICATED EXTENT.
8. CONTRACTOR SHALL MAINTAIN CLEAN SAW CUT EDGES FOR ALL CONCRETE REMOVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO PROTECT THE EDGE WILL BE SAW CUT BEYOND THE BREAKS AT THE NEAREST JOINT.
9. ALL EXISTING UTILITY LOCATIONS SHALL BE FULLY COORDINATED WITH LAYOUT / GRADING PLANS.
10. OWNER TO COORDINATE WITH RESPECTIVE UTILITY COMPANY AND OTHER CONSULTANT PLANS FOR ANY REMOVAL/RELOCATION OF ELECTRICAL, CABLE, TELEPHONE, AND GAS LINES.
11. CONTRACTOR SHALL REPAIR ALL DISTURBED TURF AREAS TO ORIGINAL CONDITION.
12. ALL FERTILIZER AND ORGANIC MATERIAL SHALL BE REMOVED FROM UNDER PROPOSED BUILDING, FOOTINGS, SLABS, AND PAVED AREAS.
13. ALL SOIL AND UNDERGROUND SERVICES TO BE REMOVED AND ALL SOIL REPAVED IN A CLEAN MANNER.
14. DISCHARGE OF WATER, DUST, OR OILS FROM CONCRETE AND ASPHALT WORK TO STORM OR SANITARY SYSTEMS IS PROHIBITED.
15. STORM DRAINS MUST BE PROTECTED FROM DUST AND OILS.
16. ASPHALT REPAIRS USING CONCRETE AND ASPHALT WORK (INCLUDING SWEEPING AND SAMCOATING) MUST BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED CONTROLS INCLUDE MET VACUUM OR ABSORBENTS.
17. ALL ELEMENTS OF EXISTING IMPROVEMENT DEMOLITION ARE TO BE COMPLETELY REMOVED FROM SITE AND DISPOSED OF IN AN APPROPRIATE MANNER.



DEMOLITION PLAN
SCALE: 1" = 40'



Know what's below.
Call before you dig.

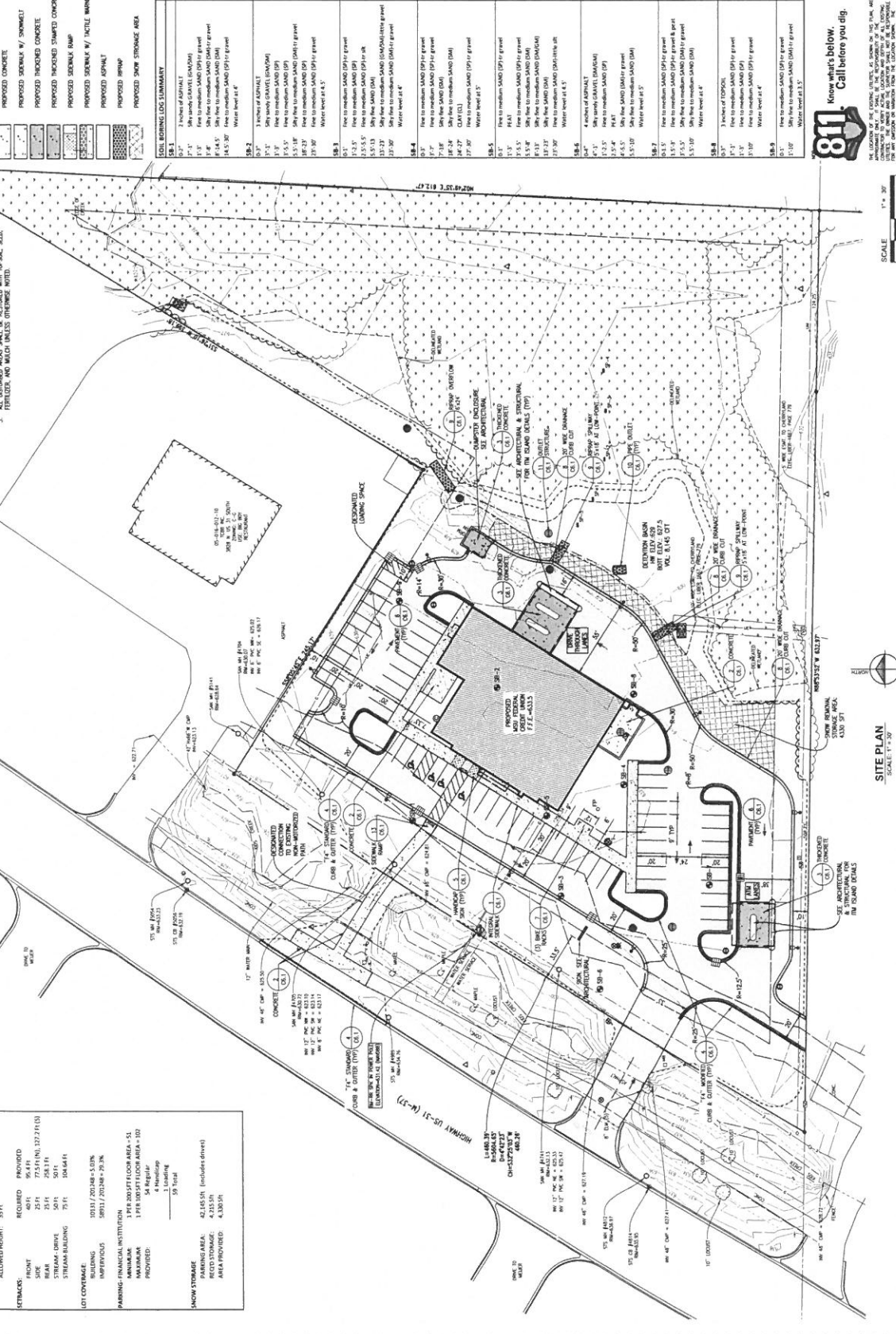


THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION WORK. THE LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN UNDISTURBED AND PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN UNDISTURBED AND PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN UNDISTURBED AND PROTECTED AT ALL TIMES.

SITE PLAN LEGEND

LIMITS OF DISTURBANCE
EXISTING & PROPOSED MOST F4
EXISTING & PROPOSED MOST F4
PROPOSED STORM STRUCTURES
PROPOSED CONCRETE
PROPOSED SITE LIGHT
PROPOSED FENCE POLE
PROPOSED BUILDING EXPANSION
PROPOSED CONCRETE
PROPOSED SIDEWALK W/ SKINWALK
PROPOSED THICKENED CONCRETE
PROPOSED THICKENED CONCRETE
PROPOSED SIDEWALK RAMP
PROPOSED SIDEWALK W/ TACTILE BANDING
PROPOSED ASPHALT
PROPOSED ASPHALT
PROPOSED SNOW STORAGE AREA

- ### SITE PLAN NOTES
- ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH CURRENT AND SUPPLEMENTARY LOCAL ORDINANCES.
 - ALL IMPROVEMENTS ARE TO BACK OF CURB FACE OF CURB OR EDGE OF CONCRETE UNLESS OTHERWISE NOTED.
 - FOLLOWING LAYOUT OF ALL MATERIALS, CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE.
 - ANY IMPROVEMENTS IN THE LAYOUT PLAN SHOULD BE IMMEDIATELY REPORTED TO OWNER'S REPRESENTATIVE.
 - FERTILIZER AND MULCH UNLESS OTHERWISE NOTED.



SITE DATA

ZONING: C-3, General Commercial
PARCEL AREA: 4.62 Acres (Combined)
201,248 SF
PROPOSED BUILDING DATA: Estimated Distribution of Floor Area
AREA: 103,531 SF
HEIGHT: 5 STORY, 25.31 FT
ALLOWED HEIGHT: 35 FT

SETBACKS:
FRONT: 45 FT
REAR: 25 FT
STREAM DRIVE: 50 FT
STREAM BUILDING: 75 FT

LOT COVERAGE:
BUILDING: 103,531 / 202,748 = 5.09%
IMPERVIOUS: 303,117 / 202,748 = 29.76%

PARKING FINANCIAL INSTITUTION:
MINIMUM: 1 PER 200 SF FLOOR AREA - 51
MINIMUM: 1 PER 1,000 SF FLOOR AREA - 10
PROVIDED: 54 Regular, 2000 - 100
4 Handicap

SNOW STORAGE:
REQUIRED: 42,145 SF (includes driveway)
REC'D STORAGE: 4,215 SF
AREA PROVIDED: 4,330 SF

SOIL BORING LOG SUMMARY

SB-1	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-2	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-3	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-4	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-5	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-6	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-7	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-8	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-9	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-10	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-11	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-12	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-13	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-14	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-15	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-16	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-17	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-18	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-19	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-20	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-21	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-22	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-23	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-24	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-25	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-26	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-27	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-28	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-29	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-30	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-31	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-32	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-33	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-35	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-39	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-40	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-41	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-42	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-43	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-46	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-58	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-59	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-60	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-61	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-62	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-68	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-69	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-74	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-77	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-79	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-80	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-81	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-82	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-84	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-85	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-86	1. Holes of ASPHALT	1.0'	1.0'	1.0'
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SB-92	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-93	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-94	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-95	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-96	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-97	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-98	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-99	1. Holes of ASPHALT	1.0'	1.0'	1.0'
SB-100	1. Holes of ASPHALT	1.0'	1.0'	1.0'

PROPOSED CONCRETE

PROPOSED CONCRETE

PROPOSED ASPHALT

PROPOSED ASPHALT

PROPOSED SNOW STORAGE AREA

PROPOSED SNOW STORAGE AREA

PROPOSED SIDEWALK RAMP

PROPOSED SIDEWALK RAMP

PROPOSED SIDEWALK W/ SKINWALK

PROPOSED SIDEWALK W/ SKINWALK

PROPOSED THICKENED CONCRETE

PROPOSED THICKENED CONCRETE

PROPOSED THICKENED CONCRETE

PROPOSED THICKENED CONCRETE

PROPOSED SIDEWALK RAMP

PROPOSED SIDEWALK RAMP

PROPOSED SIDEWALK W/ TACTILE BANDING

PROPOSED SIDEWALK W/ TACTILE BANDING

PROPOSED ASPHALT

PROPOSED ASPHALT

PROPOSED ASPHALT

PROPOSED ASPHALT

PROPOSED SNOW STORAGE AREA

PROPOSED SNOW STORAGE AREA

Site Plan Approval - 01.02.2020
95% Over Review -
12.13.2019
Site Plan Approval - 11.26.2019
Design Development -
10.11.2019
Approval - 09.05.2019
Schematic Design - 09.05.2019

RMV
Checked
Approved
SC
18
2018015.13
SITE PLAN

Do not scale
Approval
SC
18
2018015.13
SITE PLAN

Scale: As Noted
Sheet
CS-0

Know what's below.
Call before you dig.
811

SCALE 1" = 30'
0' 30' 60'

THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. THE EXISTING UTILITIES ARE NOT TO BE LOCATED OR DELETED. THE LOCATION OF THE EXISTING UTILITIES IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION OF THE EXISTING UTILITIES IS NOT TO BE USED AS A BASIS FOR DESIGN OR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION.

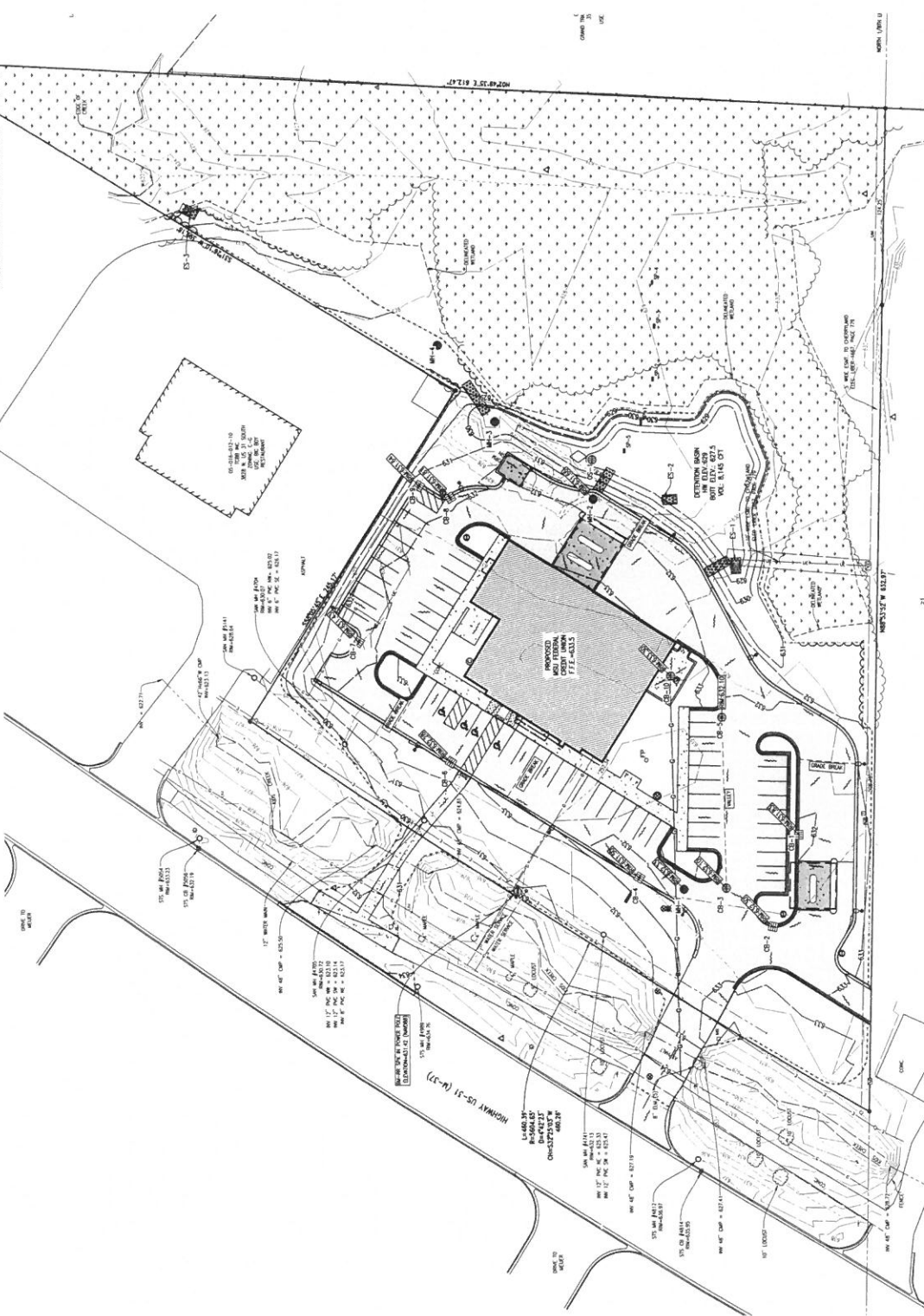


GRADING PLAN NOTES

1. ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH CURRENT ADA STANDARDS.
2. SEE UTILITY PLAN FOR ESTIMATED UTILITY INFORMATION.

GRADING PLAN LEGEND

	PROPOSED DRAINING COURSE		MATCH EXISTING ASPHALT GRADE
	MATCH EXISTING CONCRETE GRADE		MATCH EXISTING CONCRETE GRADE
	MATCH EXISTING ASPHALT GRADE		MATCH EXISTING CONCRETE GRADE
	MATCH EXISTING CONCRETE GRADE		MATCH EXISTING CONCRETE GRADE
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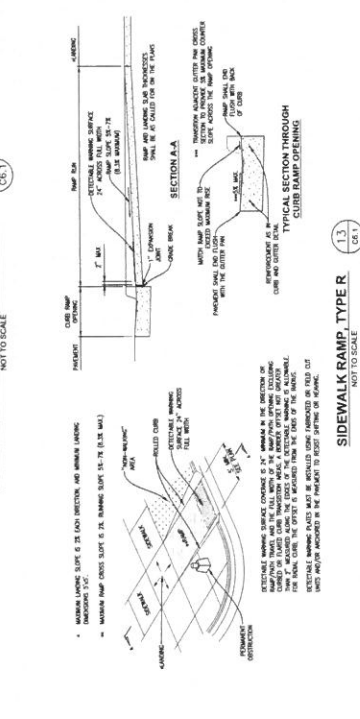
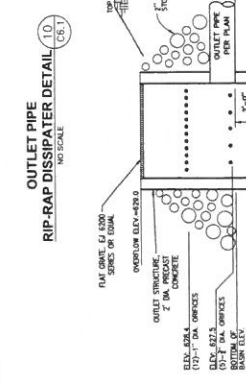
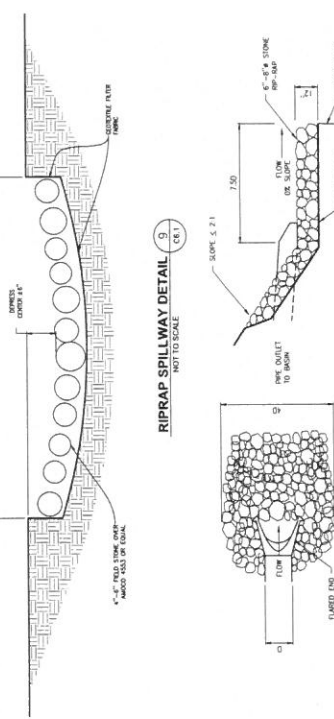
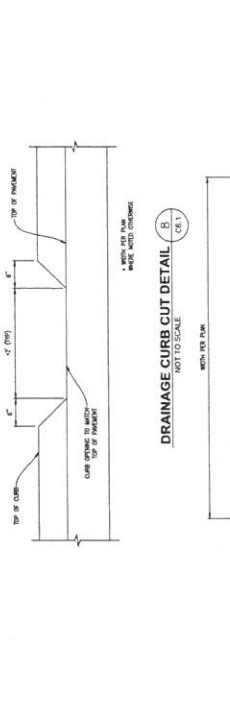
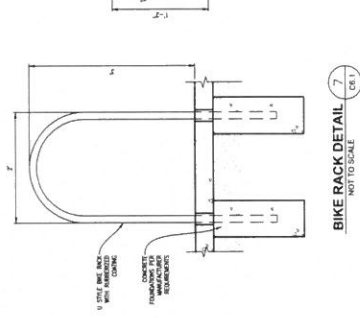
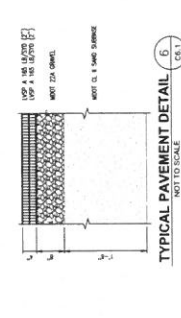
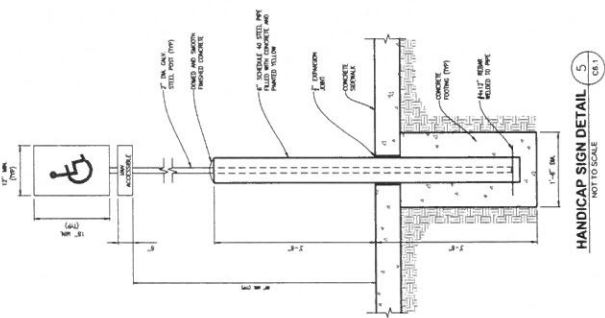
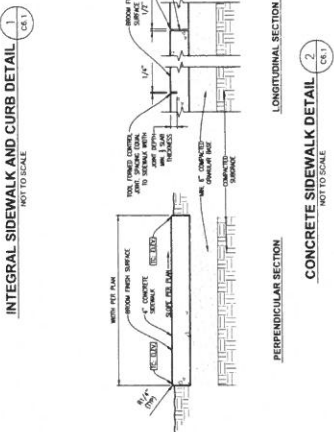
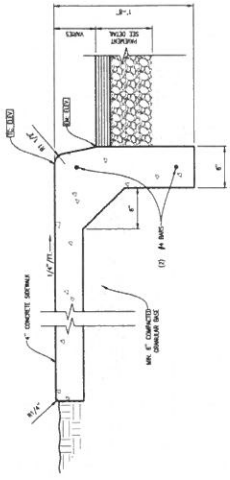


Site Plan Approval - 01.02.2020
95% Owner Review -
Site Plan Approval - 11.26.2019
Design Development -
10.11.2019
Site Plan Approval - 10.10.2019
Schematic Design - 09.06.2019

RMV Preliminary
 Construction
SM Survey
Approved Do not scale
SC Not for construction
Revision Number: 01/02/2020 ONLY

2018015.13
OVERALL GRADING PLAN

Scale: As Noted
Sheet: C4.0
SCALE 1" = 30'
0 30'

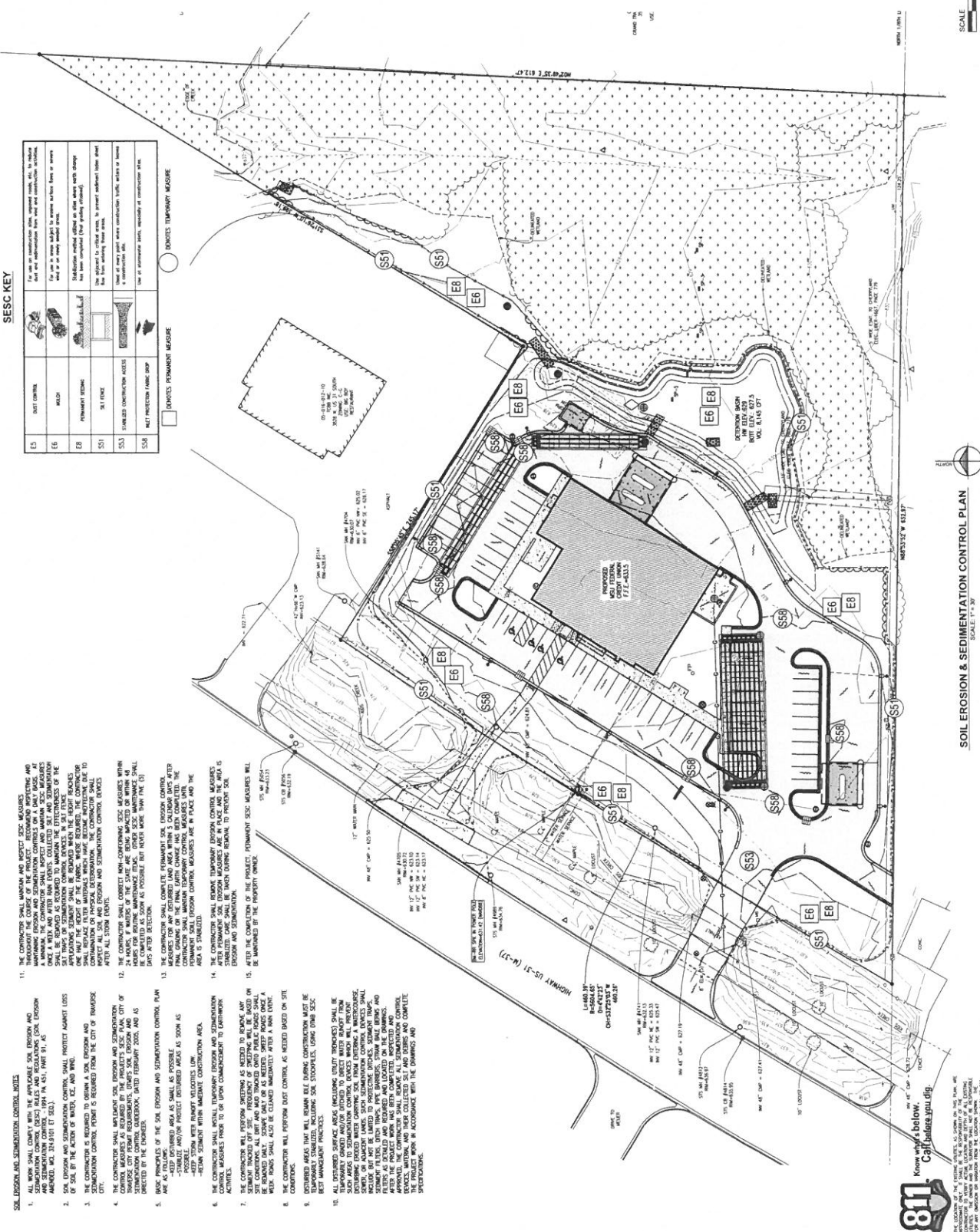


Site Plan Approval - 01.02.2020
 95% Owner Review -
 12.13.2019
 Site Plan Approval - 11.26.2019
 Design Development -
 09.06.2019
 Site Plan Approval - 10.20.2019
 Schematic Design - 09.06.2019

Checked: Preliminary
 Record
 SM: Construction
 Use/As-Built
 Notes: Review dimensions only

2018015.13
 SITE DETAILS

Scale: As Noted
 Sheet
 CB-1



SESC KEY

E5	DIRT CURBING	For dirt curb, use 18" x 18" x 18" concrete blocks. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.
E6	MASS	For curb to be able to adjust to ground surface, use 1/2" x 1/2" x 1/2" concrete blocks. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.
E8	PERMANENT SEEDING	Seeds to be sown shall be in accordance with the following: 1. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.
S51	5:1 SLOPE	Seeds to be sown shall be in accordance with the following: 1. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.
S53	SHOULDER CONNECTION ACCESS	Seeds to be sown shall be in accordance with the following: 1. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.
S58	INLET PROTECTOR (FENCE STOP)	Seeds to be sown shall be in accordance with the following: 1. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone. Use 1/2" x 1/2" x 1/2" concrete blocks for curb and curbstone.

- THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING MEASURES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING MEASURES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING MEASURES AND STRUCTURES.
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811
Know why's below.
Call before you dig.
THE LOCATION OF THE UTILITY SERVICES IS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

E8 PERMANENT SEEDING SPECIFICATIONS

When: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

Why: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

How: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

Notes: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

E6 MULCHING SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E5 DUST CONTROL SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E8 PERMANENT SEEDING SPECIFICATIONS

When: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

Why: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

How: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

Notes: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

E5 DUST CONTROL SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
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E5 SILT FENCE SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
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Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E5 SILT FENCE SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
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How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E5 SILT FENCE

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E8 PERMANENT SEEDING SPECIFICATIONS

When: 1) Project seeded areas from sediment or erodible traffic.
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Why: 1) Project seeded areas from sediment or erodible traffic.
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How: 1) Project seeded areas from sediment or erodible traffic.
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Notes: 1) Project seeded areas from sediment or erodible traffic.
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2) Unit vegetation is established.

Why: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

How: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

Notes: 1) Project seeded areas from sediment or erodible traffic.
2) Unit vegetation is established.

E58 INLET PROTECTION - FABRIC DROP

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E58 INLET PROTECTION - FABRIC DROP SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E58 STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Why: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

How: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

E58 STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

When: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or

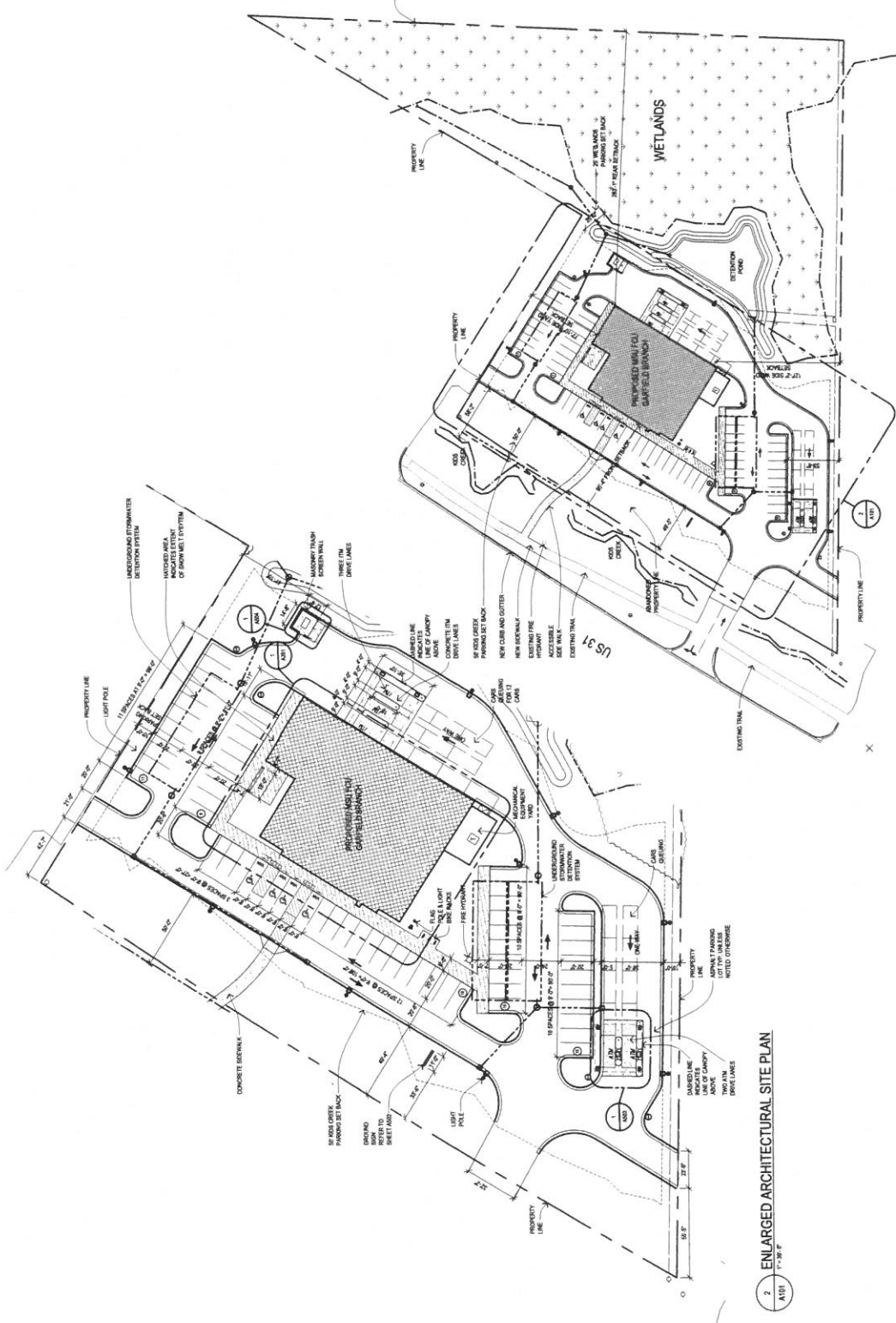
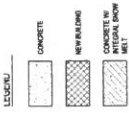
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How: 1) Areas subject to erosion, sheet flow or
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Notes: 1) Areas subject to erosion, sheet flow or
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E58 STABILIZED CONSTRUCTION ACCESS

Notes: 1) Areas subject to erosion, sheet flow or
2) Areas subject to erosion, sheet flow or



Site Plan Approval 01-02-2020
 Site Plan Approval 11-28-2019
 Site Plan Approval 10-10-2019

Drawn: Preliminary Construction
 Checked: Revised
 Scale: Do not scale
 SC: Use figure
 Region Number: _____
 Job Number: _____

2018015.13
 The
ARCHITECTURAL
SITE PLAN



1 ARCHITECTURAL SITE PLAN
 1/8" = 1'-0" @

2 ENLARGED ARCHITECTURAL SITE PLAN
 1/4" = 1'-0" @

Sheet
A101

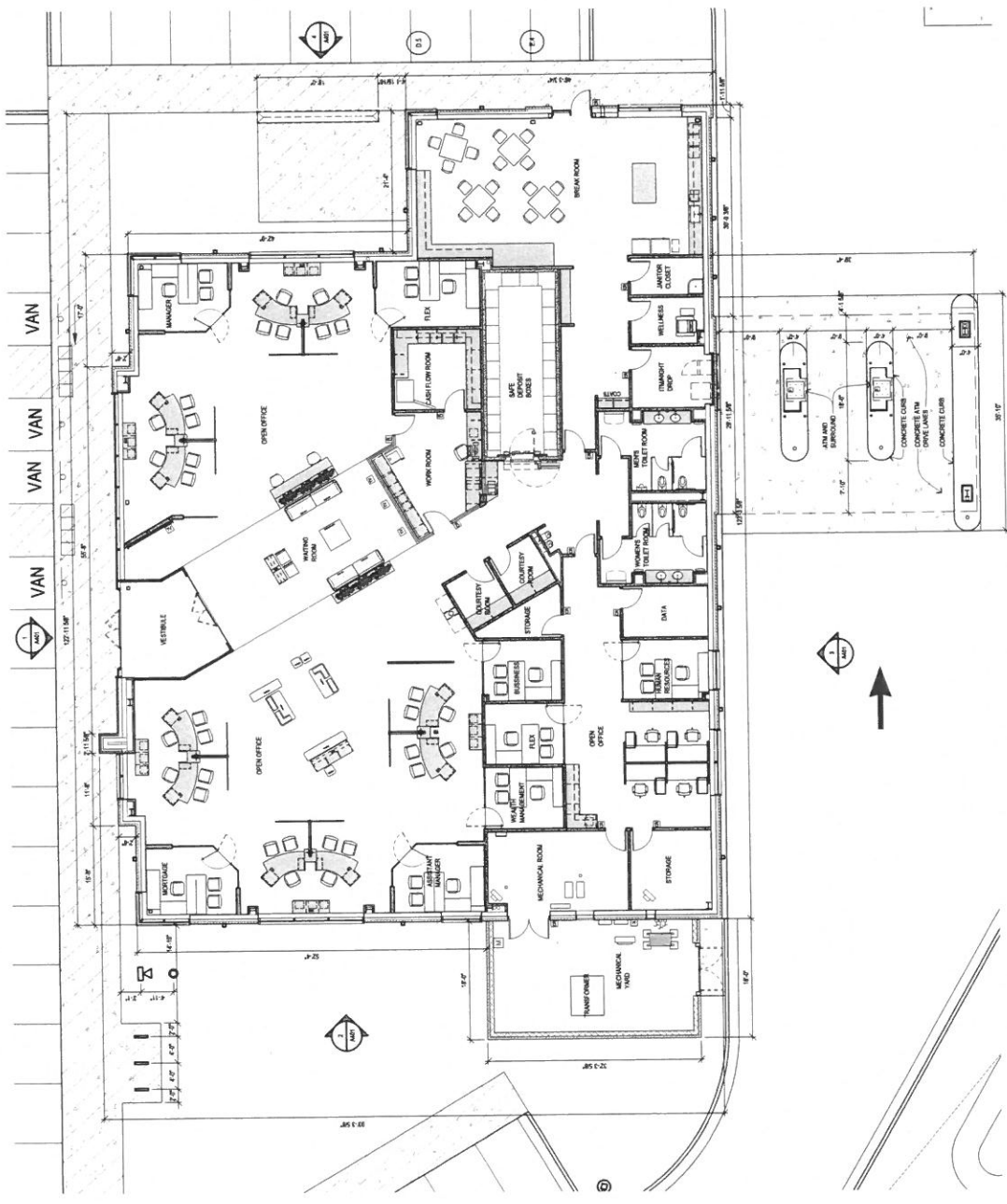


Site Plan Approval 01-02-2020
 Site Plan Approval 11-28-2019
 Site Plan Approval 10-10-2019

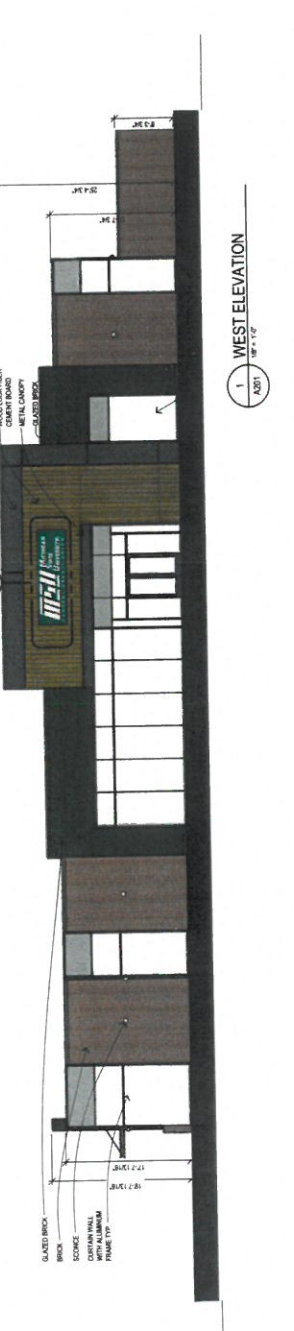
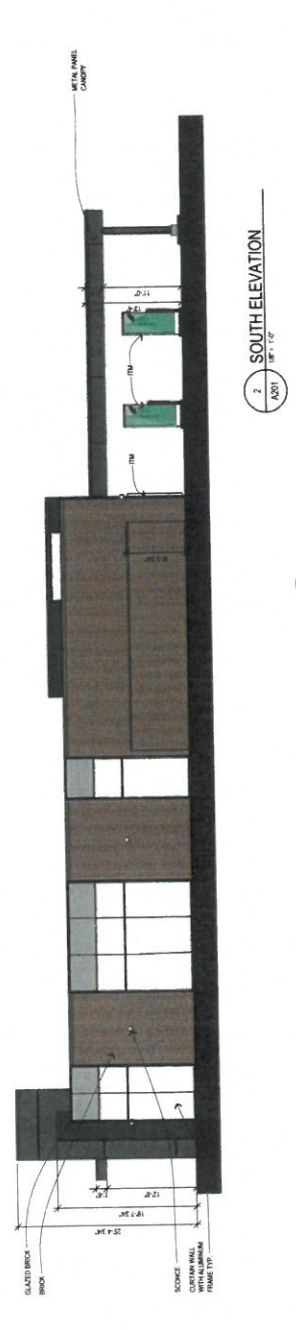
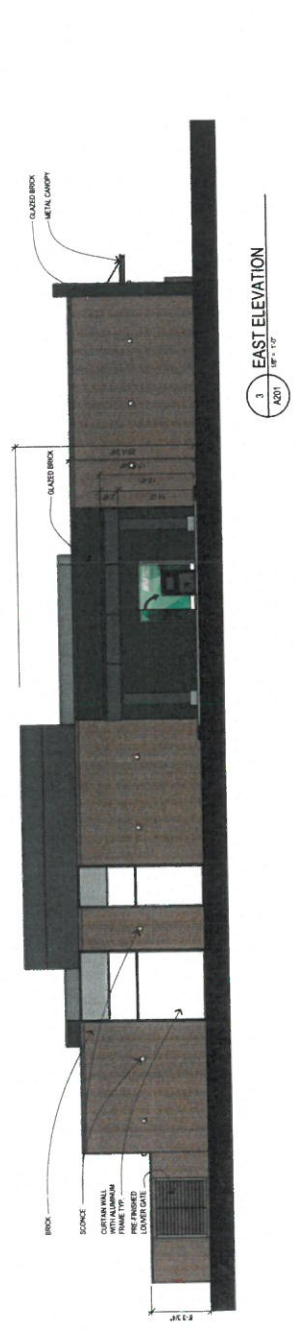
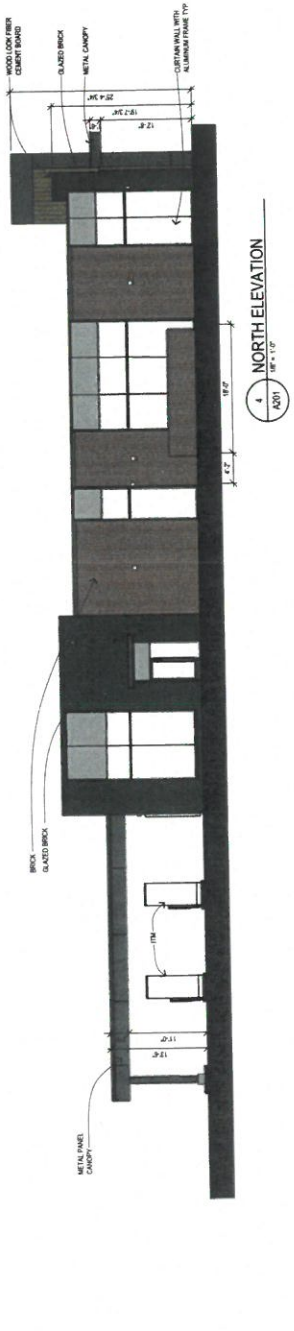
Drawn: [] Preliminary
 RGLJ: [] Construction
 SM: [] Record
 Approved: [] Do not scale
 SC: [] Use figured dimensions only
 E: []

Job Number
2018015.13

The
FLOOR PLAN
 Sheet
A201



1 FIRST FLOOR PLAN
 1/8" = 1'-0"



Site Plan Approval: 01-05-2020
 Site Plan Approval: 11-24-2019
 Site Plan Approval: 10-19-2019

Drawn: Preliminary Construction
 Checked: Revised
 SM: Approved Do not scale
 SC: Use Approved Use Approved only
 Elevation Number: _____
 Job Number: 2018015.13

The
**EXTERIOR
 ELEVATIONS**

Sheet
A201

SITE PLAN GENERAL NOTES

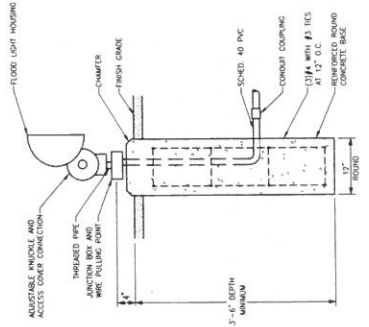
- FIELD VERIFY LOCATIONS OF EXISTING UNDERGROUND SERVICES TO COORDINATE ALL POLE BASE LOCATIONS AND UNDERGROUND SERVICES BEING INSTALLED. ALL POLE BASES SHALL BE INSTALLED WITH CONDUIT AND CABLES TO BE INSTALLED TO THE BASES AND CONDUIT.
- ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 75'-0" TO LAST FEEDER SHALL BE INSTALLED WITH 1/2" O.D. CONDUIT AND 1/2" O.D. CABLE SHALL FIELD VERIFY ALL LOCATIONS OF FEEDERS.
- ALL ELECTRICAL DEVICES ON THIS SHEET SHALL BE NEW UNLESS OTHERWISE NOTED.
- EXTERIOR AREA LIGHTING TO BE CONTROLLED BY INTERNAL B-L-LEVEL PHOTOCELL SENSORS SET TO 20% OFF-Peak TO REDUCE ENERGY CONSUMPTION.
- POLE BASES SHALL BE INSTALLED AT 50' SEPPH PER POLE BASE DETAIL.
- 1" UNLESS OTHERWISE NOTED.

KEYED NOTES

- POLE MOUNTED CABLES SHALL BE TIED TO A SEPARATE "N" CONDUIT WITH ONE CAT. # CABLE PER CABLE.

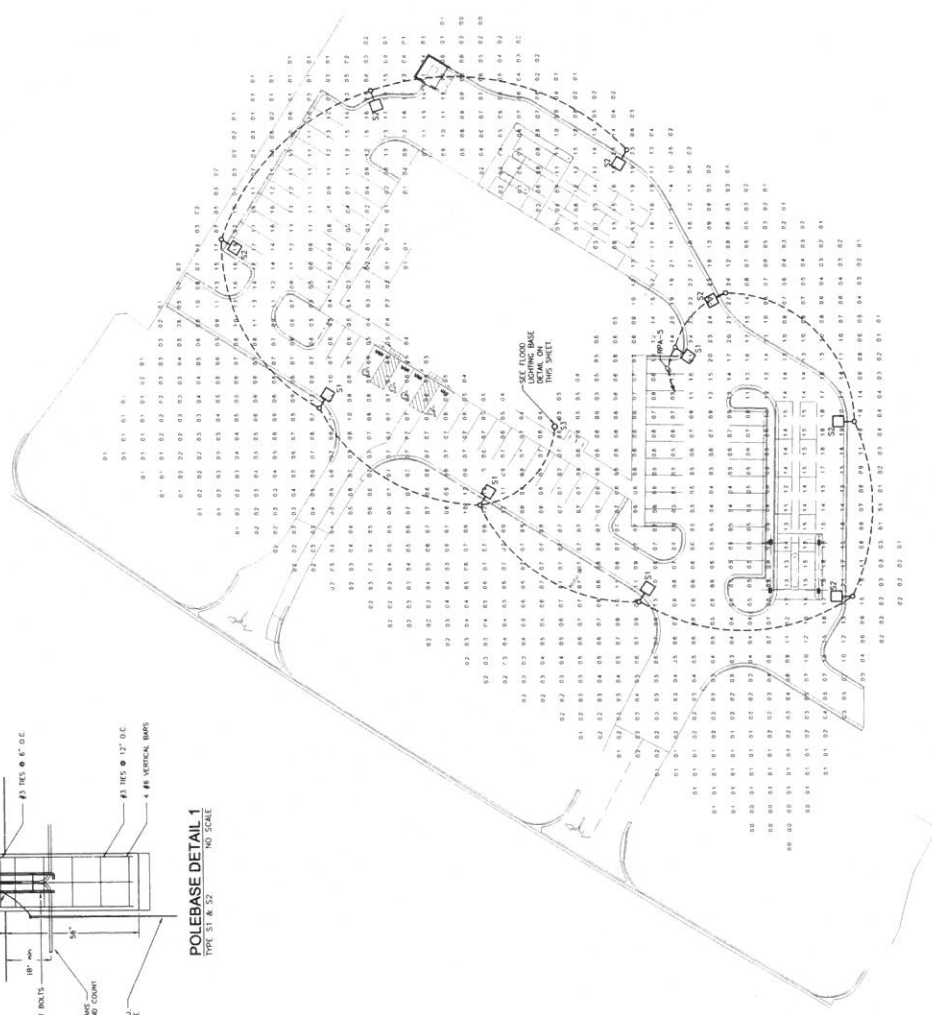
Symbol	Code	Quantity	Description	Material	Notes
□	S1	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S1
□	S2	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S2
□	S3	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S3

Symbol	Code	Quantity	Description	Material	Notes
□	S1	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S1
□	S2	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S2
□	S3	1	POLE MOUNTED LIGHT FIXTURE	LED	SEE DETAIL S3



POLEBASE DETAIL 1
 TYPE S1 & S2
 NO SCALE

FLOOD LIGHTING BASE DETAIL
 NO SCALE




Site Plan Approval 11.26.2019
 Drawn: JRS
 Checked: CGH
 Approved: SET
 Scale: Do not scale
 Use figures
 Dimensions only

Job Number: 2018015.13
ELECTRICAL SITE PLAN



Sheet: ES-100

 Charter Township of Garfield Planning Department Report No. 2020-7			
Prepared:	December 30, 2019	Pages:	5
Meeting:	January 8, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Village at LaFranier Woods PUD - Update		
Applicant:	RW Properties I LLC		
Owner:	Louis G. and Marvel R. LaFranier Trusts		
File No.	PUD 2019-01		
Parcel No.	05-023-041-00		

SUBJECT PROPERTY:

- 2242 LaFranier Road, north of Hammond Road
- 33.19 acres in area
- Currently undeveloped open and wooded land
- A-Agricultural zoning

PURPOSE OF APPLICATION:

The application proposes a Planned Unit Development (PUD) for senior living including detached cottages, congregate residential buildings and assisted living residences. The applicant is requesting approval via the PUD process as it allows for certain flexibility in development of the property.

PROCEDURE:

Planned unit development applications shall be reviewed in a two-step process in accordance with Section 426.B. Preliminary Review and Decision and with Section 426.C Final Review and Decision.

Preliminary review shall establish proposed land uses, project density, site layout and design, proposed vehicular and pedestrian circulation patterns, natural resource protection areas, open space, land use buffers, grading, storm water management patterns, and site servicing. Final engineering is not required for preliminary review and decision.

The Planning Commission shall hold a public hearing on the development application. Following review and public hearing on the application, the Planning Commission shall make a preliminary recommendation to the Township Board on whether to approve or deny the request for preliminary planned unit development approval. Preliminary recommendation of a planned unit development shall specify all conditions that must be satisfied prior to submission of the planned unit development under Section 426.C., Final Review and Decision.

Upon receipt of the Planning Commission’s recommendation, the Township Board may hold a public hearing on the application for preliminary planned unit development approval and may specify additional conditions or requirements that shall be satisfied prior to submission of the planned unit development under Section 426.C. Final Review and Decision.

Preliminary plans may not be changed or amended except as required by final engineering.

STAFF COMMENT:

Since the last Planning Commission meeting, some changes have been made to the site plan. Staff offers the following updated comments:

Proposed Development and Phasing:

The proposed development would be comprised of the following buildings in four phases:

- Phase 1: One (1) three-story building complex containing 116 independent living units.
- Phase 2: Four (4) one-story duplex and eight (8) one-story fourplex independent cottages totaling 40 units.
- Phase 3: One (1) one-story building complex containing 113 assisted living units.
- Phase 4: One (1) three-story building complex containing 116 independent living units.

Based on this configuration, 385 total units are proposed.

Agency Review:

Agency reviews of the PUD application will include Grand Traverse Metro Fire Department, Grand Traverse County Department of Public Works, Grand Traverse County Road Commission, and Grand Traverse County Soil Erosion and Sedimentation Control.

Site Accessibility:

A planned unit development shall be directly accessible from major thoroughfares as designated on the Major Thoroughfare Plan for the Township. The Township may authorize a project that does not have direct access to a major thoroughfare, provided appropriate findings of fact are made demonstrating that:

- (a) The project is directly accessible from a public road of suitable design and construction to handle any anticipated traffic that will be generated by the project;
- (b) The anticipated traffic volumes are not reasonably expected to result in adverse impacts for those uses and properties along the public road system; and
- (c) The efficiency and safety of the overall public road system will not be negatively impacted.

LaFranier Road is designated as a Minor Collector in the currently adopted Township Master Thoroughfare Plan based on the National Functional Classification (NFC). According to the Grand Traverse County Road Commission (GTCRC) Right-of-Way Permitting and Public Road Standards, LaFranier Road, as a Minor Collector, is planned to have a 100-foot wide right-of-way. The GTCRC is seeking additional 17' of right-of-way along LaFranier Road to allow for the wider right-of-way. The applicant has adjusted the right-of-way width on the site plan to accommodate this request.

Open Space:

A planned unit development shall be designed to incorporate a minimum of 20% useable open space to supplement the residents of the PUD and/or Garfield Township. These areas are anticipated to provide recreational opportunities such as parks, trails, playgrounds, and other similar opportunities. Of the 33.19 net acreage of the subject site, 6.6 acres of open space is provided which meets the 20% requirement. While the open space requirement is met, a considerable portion of the open space is marked for stormwater retention. The applicant has provided landscaping/rain garden plans for the stormwater retention areas and has indicated that additional information will be presented to the Planning Commission regarding the open space areas.

Setbacks:

Setbacks of 50 feet on the front yard and 30 feet on all side and rear yards are provided. The front yard setback was adjusted to accommodate a wider right-of-way for LaFranier Road as noted above.

Landscaping and Natural Features:

Landscaping and buffers are provided. The site is presently undeveloped and generally level with some wooded areas. There is a low area to the southeast corner of the site. There are no significant natural features.

Staff suggested that a line of street trees be planted for the entry road to create an improved aesthetic and formal entrance to the development. Staff recommends that the proposed honey locust on the site plan be replaced by silver linden (which are currently specified elsewhere on the plan) and provide a spacing of 60 feet on center for trees on both sides. The silver linden will provide for a fuller crown when the tree is mature.

In response to the comments made at the public hearing regarding the need for screening near the northeast corner of the parking and circulation area around the Phase #4 Congregate Housing building, three white pines and two white oaks were added while one deciduous tree was replaced by an evergreen tree.

Vehicular Circulation:

The originally proposed boulevard entry did not match with the existing Ridge45 boulevard entry across LaFranier Road. The Ridge45 boulevard entry is 50 feet wide. Having a similar entry on the east side of the road would potentially create conflicts for left turns being made from LaFranier Road. The applicant met with the Grand Traverse County Road Commission and agreed upon the configuration presented in this most recent site plan. The site plan proposes the main driveway off LaFranier Road and converting the originally proposed secondary emergency driveway to a regular driveway to the north. As proposed, this is in violation of Section 512 of the Zoning Ordinance which limits a parcel to one driveway.

Furthermore, to meet the intent of Section 512 Access Management and Restrictions in the Zoning Ordinance, the development plan should connect the frontage of the subject parcel to the adjacent properties to the north and south.

Lighting:

Details on the lighting pole was supplied, however a complete lighting plan in accordance with Section 517 is needed including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.

Signs:

Details on the main entry sign was supplied, however a complete sign plan is needed indicating the location, size and specifications of all signs and advertising features, including cross sections and any directional signs.

Stormwater:

Parking lot and roof stormwater runoff will be managed onsite via an underground system. Stormwater review by the Township Engineer will be required.

Traffic Impact Analysis:

As discussed at a previous Planning Commission meeting, the applicant will provide a statement and evidence that a traffic impact report is not required as noted in Section 618 of the Zoning Ordinance. The applicant has submitted a statement; however the statement should be provided by a traffic engineer similar to other statements as required by the Zoning Ordinance regarding traffic impact.

ACTION REQUESTED:

The Planning Commission should discuss items of outstanding consideration, notably the topics within this report and any other concerns that may have been identified. This discussion is intended to assist the applicant in further site plan changes to help move the project forward. Accordingly, no formal action is appropriate at this time.

Attachments:

1. 11" X 17" plan set provided by applicant dated December 30, 2019

838 W. Long Lake #250
Bloomfield Hills, MI 48302
Tel: 248.850.1000
Email: info@progressiveassociates.com
Web: www.progressiveassociates.com

PROGRESSIVE NORTH L.L.C.
425 East Annapolis, Suite #400
Plymouth, MI 48170
Tel: 248.850.1000
Email: carol@progressive.com
Web: www.progressive.com

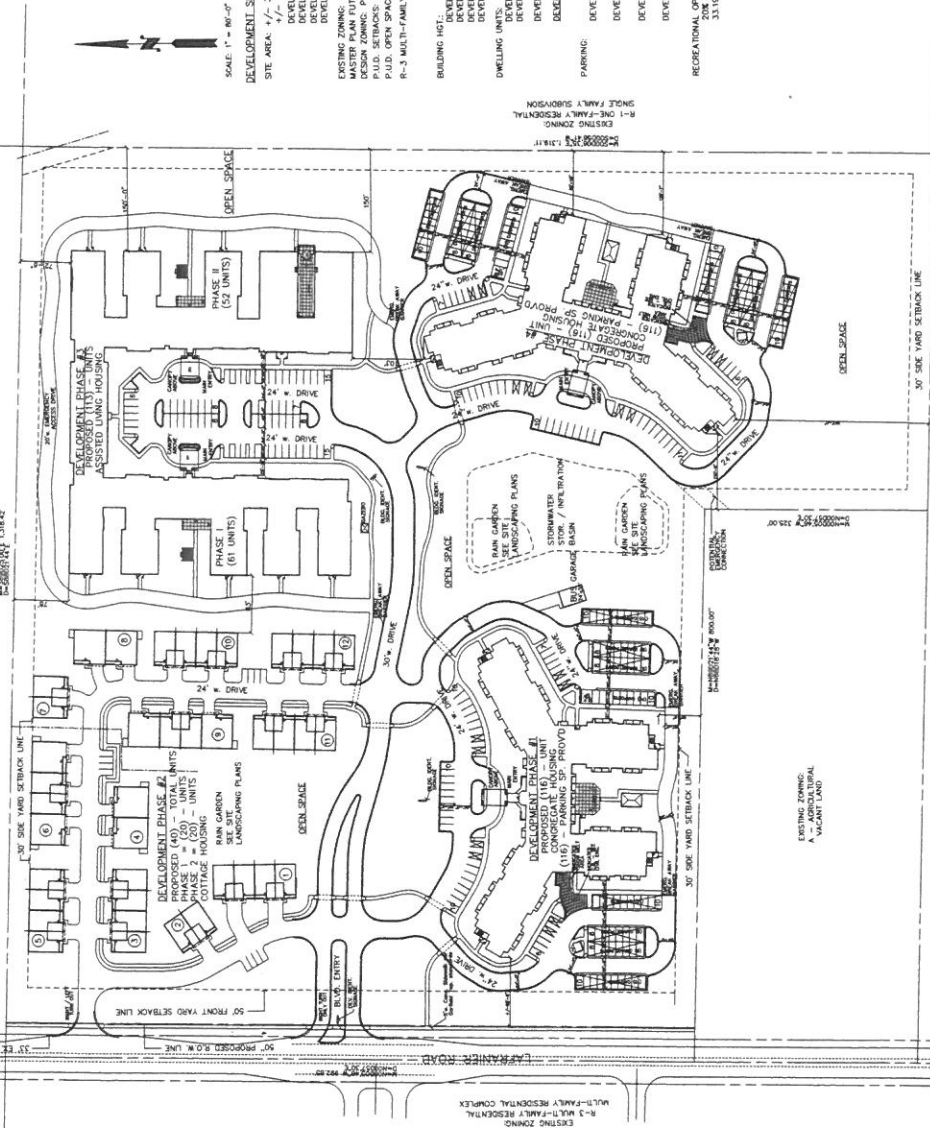
Issued For:

REVIEW	01/01/19
CONCEPTUAL REVIEW	06/08/19
PRELIM P.U.D. REVIEW	10/10/19
PRELIM P.U.D. REVISED	12/02/19
PRELIM P.U.D. REVISED	12/04/19
PRELIM P.U.D. REVISED	12/04/19

EXISTING ZONING: R-3 MULTI-FAMILY RESIDENTIAL

EXISTING ZONING: R-3 MULTI-FAMILY RESIDENTIAL

EXISTING ZONING: R-3 MULTI-FAMILY RESIDENTIAL



DEVELOPMENT SITE DATA:

SCALE: 1" = 80'-0"

SITE AREA: +/- 33,84 TOTAL GROSS ACRES / 1,478,409.474 TOTAL GROSS SQ. FT. SITE AREA
 +/- 33,84 TOTAL NET ACRES / 1,478,409.474 TOTAL GROSS SQ. FT. SITE AREA
 +/- 7.10 GROSS ACRES (306,443.71 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #1 = 7.10 GROSS ACRES (306,443.71 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #2 = 8.25 GROSS ACRES (338,920.0 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #3 = 10.5 GROSS ACRES (425,045.76 GROSS SQ. FT. SITE AREA)

DESIGN ZONING: P.U.D. / PLANNED UNIT DEVELOPMENT
 DESIGN ZONING: P.U.D. / PLANNED UNIT DEVELOPMENT
 P.U.D. SETBACKS: 50' FRONT TO / 30' ALL SIDE & REAR YARDS
 P.U.D. OPEN SPACE: 20% OF SITE AREA PER UNIT = 10.9 UNITS PER NET ACRE
 R-3 MULTI-FAMILY RESIDENTIAL: 4,000 SQ. FT. OF SITE AREA / 1.6 UNITS PER NET ACRE
 4,000 SQ. FT. OF SITE AREA PER UNIT = 361 UNITS ALLOWED

BUILDING HOUSING:

DEVELOPMENT PHASE #1 = (3) STORES / 37'-4"
 DEVELOPMENT PHASE #2 = (1) STORY / 10'-8"
 DEVELOPMENT PHASE #3 = (3) STORES / 37'-4"

DWELLING UNITS:

DEVELOPMENT PHASE #1 = (116) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE
 DEVELOPMENT PHASE #2 = (40) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE
 DEVELOPMENT PHASE #3 = (113) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE
 DEVELOPMENT PHASE #4 = (116) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE

PARKING:

DEVELOPMENT PHASE #1 = (116) - UNITS x (1) SPACE PER UNIT = (116) PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #2 = (40) - UNITS x (1) SPACE PER UNIT = (40) PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #3 = (113) - UNITS x (1) SPACE PER UNIT = (113) PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #4 = (116) - UNITS x (1) SPACE PER UNIT = (116) PARKING SPACES REQ'D / PROVIDED

RECREATIONAL OPEN SPACES:

33.19 NET ACRES x 20% = 6.6 ACRES

Developer:
Reenders, Inc.

Project:
The Village at
LaFrammer Woods

Location:
GARFIELD TWP., MICHIGAN

Sheet Title:
Architectural
Site
Plan

Project Number: 19-110
 Drawn: CI
 Checked: PAPP
 Date: 02/11/19
 Sheet Number: SPI



www.nederveld.com
800.222.1808
GRAND RAPIDS
ANN ARBOR
CHICAGO
COLUMBUS
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Reenders Inc.
Park Place Cir.
865 Taylor Ave.
Grand Haven, MI 49417

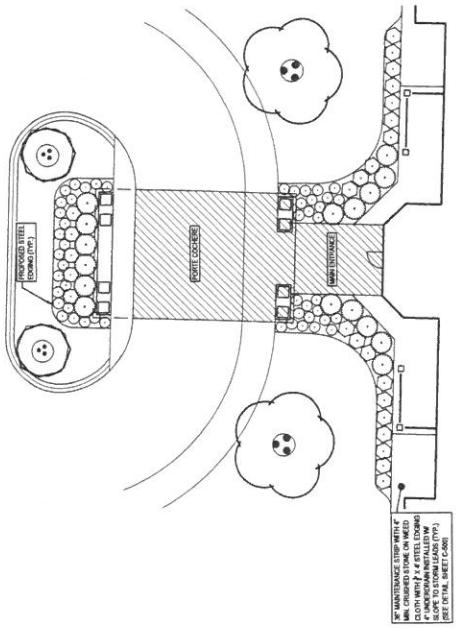
REVISIONS:
1. 11/15/11
2. 11/15/11
3. 11/15/11

Reenders-Lafranier Road
Enlarged Landscape Plan
2242 Lafranier Road, Grand Haven, MI 49426
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T14N, R11W, GRANT TOWNSHIP, GRAND TRAVELER COUNTY, MICHIGAN

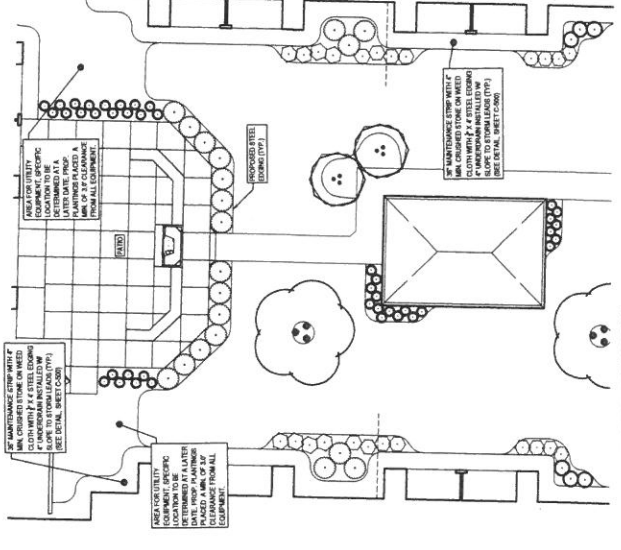


PROJECT NO:
1940124

SHEET NO:
L-202
SHEET



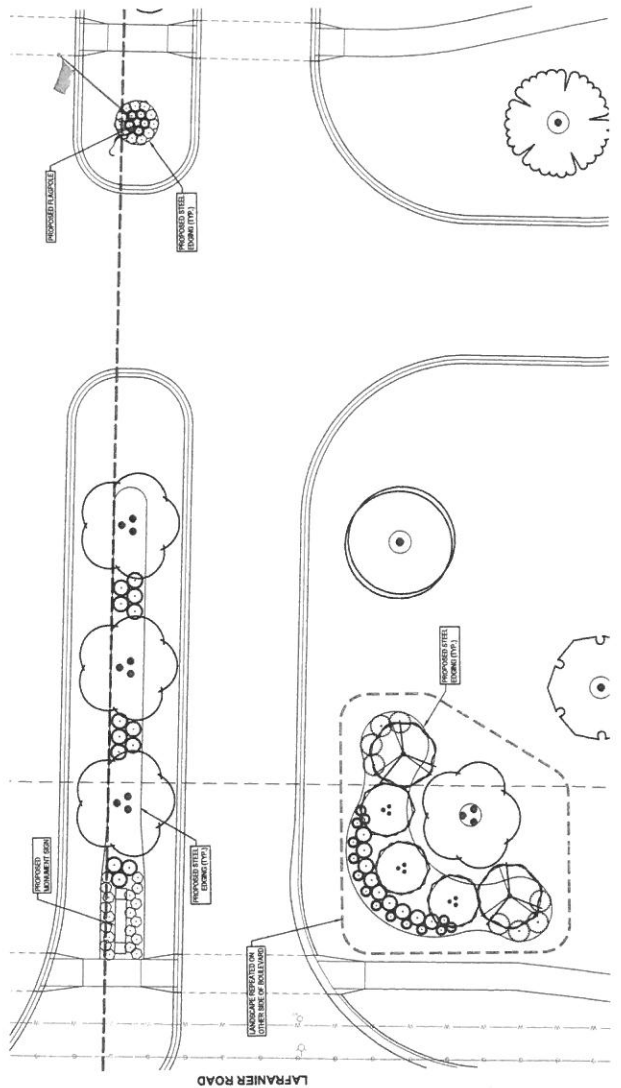
CONGREGATE BUILDING 1 / ENTRANCE
ENLARGED CONGREGATE BUILDING MAIN ENTRANCE - LANDSCAPE PLAN



CONGREGATE BUILDING 1 / ENTRANCE
ENLARGED PATIO LANDSCAPE PLAN

PLANT SCHEDULE - CONGREGATE BUILDING 1 / ENTRANCE

SYMBOL	CODE	DESCRIPTION	SIZE	QTY
(Symbol)	01	Plant variety: ...	6" Sp. Hg.	1
(Symbol)	02	Plant variety: ...	6" Sp. Hg.	1
(Symbol)	03	Plant variety: ...	1.5' Hg.	1
(Symbol)	04	Plant variety: ...	1.5' Hg.	1
(Symbol)	05	Plant variety: ...	1.5' Hg.	1
(Symbol)	06	Plant variety: ...	1.5' Hg.	1
(Symbol)	07	Plant variety: ...	1.5' Hg.	1
(Symbol)	08	Plant variety: ...	1.5' Hg.	1
(Symbol)	09	Plant variety: ...	1.5' Hg.	1
(Symbol)	10	Plant variety: ...	1.5' Hg.	1
(Symbol)	11	Plant variety: ...	1.5' Hg.	1
(Symbol)	12	Plant variety: ...	1.5' Hg.	1
(Symbol)	13	Plant variety: ...	1.5' Hg.	1
(Symbol)	14	Plant variety: ...	1.5' Hg.	1
(Symbol)	15	Plant variety: ...	1.5' Hg.	1
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(Symbol)	17	Plant variety: ...	1.5' Hg.	1
(Symbol)	18	Plant variety: ...	1.5' Hg.	1
(Symbol)	19	Plant variety: ...	1.5' Hg.	1
(Symbol)	20	Plant variety: ...	1.5' Hg.	1
(Symbol)	21	Plant variety: ...	1.5' Hg.	1
(Symbol)	22	Plant variety: ...	1.5' Hg.	1
(Symbol)	23	Plant variety: ...	1.5' Hg.	1
(Symbol)	24	Plant variety: ...	1.5' Hg.	1
(Symbol)	25	Plant variety: ...	1.5' Hg.	1
(Symbol)	26	Plant variety: ...	1.5' Hg.	1
(Symbol)	27	Plant variety: ...	1.5' Hg.	1
(Symbol)	28	Plant variety: ...	1.5' Hg.	1
(Symbol)	29	Plant variety: ...	1.5' Hg.	1
(Symbol)	30	Plant variety: ...	1.5' Hg.	1
(Symbol)	31	Plant variety: ...	1.5' Hg.	1
(Symbol)	32	Plant variety: ...	1.5' Hg.	1
(Symbol)	33	Plant variety: ...	1.5' Hg.	1
(Symbol)	34	Plant variety: ...	1.5' Hg.	1
(Symbol)	35	Plant variety: ...	1.5' Hg.	1
(Symbol)	36	Plant variety: ...	1.5' Hg.	1
(Symbol)	37	Plant variety: ...	1.5' Hg.	1
(Symbol)	38	Plant variety: ...	1.5' Hg.	1
(Symbol)	39	Plant variety: ...	1.5' Hg.	1
(Symbol)	40	Plant variety: ...	1.5' Hg.	1
(Symbol)	41	Plant variety: ...	1.5' Hg.	1
(Symbol)	42	Plant variety: ...	1.5' Hg.	1
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(Symbol)	47	Plant variety: ...	1.5' Hg.	1
(Symbol)	48	Plant variety: ...	1.5' Hg.	1
(Symbol)	49	Plant variety: ...	1.5' Hg.	1
(Symbol)	50	Plant variety: ...	1.5' Hg.	1



CONGREGATE BUILDING 1 / ENTRANCE
FORNER ROAD MAIN ENTRANCE LANDSCAPE PLAN

www.neoverveld.com
800.222.1900
GRAND ROADS
10000 Grand Road
Ann Arbor, MI 48106


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CHICAGO
COLUMBIUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Reenders-LaFranier Road
Plant Phase Ctr.

950 Taylor Ave.
Grand Haven, MI 49417

REVISIONS:

No.	Date	Description
1	08/18/10	Initial Issue
2	08/25/10	Revised
3	09/02/10	Revised
4	09/09/10	Revised
5	09/16/10	Revised
6	09/23/10	Revised
7	09/30/10	Revised
8	10/07/10	Revised
9	10/14/10	Revised
10	10/21/10	Revised
11	10/28/10	Revised
12	11/04/10	Revised
13	11/11/10	Revised
14	11/18/10	Revised
15	11/25/10	Revised
16	12/02/10	Revised
17	12/09/10	Revised
18	12/16/10	Revised
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21	01/06/11	Revised
22	01/13/11	Revised
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24	01/27/11	Revised
25	02/03/11	Revised
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316	08/28/16	Revised
317	09/04/16	Revised
318	09/11/16	Revised
319	09/18/16	Revised
320	09/25/16	Revised

 Charter Township of Garfield Planning Department Report No. 2020-6			
Prepared:	December 30, 2019	Pages:	8
Meeting:	January 8, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SPR 2019-04 Harris Hills Site Condominium – Update		
File No.	SPR 2019-04	Parcel No.	05-007-021-00 & 05-008-022-02
Owner:	Tim and Lisa Schaub		
Agent:	Jesse Mitchell, Bob Mitchell & Associates		

PURPOSE OF APPLICATION:

The applicant intends to develop a site condominium on this property, with 40 total single-family units to be built in two phases. Phase 1 would be built on the southern parcel (parcel number 05-008-022-02) with the first 21 units, and Phase 2 would be built on the northern parcel (parcel number 05-007-021-00) with the remaining 19 units. All units will connect to the municipal water and sanitary sewer systems. The proposed Harris Hills site is located at the southwest corner of Lone Tree and Harris Roads, east of the existing Lone Tree Planned Unit Development (PUD).

BACKGROUND:

The following is a background of the proposed Harris Hills site condominium:

- The two parcels were first brought before the Planning Commission on February 13, 2019 for a conceptual review to develop a 33-unit site condominium. The proposed concept noted that all units would be served by municipal water and sewer. It was determined that the site condominium could be developed if the property was rezoned from the A – Agricultural district to the R-2 – One- and Two-Family Residential district via Zoning Map Amendment.
- A request to rezone the two parcels from the A – Agricultural district to the R-2 – One- and Two-Family Residential district via Zoning Map Amendment was presented to the Planning Commission on March 13, 2019. A public hearing was held on April 10, 2019. Findings of Fact were adopted on May 8, 2019, when the Planning Commission also made its recommendation of approval for the rezoning to the Township Board. The rezoning request was approved by the Township Board on June 25, 2019.
- The application for a site condominium was first brought before the Planning Commission at its August 14, 2019 meeting. Unlike previously submitted layouts, the site layout presented at this meeting showed individual well and septic systems. Upon feedback from staff and the Planning Commission, the applicant worked over the next few months to submit a revised site layout with all units connecting to municipal water and sewer. The public hearing for the site was held at the November 13, 2019 Planning Commission meeting, after which the Commission directed staff to prepare the Findings of Fact as described in this document.

REVIEW PROCESS:

The site condominium review procedures are described by Section 429 within the Zoning Ordinance. The Planning Commission shall hold a public hearing on the proposed site condominium, which was held at the meeting on November 13, 2019. The Planning Commission shall recommend to the Township Board the approval, approval with conditions, or denial of the site condominium. The Township Board shall either approve the site condominium subdivision plan, with or without conditions, reject the plan and give its reasons, table the proceedings pending further review or pending changes to the plan to make it acceptable to the Board, or refer that application back to the Planning Commission for further review and report. Reviews by Metro Fire, Grand Traverse County Public Works Department, Road Commission, Drain Commissioner, and Soil Erosion and Sedimentation Control Program are required.

FINDINGS OF FACT:

At its November 13, 2019 meeting, the Planning Commission unanimously passed a motion directing staff to prepare Findings of Fact for the application which are provided below. Guidance and review were provided by Karrie Zeits, Township Attorney, in preparation of these Findings.

As stated in Section 429.G - Site Condominium Review Criteria of the Zoning Ordinance, for the purposes of making a decision to approve, approve with conditions or to deny a site condominium subdivision plan, the Township shall consider and make findings with respect to the following criteria:

(1) That each condominium lot in a site condominium subdivision shall be considered as a single lot and shall comply with all regulations of the zoning district in which it is located. In a condominium development containing single-family detached dwelling units, not more than one (1) dwelling unit shall be located on a condominium lot, nor shall a dwelling unit be located on a condominium lot with any other principal structure or use. Required yards shall be measured from boundaries of a condominium lot. These requirements shall be made part of the bylaws and recorded as part of the master deed;

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- The Harris Hills site is zoned as R-2 – One- and Two-Family Residential. Lots in the R-2 district connected to public sewer have minimum requirements of 12,000 square feet in area and 80 feet in width. All proposed lots in both phases meet or exceed these minimum requirements.
- Each lot provides enough buildable area for a house within the setback requirements.
- No more than one single-family dwelling is proposed per condominium lot.
- These requirements shall be made part of the bylaws and recorded as part of the master deed, and this may be done as a condition of any potential approval.
- Required yards are measured from the boundaries of the condominium lot. Units which show required yards and the typical unit detail measure a front yard setback of 25 feet and not the required 30 feet for one-family lots with public sewer in the R-2 district. Setback dimensions for all units which show required yards and the typical unit detail need to be revised to indicate correct setbacks.

(2) That there is a proper relationship between the existing streets and highways within the vicinity, and proposed deceleration lanes, service drives, entrance and exit driveways, and parking areas to assure the safety and convenience of pedestrian and vehicular traffic, and that the proposed streets and access plan conform to any street or access plan adopted by the Township or the County Road Commission;

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- The site is proposed to have two connections to the existing road system when fully constructed. Phase 1 will connect to Zimmerman Road and Phase 2 will connect to Lone Tree Road. The roads in the site condominium will be private roads maintained by the governing condominium association. In the southeast part of the site, an unnamed no-outlet street serves several units and ends in a T-turnaround (hammerhead) intersection. The primary street running north-south within the site, named Saint's Drive, will end in a temporary T-turnaround for Phase 1. For Phase 2, the T-turnaround will be removed and the street will be extended to Lone Tree Road. Also, for Phase 2, a street named Saint's Lane will connect to Saint's Drive at two points and serve approximately nine housing units.
- The site plan shows two no-outlet dead end streets. The site plan indicates there will be no road connection to Lone Beech Drive to the west (Lone Beech Stub) and that the road will end as a dead end. Additionally, a dead end street is proposed to serve units 7, 8, 9, 10, and 16 just off the Zimmerman cul-de-sac (Zimmerman Stub).

- Section 521.G - Connectivity, of the Street Design and Transportation section within the Zoning Ordinance, provides that discontinuous street systems are inefficient and that channeling traffic onto relatively few points of the transportation network causes undue congestion. Section 521.G states that the streets within any proposed subdivision shall provide for a continuous circuit of travel and connection to the surrounding street network.
- Section 521.G provides that dead-end streets are generally discouraged. Only where a cul-de-sac cannot reasonably be constructed due to topography, spatial limitations or other physical characteristics may a dead-end street be permitted.
- Cul-de-sacs may only be permitted where they do not interfere with the objective of interconnectivity, or where physical site conditions prevent through connections, but shall not be permitted where it is reasonable to provide interconnectivity to adjacent parcels.
- Connection of the Zimmerman Stub to Saint's Lane would increase connectivity and provide improved safe and efficient access to property. The applicant has submitted a letter dated December 11, 2019 from Harry Luzius, P.E. regarding the proposed design. Staff recommends that the Township Engineer review the letter as part of the private road review.
- It also has not been demonstrated that the Lone Beech Stub cannot be extended to the west to Lone Tree II and it is reasonable to expect that such interconnectivity can be achieved in light of the Township's prior approval of the development adjacent to the west of Harris Hills.
- Lone Tree II is a part of the Lone Tree PUD that was approved by the Township in 2005. The Township's approval of the Lone Tree PUD was conditioned upon and required interconnection of the PUD to the properties to the east, including the Harris Hills Site.
- The Report and Decision Order for the Lone Tree PUD (Special Use Permit #2005-05), approved by the Township Board on May 12, 2005 and signed on June 7, 2005, references and incorporates key documents that indicate a future road connection to the east, including the Harris Hill project site.
 - The Lone Tree PUD Special Use Permit application, dated January 21, 2005, states that: "The Master Plan submitted with this application further demonstrates the integration possibilities should adjacent development to the north and east proceed in the future."
 - The Lone Tree PUD Impact Assessment, dated January 21, 2005, states that the: "Master Plan drawing has been prepared and submitted as part of this submission package (see Sheet 2). The purpose of this Master Plan is to demonstrate the integration of this site with the adjacent lands to the east that will remain possible upon approval of the Lone Tree development. This Master Plan identifies the potential for a northerly extension of Zimmerman Road, as well as the continued extension of a planned road network to the east of that extension. This Master Plan, in our opinion, demonstrates that the proposed design is fully capable of being integrated into the surrounding area in a thoughtful and planned manner."
 - The Lone Tree PUD Master Plan, dated December 9, 2004, illustrates an extension of Lone Beech Drive to a proposed extension of Zimmerman Road along with extensions of Rosewood Drive and two other unidentified roads.
- Further:
 - The minutes of the Township Board meeting dated May 12, 2005, state that: "The developer intends to include the Samuelson 40-acre parcel to the east in the Lone Tree Development. The condominium association (commercial, multi-family and residential) will be expandable for future development. The County Road Commission plans to construct a road from Zimmerman to Harris Road. Th developer will make it known to the purchasers of lots that the road will be extended from one phase to the next phase."

- The Master Deed for the Lone Tree I Condominium Development, which was also a part of the Lone Tree PUD approved in 2005 was amended in 2015 to grant a reciprocal easement to the Brookside Commons PUD to conform with the requirements of the PUD that was approved in 2005 by the Township to extend Rosewood Drive.
- The Master Plan for Lone Tree II depicts Lone Beech Drive as extending to the property line between the Lone Tree II Development and the Harris Hills site.
- The site condominium as currently proposed does not include a connection to Lone Beech Drive to the west as referenced in the Lone Tree PUD approval in 2005. Units 5 and 6 are proposed to have access on this stub street, which may potentially limit access for emergency vehicles to these units if not connected to the street network. A reciprocal access/ingress/egress easement from and to the Lone Tree Development would increase connectivity and provide improved safe and efficient access to property.
- It has not been demonstrated that if interconnectivity cannot be achieved that a cul-de-sac cannot be reasonable constructed rather than Lone Beech Stub and Zimmerman Stub dead ends proposed.
- The proposed connection to Zimmerman Road is on a cul-de-sac which is a temporary easement for the County Road Commission. Future construction of an extension to Zimmerman Road will necessitate reconstruction of the road connection into Harris Hills. The Road Commission shall review and approve the proposed connections to any roads under its jurisdiction.

(3) That as many natural features of the landscape shall be retained as possible, particularly where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes, and where they assist in preserving the general appearance of the neighborhood or help control erosion or the discharge of storm waters;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The site plan indicates that there will be trees removed along the eastern edge of the site at Units 7-10. To compensate for the removal of these trees, the site plan indicates that five trees per unit will be planted on the hill after completion of earthwork.
- The tree line on the western edge of the development will be protected.
- There are no known wetlands on the site.

(4) That any adverse effect of the proposed development and activities emanating therefrom upon adjoining residents or owners shall be minimized by appropriate screening, fencing or walls, or landscaping;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The site plan indicates that there will be trees removed along the eastern edge of the site at Units 7-10. To compensate for the removal of these trees, the site plan indicates that five trees per unit will be planted on the hill after completion of earthwork.
- The tree line on the western edge of the development will be protected; this tree line provides the screening from this site for the Lone Tree PUD.
- According to Table 531.1 - Planting Requirements, there is no planting buffer required between two adjacent single-family residential sites.

(5) That all provisions of this ordinance are complied with;

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- Section 511 - Driveways requires that all driveways shall be placed a minimum of 10 feet from the property line and at least 12 feet wide. These are shown on the typical unit detail.
- Section 533 - Site Grading and Steep Slopes Requirements notes that the general site topography and any natural landforms unique to the property shall be maintained and made part of the development to preserve the natural character. Grading shall complement natural landforms, minimize cut and fill, and shall not be permitted where slopes are 20% grade or greater. The applicant has indicated that the proposed street layout avoids going over a large hill which would necessitate extensive cut and fill. The site will be completely covered by lots, which indicates that the applicant has identified buildable area throughout the site despite the topography.
- As described above, the site condominium as currently proposed does not meet the connectivity requirements of Section 521.G - Connectivity, of the Street Design and Transportation section of the Zoning Ordinance.
- There are several standards of Section 429.G - Site Condominium Review Criteria which have not been met as described in these Findings of Fact.

(6) That all site condominium lots shall be provided access by either public or private roads in conformance with the requirements of this ordinance. All site condominium units shall be accessible to emergency vehicles;

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- The site plan indicates the required two connections to the surrounding street system, an unnamed no-outlet street that serves several units and ends in a T-turnaround (hammerhead) intersection, and a stub street serving two units towards the Lone Tree PUD. Metro Fire has indicated that the T-turnaround design is acceptable, however, the proposed stub street may potentially limit access for emergency vehicles to these units if not connected to the street network.

(7) That a plan for erosion control and storm water discharge has been approved by the appropriate public agency; and

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- Any proposed stormwater system is subject to review and approval of the Township Engineer. The site slopes from the south part of the site down to the northeast part of the site, near the corner of Lone Tree Road and Harris Road.

(8) That the plan as approved is consistent with the intent and purpose of zoning to promote public health, safety and general welfare; to encourage the use of lands in accordance with their character and adaptability to avoid the overcrowding of population; to lessen congestion on the public roads and streets; to reduce hazards to life and property; to facilitate adequate provisions for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements; and to conserve the expenditure of funds for public improvements and services to conform with the most advantageous uses of land, resources and properties; to preserve property values and natural resources; and to give reasonable consideration to character of a particular area, its suitability for particular uses and the general appropriate trend and character of land, building, and population development and is otherwise in compliance with law.

*The Planning Commission may find this standard to be **NOT MET** for the following reasons:*

- There are several standards which have not been met as described in these Findings of Fact. The intent and purpose of the Zoning Ordinance to promote public health, safety, and general welfare would not be served if these standards are not met.
- This criterion includes a provision regarding the intent and purpose of the Zoning Ordinance to facilitate adequate provisions for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements. Providing housing units that connect to public sewer and water systems helps meet this provision.

ACTION REQUESTED:

While the Findings of Fact have been drafted, there remain a couple of unanswered issues:

1. Connection to Lone Tree PUD. The Township Attorney determined that the Township's approval of the Lone Tree PUD in 2005 included the requirement of an interconnection to the properties to the east when and if they were developed. However, the original Master Deed for the Lone Tree II Condo, which appears to be the condo development Lone Beech Drive is a part of, did not appear to reserve easements for the property to the east if and when they were developed. It does however clearly show Lone Beech Drive as extending to the property line between Lone Tree and Harris Hills.

It appears to be the applicant's responsibility to determine whether an access easement was granted/reserved for interconnectivity to the property to the east or whether there is anything in those documents that would support such an interconnection at this point. The Master Deed does clearly state that these roads are private roads. Any interconnection to these roads then would require an easement from the Lone Tree II Developer or Association depending upon whether the Developer retained the right to grant such easements or if the right to grant such easements is exclusively held by the Association at this point.

The Township Attorney recommends that the applicant collect the Master Deed and all of the Amendments to the Master Deed related to the Lone Tree II condominium association to determine if any easement has ever been reserved over Lone Beech Drive for the adjacent development and if so, what the conditions of exercising the easement are. If there is no easement, the applicant should determine if there is anything in the Master Deed documents prohibiting a reciprocal easement and who has the authority to grant an easement (the applicant or condominium association).

The Township is available to assist the applicant in approaching the developer/association about amending the Master Deed to allow for a reciprocal easement similar to the Lone Tree I amendment to comply with the PUD. This may require the Township to initiate enforcement actions against the Lone Tree development with respect to the PUD if they do not comply. Such an action would impact Lone Tree I, II, and III since they were all approved under the same PUD.

2. Agency Reviews. Agency reviews are required including Township Engineer, Metro Fire, Grand Traverse County Public Works Department, Road Commission, Drain Commissioner, and Soil Erosion and Sedimentation Control Program.
3. Revised Site Plan. A revised site plan is needed to meet the address the issues noted Findings stated above, including review by the Township Engineer for the proposed private roads.

The Planning Commission should review and discuss the above topics within this report and any other concerns that may have been identified. This discussion is intended to assist the applicant in further site plan changes to help move the project forward. Accordingly, no formal action is appropriate at this time.

Attachment:

1. Site condominium plan for Harris Hills prepared by Jesse E. Mitchell, undated
2. Lone Tree Planned Unit Development Report and Decision Order, approved May 12, 2005
3. Lone Tree Planned Unit Development Special Use Permit application (excerpt), dated January 21, 2005
4. Lone Tree Planned Unit Development Impact Assessment, dated January 21, 2005
5. Lone Tree Planned Unit Development Master Plan, dated December 9, 2004
6. Minutes of the Township Board meeting dated May 12, 2005
7. List of amendments to Lone Tree Planned Unit Development Master Deed
8. First Amendment to Amended and Restated Master Deed for Lone Tree I
9. Letter dated December 11, 2019 from Harry Luzius, P.E.

SITEPLAN "HARRIS HILLS" A SITE CONDOMINIUM

R/W (LONE TREE)

C/L LONE TREE RD

S88°34'14"E 658.20' (M)

PLAN LEGEND

- EXISTING**
- PROPERTY LINE
 - - - RIGHT-OF-WAY
 - - - EASEMENT
 - - - SETBACK
 - - - EXISTING CONTOURS

- TYPICAL UNIT:**
- SINGLE FAMILY
 - 1,000 SQ MINIMUM
 - W/ ATTACHED GARAGE 24' WIDE
 - MINIMUM TREE PLANTING IS 4 TREES PER UNIT.
 - PAVED/CONCRETE DRIVEWAY
 - MAXIMUM HEIGHT OF STRUCTURE IS 35 FEET
 - SETBACKS-NOT ALL PLOTTED
 - FRONT- 30'
 - SIDE- 10'
 - REAR- 25'
- UTILITIES**
- PUBLIC WATER AND SEWER (NOT SHOWN CONNECTIONS UNDER REVIEW/PERMITTING)
 - ELECTRIC- UNDERGROUND CHERRYLAND CO-OP
 - GAS- UNDERGROUND DTE
 - PHONE- UNDERGROUND

PROPOSED FINISH FLOOR ELEVATION FOR EACH HOME SHALL BE WITHIN 10 FEET OF EXISTING GRADE.

- ⊕ PPE POLE, POWER/ELECTRIC
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER WELL
- ⊕ GUY WIRE
- ⊕ ELECTRIC BOX
- ⊕ TELEPHONE RISER
- ⊕ SIGN
- ⊕ MAIL BOX
- ⊕ LIGHT POLE
- ⊕ TREES

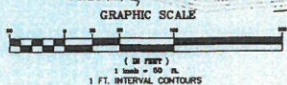
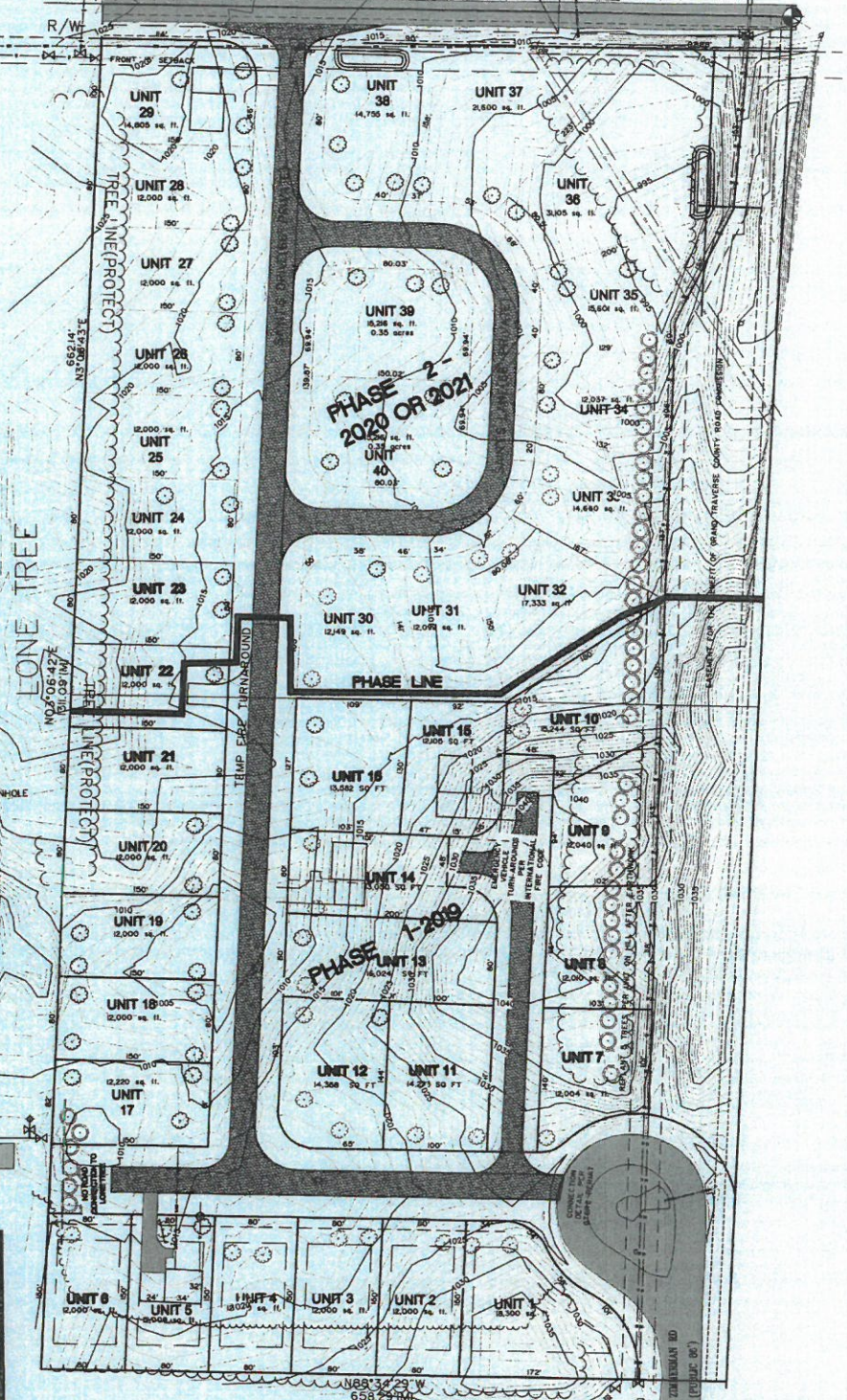
PROPOSED/EXISTING SANITARY MANHOLE

- - - SILT FENCE
- - - STORM WATER BASIN
- - - TREES/FOREST TO REMAIN

SITE DATA:
05-008-022-02
& 05-007-021-00

JURISDICTION: GARFIELD
TOWNSHIP OWNER NAME:
TL SCHAUB LAND LLC
TIME & LISA SCHAUB
TRAVERS CITY, MI 49684
MAILING ADDRESS:
5375 MARQUETTE DR
TRAVERS CITY, MI 49685

VICINITY MAP



JOB NO. 20180395

BOB MITCHELL & ASSOCIATES

PLANNING • ENGINEERING • SURVEYING • MANAGEMENT

Northwestern Michigan Central Michigan

404 W. Main Street
P.O. Box 300
Traverse City, MI 49684
(231) 935-4443

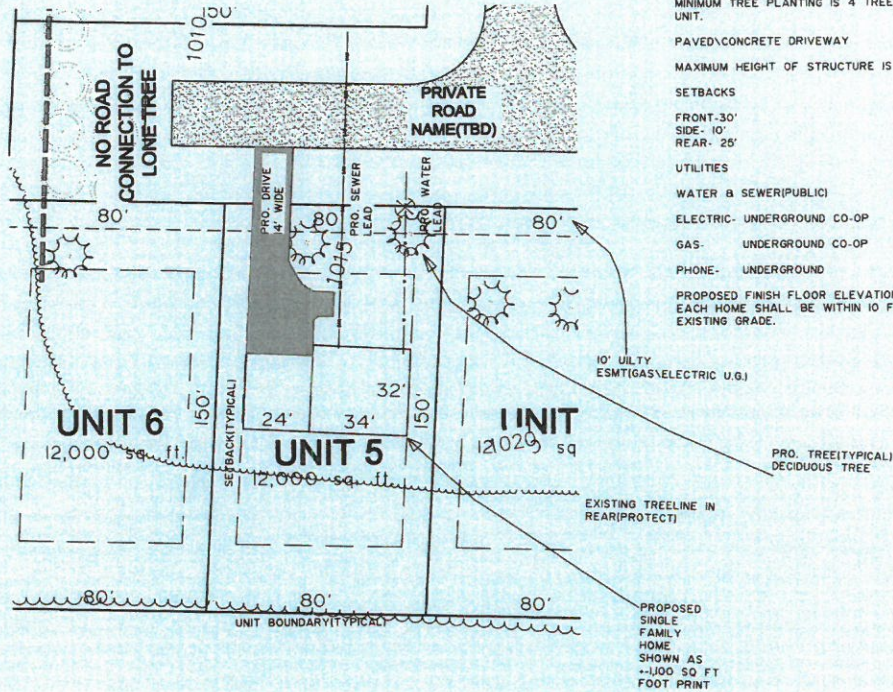
SHEET 1 OF X

JESSE E. MITCHELL PROFESSIONAL
SURVEYOR LICENSE NO. 54433
BOB MITCHELL AND ASSOCIATES, INC.
404 WEST MAIN STREET
KINGSLEY, MICHIGAN 49649

"HARRIS HILLS"
A SITE CONDOMINIUM

DETAILS
TYPICAL UNIT

1"=20'



- TYPICAL UNIT:
SINGLE FAMILY
1,000 SQ MINIMUM
W/ ATTACHED GARAGE 24' WIDE
MINIMUM TREE PLANTING IS 4 TREES PER UNIT.
PAVED CONCRETE DRIVEWAY
MAXIMUM HEIGHT OF STRUCTURE IS 35 FEET
SETBACKS
FRONT- 30'
SIDE- 10'
REAR- 25'
UTILITIES
WATER & SEWER(PUBLIC)
ELECTRIC- UNDERGROUND CO-OP
GAS- UNDERGROUND CO-OP
PHONE- UNDERGROUND
PROPOSED FINISH FLOOR ELEVATION FOR EACH HOME SHALL BE WITHIN 10 FEET OF EXISTING GRADE.

10' UTILITY ESM(T)GAS(ELECTRIC U.G.)

PRO. TREE(TYPICAL) DECIDUOUS TREE

EXISTING TREELINE IN REAR(PROTECT)

PROPOSED SINGLE FAMILY HOME SHOWN AS +-1,000 SQ FT FOOT PRINT

PROJECT NOTES:

ALL REQUIRED PERMITS FROM TOWNSHIP, COUNTY, & STATE SHALL BE OBTAINED AND COMPLIED WITH.

TOWNSHIP AND COUNTY REVIEW OF STORMWATER, PUBLIC WATER & SANITARY SEWER, SITE GRADING & RESTORATION, PUBLIC ROAD CONNECTIONS ARE CURRENTLY IN PROCESS.

EXTERIOR LIGHTING WILL LIMITED TO ALLOWED LIGHTING FIXTURES, CONSISTENT WITH TOWNSHIP ORDINANCE FOR EACH UNIT.

TRASH REMOVAL SHALL BE SINGLE DWELLING TRASH RECEPTACLES.

SUBJECT PARCEL LEGAL DESCRIPTION:

Lands situated in the Township of Garfield, County of Grand Traverse, State of Michigan, described as:

Parcel 1:

Part of the Southeast 1/4 of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as: Beginning at the East 1/4 corner of Section 7; thence South 02°11'29" West along the East line of said section a distance of 662.08 feet; thence North 89°29'32" West a distance of 658.25 feet to a point on the East 1/16 line of said section; thence North 02°11'43" East along said East 1/16 line a distance of 662.14 feet to the East-West 1/4 line of said section; thence South 89°29'33" East along said East-West 1/4 line a distance of 658.20 feet to the Point of Beginning.

AND

Parcel 2:

Part of the Southeast 1/4 of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as follows: Commencing at the Southeast corner of said Section 7; thence North 02°11'29" East along the East line of said section a distance of 1,317.47 feet to the South 1/8 line of Section 7; thence continuing North 02°11'29" East along said East line a distance of 6.43 feet to the Point of Beginning; thence North 89°29'29" West a distance of 658.29 feet to a point on the East 1/16 line of said Section 7; thence North 02°11'43" East along said East 1/16 line a distance of 648.95 feet; thence South 89°29'32" East a distance of 658.25 feet to the East line of said section; thence South 02°11'29" West along said East line a distance of 648.95 feet to the Point of Beginning.

JOB NO. 20180395

BOB MITCHELL & ASSOCIATES
PLANNING • ENGINEERING • SURVEYING • MANAGEMENT
Northwestern Michigan Central Michigan
404 S. Main Street 428 North 1st Street, Ste. 105
P.O. Box 308 Holland, MI 49425
(267) 263-6483 (616) 538-0278

SHEET 2 OF 2

JESSE E. MITCHELL PROFESSIONAL
SURVEYOR LICENSE NO. 54433
BOB MITCHELL AND ASSOCIATES, INC.
404 WEST MAIN STREET
KINGSLEY, MICHIGAN 49649

TOWN BOARD APPROVED 5/12/05

**CHARTER TOWNSHIP OF GARFIELD
LONE TREE - PLANNED UNIT DEVELOPMENT
REPORT and DECISION ORDER
for Special Use Permit #2005-05**

To: Lone Tree Development, L.L.C.
830 E. Front St.
Traverse City, MI 49686

WHEREAS,

Application having been made by the above named for a Special Use Permit for a mixed use Planned Unit Development, for the premises as described below, hereto zoned A1, Agricultural

The Northwest Quarter of the Southeast Quarter, and the West Half of the East Half of the Southeast Quarter Section 7, Town 27 North, Range 11 West, being more fully described as: Commencing at the East Quarter Corner of said Section 7; thence South 89° 57' 06" West, 658.20 feet, along the East-West Quarter of said Section and the centerline of Lone Tree Road to the POINT OF BEGINNING; thence continuing South 89° 57' 06" West, 1974.62 feet along the North line of said Section 7 and Lone Tree Road; thence South 1° 39' 07" West, 1317.80 feet along the North-South Quarter line of Section 7, (previously recorded as South 01° 39' 30" West, 1317.76 feet); thence North 89° 56' 47" East, 1316.63 feet along the South One-Eighth line of said Section; thence South 1° 38' 31" West, 1317.52 feet, along the East One-Eighth line of said Section 7; thence North 89° 56' 45" East, 658.41 feet, along the South Section line, and the centerline of North Long Lake Road; thence North 1° 38' 18" East, 2635.19 feet, to the Point of Beginning. (* = degrees) Parcel Code No. 28 05 007 022 00

Subject to the rights- of way of North Long Lake Road over the Northerly 33 feet thereof, and Lone Tree Road over the Southerly 33 feet thereof.

WHEREAS, the proposed development encourages the innovative use of land as an overlay to the existing zoning through the Planned Unit Development procedure, and the Township adopts this as its Findings and Planned Unit Development Report; and

WHEREAS, the project has a variety in design and layout and type of structure; and

WHEREAS, the project achieves economy and efficiency in the use of land, natural resources, energy, the provision of public services and utilities through design, the provision of on site public services and connection to public services and utilities, and encourages useful open space; and

WHEREAS, the project is designed to insure the protection of natural resources, the health, safety and welfare of the users of the development and the residents of the surrounding area and community as a whole as can be evidenced by the reports and documents included and attached to this Report and Decision Order; and

WHEREAS, the project encourages complementary relationships between zoning regulations

TOWN BOARD APPROVED 5/12/05

and other regulations affecting the development of land and state and Federal statutes, and in particular that all permits for local, state and Federal laws have either been obtained or been assured; and

WHEREAS, the Planning Commission and Township Board's review of the Reports and their exhibits have revealed that the development will enhance on-site streams and wetlands or other environmentally sensitive areas; and

WHEREAS, the uses within the development will be relatively limited, and, in any event, will be connected to existing sanitary sewer lines, thus precluding the need to conduct further inquiry into the suitability for and/or potential impact of septic and drainage discharges to the subsurface soils and/or groundwater. Further, in light of the limited uses proposed for the development, there are no concerns presented with respect to atmospheric discharges or air quality; and

WHEREAS, on the basis of the materials presented to the Planning Commission and Township Board, as well as the Planning Commission and Township Board's review thereof, it is found that the proposed development in its as-built state is not likely to pollute, impair or destroy the environment or the natural resources of the State of Michigan and that, accordingly, the issuance of the Special Use Permit and the construction of this proposed development will not violate the Michigan Environmental Protection Act.

WHEREAS, the project has been professionally designed using qualified professionals to assure compatibility with adjacent uses of land and the natural environment, services and facilities affected by the land use as is evidenced by the land use plan and the documentation and documents attached; and

WHEREAS, the project promotes the use of land in a socially and economically desirable manner and uses which will enhance the economic base of the community, and

WHEREAS, it has been demonstrated that the standards and conditions for such approval as set forth in the Garfield Township Zoning Ordinance have been met through the site plan presented and the studies attached and the Findings by the Planning Commission and Township Board; and

WHEREAS, due notices having been given and public hearings having been held on said Application, and the Township Planning Commission and Township Board having determined that the requested Special Use Permit is appropriate, and in the best interest of the Township and meets the specific and special standards as set forth in the Zoning Ordinance as required by Sections 16b and 16c of Public Act 184 of 1943, as amended, and

WHEREAS, the Township Planning Commission and Township Board having determined that certain conditions upon the use of the premises are necessary to protect the health, safety and welfare of Township residents, to uphold the spirit and purpose of the Zoning Ordinance, and to insure that the development is harmonious and appropriate.

NOW, THEREFORE, BE IT RESOLVED as follows:

TOWN BOARD APPROVED 5/12/05

The Township Board does hereby issue this Report and Decision Order for the use of the above referenced property, subject to the following requirements:

1. Development Plan. Subject to the requirements set forth in this Report and Decision Order, the Applicant's Development Plan, comprised of the drawings set out in the Schedule below shall constitute the Development Plan for the planned unit development.

Drawings

Rev 4/21/05

Page #	Name of Drawing	Date	Sheet	Scale
Development Plan Set				
01PUD	Cover Page	5/4/05	1	N/A
02PUD	Preliminary Site Plan	5/4/05	1 of 2	1"=100'
03PUD	Site Dimensioning Plan	5/4/05	3	1"=100'
04PUD	Analysis	5/4/05	4	N/A
05PUD	Existing Site Drainage Plan	5/4/05	5	1"=100'
06PUD	Proposed Site Drainage Plan	5/4/05	6	1"=100'
07PUD	Proposed Site Grading Plan	5/4/05	6A	1"=100'
08PUD	Water Utility Plan	5/4/05	7	1"=100'
09PUD	Sewer Utility Plan	5/4/05	8	1"=100'
10PUD	Landscape Plan	5/4/05	9	1"=100'
11PUD	Circulation Plan	5/4/05	10	1"=100'
12PUD	Typical Lone Tree Office Building (2 Pages)	N/A	N/A	N/A

2. Documentation. The representations made by the Applicant in its Application dated January 21, 2005 and the documents appearing in the Schedule below, as attached hereto and incorporated herein have been relied upon by the Township Board in making its determination in this matter. It is a condition of this Report and Decision Order that the Applicant shall abide by all representations in these documents and may not deviate from these documents without the prior written consent of the Township Board. The Schedule of Documents follow:

Documents

Rev 4/21/05

PageID	Document Name	Pages	Date
Application			
01App	Table of Contents	1	N/A
02App	Application	1	N/A
03App	General Information	1	N/A
04App	Legal Survey	1	2/3/04

TOWN BOARD APPROVED 5/12/05

06App	PUD Submission (Response)	10	1/21/05
07App	Special Use permit (Response)	8	1/21/05
08App	Impact Assessment	6	1/21/05
09App	Traffic Impact Study	35	2/05
Agency and Consultant Reviews			
01Agn	G.T.C Road Commission, Mary Lajko	1	2/3/05
02Agn	G.T.C Drain Commissioner, Kevin P. McElyea	1	2/3/05
03Agn	G.T.C. Sheriff's Office, Lt. Bryan Marrow	1	1/20/05
04Agn	G.T.M. Fire Department, Brian Belcher	2	2/7/05
05Agn	G.T.C. Department of Public Works, Chris Buday	1	2/3/05
06Agn	TCAPS, Gary Derrigan	2	2/4/05
07Agn	Dr. Rick Lyles Review of Lone Tree TIS	2	4/9/05
Correspondence			
01Cor	Letter from URS, Laura Aylsworth-Bonzelet, P.E.	4	4/13/05

3. Further Conditions. This Report and Decision Order is subject to the following additional conditions:

- a. Applicant shall obtain all other permits required by law including, a Grand Traverse County Soil Erosion Permit, and a Grand Traverse County Road Commission Permit. Compliance with those permits is a condition of the Report and Decision Order and the terms of those permits are incorporated herein by reference. The Applicant shall engage in no activity relating to this project which requires a permit from any governmental unit or agency until that permit has been obtained.
- b. The development shall meet all of the requirements that may be imposed from time to time by the Grand Traverse County Metro Fire Department.
- c. Final development plans and documents shall be reviewed by the Township Code Enforcement Officer, and the development shall meet all requirements of the Township as set out in this special use permit, or if not specifically addressed in this Report and Decision Order, as regulated in the Township Zoning Ordinance, including landscaping, lighting, signage and utility easements, construction and related issues. Building floor elevations and heights shall be consistent with the documents attached hereto. Any building floor or roof elevation changes between the representations made in the documents attached hereto and the final development plans of greater than five (5) feet shall be considered a major amendment to the Special Use Permit and shall be approved prior to construction.
- d. The applicant shall provide a bond, letter of credit or cash surety in a form and amount acceptable and approved by the Township Code Enforcement Office before commencement of operation or any phase of operation, for completion of site restoration, landscaping, irrigation, lighting, parking and roadways, blacktopping, utilities, sidewalks, drainage and other site

operation or any phase of operation, for completion of site restoration, landscaping, irrigation, lighting, parking and roadways, blacktopping, utilities, sidewalks, drainage and other site improvements when improvements are proposed for which such bonds, letter of credit or cash surety are not required by other permitting agencies.

e. During site excavation the owner shall provide appropriate treatment at site construction road entrances and exits to assure that soil is not carried onto adjacent road surfaces. Sweeping equipment shall be readily available for use in the event any cleaning of area roadway services is necessary as a result of project construction activity.

f. Based on the representations made and materials presented in the project application and by the applicant at the Planning Commission public hearing, the applicant shall make arrangements with the Grand Traverse Co. Road Commission to provide for the paving of Lone Tree Rd., a public road, from its intersection with Harris Rd. to its intersection with westerly rd. entering the project, and the paving of North Long Lake Rd., a public road, as a three land section, from its intersection with Zimmerman Rd. to a point west of the projects west property line. The applicant shall enter into a binding agreement with the Grand Traverse County road Commission for completion of the road improvements and shall deposit all funds required of the developer with the Road Commission prior to the issuance of a land use permit.

g. Prior to the issuance of any land use permit for the construction of any structures within the project, the applicant shall provide the Township Code Enforcement Officer with copies of project condominium documents, or other instruments, which will contain provisions which will delineate and protect, in perpetuity, the common open space within the project for the use and enjoyment of all, and will assure the construction and adequate maintenance in perpetuity of the trails indicated on the development plan.

4. Violations and Notice Requirements. Any violation of these conditions shall serve as grounds for revocation of the Special Use Permit issued by the Township. In the event of any such violation, the Township shall give written notice to the Applicant by ordinary mail addressed to the Applicant at the last address furnished to the Township by the Applicant. The Notice shall state that unless the violation is corrected or resolved to the satisfaction of the Township within 30 days from the date of the Notice, then the Township may revoke the Special Use Permit after hearing. In the event a hearing becomes necessary, the Township shall establish the notice requirements and such other conditions with respect to the hearing as the Township may deem appropriate. After the hearing, if the Township revokes the Special Use Permit, then enforcement of the revocation may be made by application for appropriate relief in Grand Traverse County Circuit Court and the Township may recover all of the costs, including attorney fees, associated with or resulting from such violation or noncompliance.

5. Fees and Expenses. All fees and expenses charged to the Applicant pursuant to Township ordinance shall be paid before the Special Use Permit becomes effective.

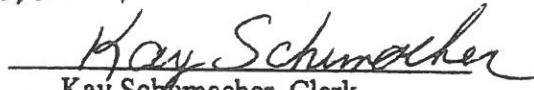
6. Non-vesting. The approval of this Report and Decision Order and the issuance of the Special Use Permit by the Charter Township of Garfield shall not operate to vest in the Applicant any right to rely upon any permission given herein until compliance has been had with all stated conditions herein.

TOWN BOARD APPROVED 5/12/05

7. Alteration, Amendment or Cancellation of Special Use Permit. By compliance with the same procedures required for the issuance of this Permit, including a public hearing, the Township may alter, amend or cancel the Special Use Permit to the extent permitted by law.

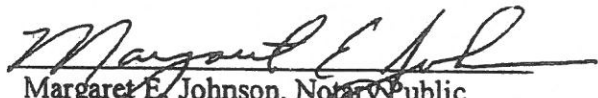
TOWN BOARD APPROVED 5/12/05

The undersigned hereby certifies that she is the Clerk of the Charter Township of Garfield Traverse City, Michigan, and that the foregoing Report and Decision Order was approved by the Township Board of the Charter Township of Garfield on June 7, 2005.


Kay Schumacher, Clerk

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Subscribed and sworn to before me this 7th day of June, 2005, by Kay Schumacher, Clerk of the Charter Township of Garfield.


Margaret E. Johnson, Notary Public
Leelanau County, MI (Acting in Grand Traverse County, MI)
Comm. Exp. - Sept. 30, 2006

Applicant Lone Tree Development.L.L.C, hereby acknowledges receipt of the Report and Decision Order, that he has read and understands all of the terms and conditions of the Report and Decision Order. The Applicant agrees to comply with all of the terms and conditions thereof and further agrees that all of the terms and conditions of said Permit shall be binding upon all other owners or occupants of the subject property.

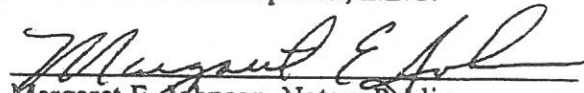
Lone Tree Development, L.L.C.

By: 

RONALD J. WALTERS

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Subscribed and sworn to before me this 7th day of June, 2005, by Ronald J Walters, of Lone Tree Development, L.L.C.


Margaret E. Johnson, Notary Public
Leelanau County, MI (Acting in Grand Traverse County, MI)
Comm. Exp. Sept. 30, 2006

LONE TREE DEVELOPMENT

APPLICATION FOR SPECIAL USE PERMIT
&
PLANNED UNIT DEVELOPMENT

Original Submittal Date 1-21-05



gfa Gourdie-Fraser
Municipal | Development | Transportation

- (m) That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

The proposed development will utilize existing water and sewer mains, roads and accesses. On-site drainage systems have been designed to handle stormwater runoff without impact on the surrounding lands. Expansion of the existing facilities is therefore not proposed or required.

- (n) That the submitted landscape plan is in accordance with Section 7.13.

Landscaping plans will be required for each commercial site as individual development applications come forward. Those final landscaping plans will be required to comply with the requirements of Section 7.13.

Landscaping plans are not applicable to the residential component of the development.

- (o) That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

The proposed road system has been designed to provide access for this development to both North Long Lake Road and Lone Tree Road. This combination of access points will provide sufficient access for the development upon full build out. This matter is being further addressed under separate cover in the form of a traffic report.

Within the site, the commercial lands have been grouped at the south end of the site with close and convenient access to North Long Lake Road. This design will minimize commercial traffic within the residential areas of the site.

- (p) That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

Access to two separate public roads will ensure that safe vehicular access is available for residential occupants of the development and their guests. The Master Plan submitted with this application further demonstrates the integration possibilities should adjacent development to the north and east proceed in the future.

Pedestrian traffic is accommodated within the development by means of an integrated pedestrian pathway utilizing the 12 plus acres of open space and park area provided by the development. This pedestrian system includes connection to the West Senior High School lying to the west of the site.

LONE TREE

A Planned Unit Development

Impact Assessment

Property Description Parts of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan

The following impact assessment is provided in accordance with the requirements of Section 8.1.2(2)(d) of the Zoning Ordinance for Garfield Township. The numbering of this assessment corresponds to the specific information requirements set out and correspondingly numbered in the Zoning Ordinance.

1. ENVIRONMENTAL SITE CHARACTERISTICS

Sheet 4 of the submitted drawings is a natural environment analysis prepared for the subject parcel. As shown on that drawing, the site possesses a number of different soil types, varying topography, and various land cover. No existing structures are located on the site.

Existing topography is probably best illustrated on Sheet 5, which also shows the existing drainage areas resulting from this topography. Generally described, the site contains a series of knolls and valleys that result in numerous drainage paths and discharge points onto adjacent lands. Site elevation resulting from this topography drops nearly 100 feet across the full site from north to south.

Land cover on the site includes mature deciduous and mixed coniferous/deciduous trees on the north-west corner, mature red pines along the western property line, mature deciduous trees in the north-central portion of the site, a former orchard in the central portion of the parcel covering approximately 31 acres, and a mixed conifer plantation along the eastern portion of the parcel covering approximately 21 acres.

Despite the topography on site, wetlands are not a significant presence on the parcel. Only one isolated wetland area has been identified in the west-central portion of the site. This wetland area is not connected to any other nearby wetlands.

There are no other known environmental concerns on the site.

2. PROPOSED USES AND MAN-MADE FACILITIES

The Lone Tree planned unit development is located on a parcel of land 79.62 acres in size and situated on the north side of North Long Lake Road, just west of the Zimmerman Road intersection. The development as proposed is comprised of both residential and commercial land uses. Of these, residential uses are most prominent. 120 single-family dwelling sites in site condominium form are proposed within the development plan.

Commercial land uses are located on the north side of North Long Lake Road. Approximately 5.95 acres of land has been set aside for commercial purposes. Specific commercial tenants have not been identified at this time. It is anticipated that, upon full build out, approximately 40,000 square feet of commercial space in 5 separate single story buildings will occur.

Throughout the Lone Tree planned unit development, open space/park areas have been provided in a linear fashion. This design is intended to encourage the use of a pedestrian trail system throughout the project, as shown on Sheet 2 of the submitted drawings. Total park area, as called out on Sheet 3, is 12.22 acres.

Public water and sanitary sewer service is proposed for the project. Physical service design is indicated on Sheets 7 and 8. As designed, the project will connect to existing services in North Long Lake Road and will permit the eventual extension of services across Lone Tree Road to the north.

3. RESIDENCY/EMPLOYMENT/TRAFFIC

The residential component of Lone Tree is comprised of 120 single-family residential dwelling sites. Occupancy of these units is expected to be of a permanent nature and is not expected to have seasonal fluctuations. Based on the average household size in Garfield Township of 2.28 persons (Census 2000 statistics), Lone Tree can be expected to have a resident population of approximately 274 persons.

Employment projections for the commercial space proposed are not known at this time given that the specific tenants have not been identified. Approximately 40,000 square feet of commercial space is anticipated for this area of the development.

Traffic projections and anticipated impacts are being addressed in a report under separate cover.

4. PHASING

Phasing of the project is not anticipated beyond the residential/commercial land use split illustrated on the plans. The residential component of the development will take place in a single first phase. As soon as commercial tenants are identified, detailed plans will be brought back before the Township for approval. Timing of the commercial phase will be dependent upon market forces.

5. NATURAL FEATURES

Existing natural features are described under the environmental characteristics heading in 1 above.

Site design has been based initially upon the site topography and natural conditions of the property. Due to the varying topography over the site, all areas of steep slopes cannot be avoided completely. Accounting for this feature, however, areas of steep slopes have been avoided where possible and incorporated into park areas or the rear of the site condominium lots where long term maintenance of the slopes is most likely to occur.

Existing land use cover is intermittent over the site, and includes a mix of mature coniferous and deciduous trees, former orchards, and coniferous plantation areas. The most significant stands of trees, most notably those at the north-west corner of the property and those along the western and eastern edges, have been placed at or on the rear of proposed lots. Other areas, such as the former orchard area and conifer plantation, are considered to have less natural importance and contain less preserved open space area.

The proposed open space has been designed to incorporate a variety of terrain and land cover. Park area 126 includes steeper slopes and orchard areas, park area 127 contains more moderate slopes and areas of mature deciduous and red pine woodlots, park area 128 includes red pine woodlots, slopes and the only small wetland on the site, and park area 129 includes more varied topography in the former orchard area. All park areas are interconnected by a proposed pedestrian trail system as shown on Sheet 2.

Existing and proposed drainage are shown on Sheets 5 and 6. To the extent possible, existing drainage areas and overland flow directions have been maintained in the final design. As necessary, drainage basins have been designed to catch overland flow, slowing release down to pre-development levels. Post development flow discharge will also utilize fewer discharge points than currently exist from the site.

6. SITE SERVICING

The development will be connected to both public water and sewer systems that are located within the North Long Lake Road right of way. Both the public water and the public sanitary sewer system are capable of servicing the project. Utility design has provided for future connections at Lone Tree Road should such connections become necessary.

The location and connection locations of the proposed water and sanitary sewer servicing lines for the development are shown on Sheets 7 and 8.

7. SITE DRAINAGE

Site drainage and the proper treatment of stormwater flows will require a typical sedimentation and retention basin design.

Existing site conditions and drainage patterns are identified on Sheet 5. Respecting these drainage patterns to the extent possible, the proposed drainage system is illustrated on Sheet 6. As shown, this drainage system will utilize a series of 5 drainage basins, 2 of which are split by the road system and connected by way of storm structures.

The drainage system and retention basins will be designed to accommodate all stormwater flows required by the County standards. The design and appearance of these basins will allow their integration into the landscaping of the site.

8. SEWAGE TREATMENT

The development will be connected to the public sanitary sewer system. The public sanitary sewer system is capable of handling the sewage treatment needs of the project. Sheet 8 identifies the utility plan for this system.

9. NUISANCE CONSIDERATIONS

During site construction, increased noise, traffic and possibly dust levels will occur. These impacts will be limited to the construction period and will not exceed typical construction levels.

Following construction, the development will not discharge any unusual effluent such as dust, fumes or smoke into the air. The development is not expected to create noise, vibration or light pollution at a level that would impact surrounding lands.

The most significant impact likely to result from the development is that of an increase in traffic in the general vicinity of the site. This issue has been separately reviewed. A final traffic study is forthcoming with the findings of that review.

Within the commercially planned areas, additional lighting impacts and noise related to snow removal could reasonably be expected. Such impacts will, however, be restricted by existing ordinance standards for lighting and snow maintenance procedures/hours. Additionally, considering the adjacent land uses, such impacts will have minimal effect on the use and enjoyment of those properties. It is also anticipated that light and noise impacts of the limited commercial elements included in this planned unit development will be significantly less than those of the nearby school.

Addressing specifically snow maintenance procedures, the commercial sites will comply with the requirements of the Township, including a limit on light snow removal operations between the hours of 5:00 am and 6:00 am, and a general limit on such operations to the hours of 6:00 a.m. to 11:00 p.m. Equipment operation will be carried out in a manner that will minimize back-up beepers and engine noise. Snow storage areas in accordance with Township standards will be identified for the commercial sites at the time of detailed site plan submission.

10. SITE INTEGRATION

The subject site is located with frontage on North Long Lake Road and on Lone Tree Road. Access to both roads has been incorporated into the project design.

Additionally, at the request of Township Planning Staff, a Master Plan drawing has been prepared and submitted as part of this submission package (see Sheet 2). The purpose of this Master Plan is to demonstrate the integration of this site with the adjacent lands to the east that will remain possible upon approval of the Lone Tree development. This Master Plan identifies the potential for a northerly extension of Zimmerman Road, as well as the continued extension of a planned road network to the east of that extension. This Master Plan, in our opinion, demonstrates that the proposed design is fully capable of being integrated into the surrounding area in a thoughtful and planned manner.

Concerning lands to the west, pedestrian access has been provided between the Lone Tree development and the school property. This access will allow reasonable and appropriate access for pedestrians between the school and this development. As a connection to the internal road on the school site would serve only to establish a convenient cut-through for traffic headed east from the school, however, vehicular connection is not proposed.

Finally, the Master Plan also demonstrates the ability for this development to connect to lands lying to the north. This future connection can be realized if and when additional development occurs in this direction. Such connection could eventually provide vehicular connection to Cedar Run Road.

11. AUTHOR

This impact assessment has been prepared by C. Bradley Kaye, AICP, Community Planner, Gourdie-Fraser, 123 West Front Street, Traverse City, Michigan, 49684, (231) 946-5874.

12. SOIL EROSION AND SEDIMENTATION CONTROL

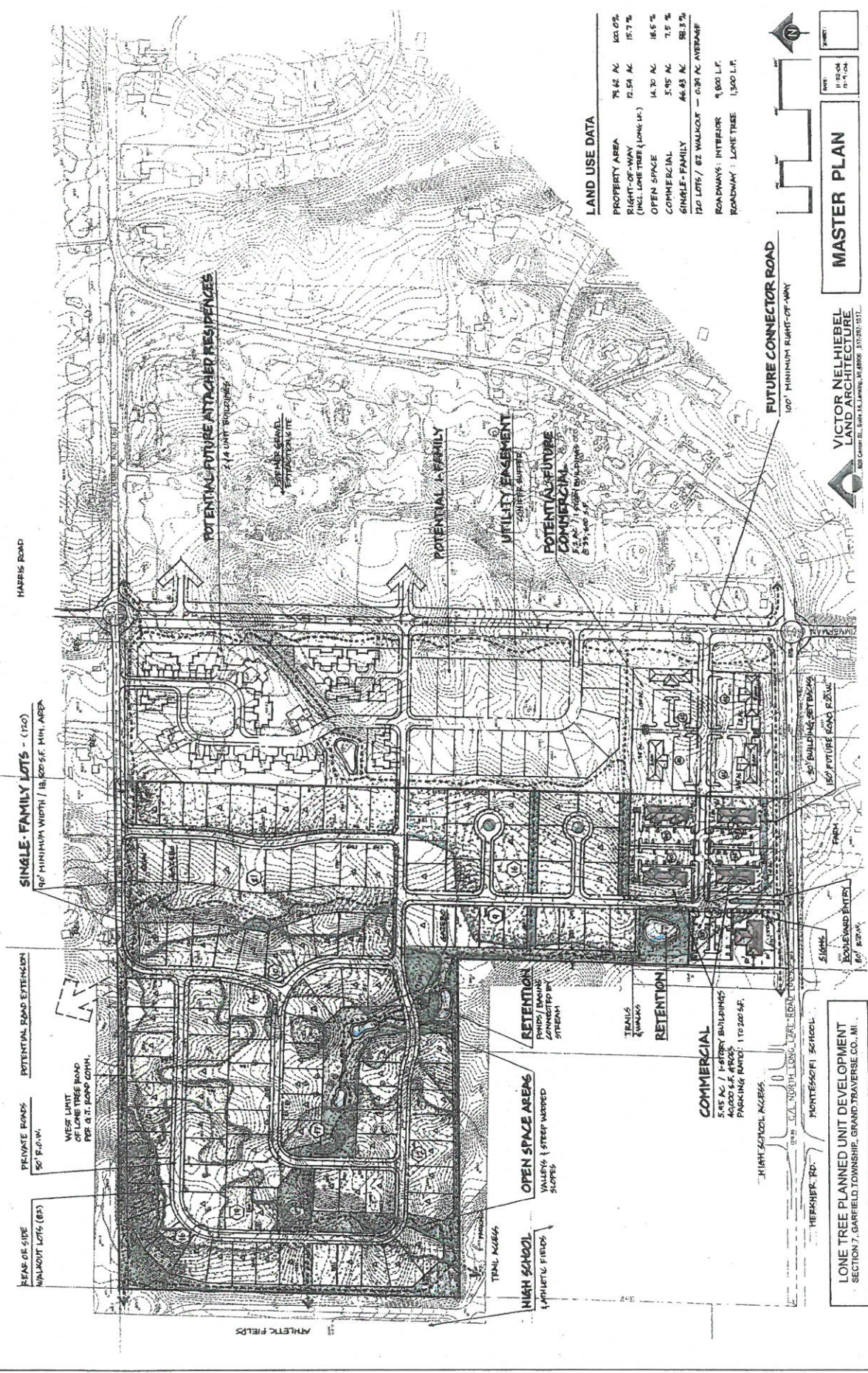
To develop the subject parcel, a significant area of land will require grading, including cut and fill activities. Standard soil erosion and sedimentation control measures will be put in place and maintained during all phases of construction and until such time as the soils have been fully stabilized. Full soil erosion and sedimentation control plans will be prepared to the satisfaction of the appropriate authorities, including the Drain Commission, and all necessary permits will be obtained from those authorities.

13. OUTSIDE LIGHTING

It is acknowledged that all site lighting will be required to comply with Township standards, including shielding, spill, and intensity standards. Commercial site lighting will be identified on detailed site plans submitted for approval as specific tenants are identified. No residential lighting is proposed other than that which the residential owners may place on individual lots.

14. DEED RESTRICTIONS

The sites within Lone Tree will be offered as site condominiums. A condominium association will be established and appropriate documentation will be put in place. Aside from normal considerations such as road maintenance, drainage system maintenance, outdoor storage and accessory building limitations, no additional deed restrictions are anticipated for the development.



LAND USE DATA

PROPERTY AREA	74.62 AC	100.0%
RIGHT-OF-WAY (INCL. LONE TREE (LONG UC))	72.54 AC	97.1%
OPEN SPACE	14.30 AC	19.1%
COMMERCIAL	5.95 AC	7.9%
SINGLE-FAMILY	46.83 AC	62.8%
120 LOT / 82 WALKOUT - 0.28 AC AVERAGE		
ROADWAYS: INTERIOR	9,800 L.F.	
ROADWAY: LONE TREE	1,500 L.F.	



DATE: 11-28-04
BY: J.A.

MASTER PLAN

**VICTOR NELHIEBEL
LAND ARCHITECTURE**
100 GERRARD ST. EAST, SUITE 100, TORONTO, ONT. M5E 1B7

HARRIS ROAD

SINGLE-FAMILY LOTS - (112)
90' MINIMUM WIDTH / 18,000 S.F. MIN. AREA

POTENTIAL ROAD EXTENSION

PRIVATE RAMP
50' F.O.W.

REAR OR SIDE
WALKOUT LOTS (87)

WEST LIMIT
OF LONE TREE ROAD
PER G.T. ROAD CONN.

POTENTIAL FUTURE ATTACHED RESIDENCES
214 UNIT BUILDINGS

UTILITY EASEMENT
20' WIDE

POTENTIAL FUTURE
COMMERCIAL
5.95 AC / 1,000 BLDG. SQ. FT.
8.5% AVERAGE

RETENTION
POND / BASIN
CONNECTED BY
STREAM

OPEN SPACE AREAS
VALLEYS & STEEP SLOPES

HIGH SCHOOL
ATHLETIC FIELDS

RETENTION
TRAILS
& WALKWAYS

COMMERCIAL
2.45 AC / 4 STORY BUILDINGS
44,000 S.F. AVERAGE
PARKING RATIO: 1 TO 200 S.F.

HIGH SCHOOL ACCESS

HERASHER RD.
MONTESOPHI SCHOOL

LONE TREE PLANNED UNIT DEVELOPMENT
SECTION 7, GARFIELD TOWNSHIP, GRAND TRAVERSE CO., MI.

FUTURE CONNECTOR ROAD
100' MINIMUM RIGHT-OF-WAY

50' BUILDING SETBACKS
150' FUTURE ROAD ROW

5' WALKWAY
BOOKEND ENTRY
80' ROW

ATHLETIC FIELDS

**CHARTER TOWNSHIP OF GARFIELD
TOWN BOARD MEETING
MAY 12, 2005 MINUTES**

Lee Wilson, Chairman, called the Town Board Meeting to order on Thursday, May 12, 2005, at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan.

Roll call of Board Members

Present: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait

Staff Present: Kent Gerberding, Marge Johnson, Gerry Harsch

Review and approval of the Agenda - Conflict of Interest

Leo Strait/moved, Jim Harvey/supported, PASSED, to approve the Agenda as amended, adding County Commissioner under Reports, under Unfinished Business, change item c. to item d, and add new item c. Cable Franchise Agreement, and under New Business, add Brian Bourdages, TCAPS Youth Corps Program for Summer of 2005..

Consent Calendar

Joe McManus/moved, Kay Schumacher/supported, PASSED, to approve the Consent Calendar as presented.

Minutes

April 28, 2005

Bills

General Fund	\$ 28,251.00
Fire Fund	\$ 6,480.37

Gourdie Fraser

a. from Developer's Escrow Fund	\$ 2,583.75
b. from Utility Receiving Fund	\$ 5,099.75
c. Engineering services, Garfield Lift Station No. 1 Upgrade & Garfield Road Interceptor Sewer Flow Monitoring, forward to the DPW for payment out of Bond Fund 439	
d. Other Billings	\$ 715.00

Grand Total	\$ 9,753.50
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Sewer and Water Projects

a. Lift Station #1 Upgrade Gourdie Fraser Project 04050

1. Contractor - Integrated Controls - Payment No. 4 \$ 3,975.00
Forward to County DPW for payment out of Bond Fund 439
2. Contractor - Arms & Cole, Inc. - Payment No. 4 \$51,110.27
Forward to County DPW for payment out of Bond Fund 439

Fourth of July Fireworks Program - 2005 Contribution \$ 2,500.00

Correspondence

There was no correspondence.

Reports

Clerk

The April 2005 Clerk's Report was submitted and placed on file. Traverse Outdoors will plant perennials in the front of the townhall building before Memorial Day.

County Commissioner

Herb Lemcool reported on County activities - a Planning Director has been hired, 2006 budget is in process, Physical Resources Committee is looking at extending Cass Road through the soccer fields, creating an intersection as well as an entrance off of Brinley Road and working with the Road Commission to determine whether permanent traffic signals at Rennie School and East Silver Lake Roads should be installed. Parks & Recreation is working on a master plan. The Septage Treatment Plant will open on May 23, 2005. Randy Smith resigned from the Resource Recovery Council.

Unfinished Business

Public hearing - Application of Ron Walters, Lone Tree Development, LLC, 830 E. Front St., Traverse City, MI 49686 for a Special Use Permit to construct a planned unit development on 79.62 acres located on N. Long Lake Road and Lone Tree Dr., Part of Parcel 28 05 007 022 00

Joe Elliott, 4333 Carlson Dr., from Gourdie Fraser represented the applicant and reviewed the plans for the Lone Tree Planned Unit Development. The project consists of 90 single family condo units, 46 attached condo duplexes and 40,000 square feet of commercial development and over 25 acres of open space. There is one access off of N. Long Lake Road, two off of Lone Tree Road and a

future access to the east toward the Samuelson parcel. The site is described as having mature pine and hardwood trees, long views, drainage outlets, rolling topography, and a vegetative buffer around the perimeter of the property. A paved trail extends through the open space and connects to the athletic fields at the high school. There is one and a half miles of informal foot trail for use by residents and the cross country team. A formal playground is planned. A sidewalk system goes along the attached housing and commercial areas for pedestrian use. Mass grading will not be required as the roads work with the topography. Sewer and water will be extended to the site.

Mr. Elliott responded to questions from the Board. Lone Tree Road is a county road and will be paved as part of the first phase. The roads in the project are private. Off-site road work will include the construction of right turn lanes. The developer will be working with the Road Commission to cost share a three lane section of North Long Lake Road. The Road Commission intends to take out the traffic light at the high school and retain the traffic light at N. Long Lake Road and Herkner Road where site distance is adequate.

Ron Walters, 830 E. Front Street, responded to questions from the Board. The developer intends to include the Samuelson 40 acre parcel to the east in the Lone Tree Development. The condominium association (commercial, multi-family and residential) will be expandable for future development. The County Road Commission plans to construct a road from Zimmerman to Harris Road. The developer will make it known to the purchasers of lots that the road will be extended from one phase to the next phase. The commercial area is planned for professional businesses such as medical and insurance offices.

The public hearing was opened. There was no public comment or correspondence received. The public hearing was closed.

Discussion by the Board -

Brad Barnes said the revised plan is unique, has a large amount of open space which is being made available to the public and a large number of trails for the size of the development.

Lee Wilson said the revised plan is a better concept than the original plan. He has no problem with the developer prohibiting people from using the trail who vandalize or misuse it.

Brad Barnes/moved, Kay Schumacher/supported, PASSED, to adopt the Findings of Fact for the Lone Tree Planned Unit Development. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McMamus, Brad Barnes, Joe McMamus, Jim Harvey, Leo Strait

Leo Strait/moved, Brad Barnes/supported, PASSED, to approve the Report Decision-Order for Lone Tree Development SUP 2005-05 to construct a planned unit development on 79.62 acres located on N. Long Lake Road and Lone Tree Dr., Part of Parcel 28 05 007 022 00. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McMamus, Brad Barnes, Joe McMamus, Jim Harvey, Leo Strait

Public Hearing - Amended and Restated Cable Television Ordinance No. 34 for Charter Township of Garfield, Michigan

The Amended and Restated Cable Television Ordinance No. 34 was reviewed which supercedes and replaces existing Ordinance No. 34 which was originally enacted in December of 1993.

The public hearing was opened. There was no public comment or correspondence received. The public hearing was closed.

Jim Harvey/moved, Brad Barnes/supported, PASSED, to adopt Amended and Restated Cable Television Ordinance No. 34 for Charter Township of Garfield. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McManis, Brad Barnes, Joe McManis, Jim Harvey, Leo Strait. No: None

Cable Franchise Agreement For Charter Township of Garfield, Michigan and CC Michigan, LLC d/b/a Charter Communications

The Cable Franchise Agreement was reviewed. All of the provisions of the Amended and Restated Cable Television Ordinance No. 34 are incorporated by reference. This is a non-exclusive franchise agreement and is for a period of ten (10) years from the date of acceptance by the Grantee, unless sooner renewed, revoked or terminated as herein provided.

Brad Barnes/moved, Judy McManis/supported, PASSED, to enter into the Cable Television Franchise Agreement between the Charter Township of Garfield and Charter Communications. Roll call vote: Lee Wilson, Kay Schumacher, Judy McManis, Brad Barnes, Joe McManis, Jim Harvey, Leo Strait. No: None

Garfield Township Park Toilet Room & Pavilion Project

Jim Minster of Gourdie Fraser presented the conceptual drawing for the proposed 36' x 48' bathroom pavilion facility for the township park on East Silver Lake Road. Cost estimates are approximately \$223,000.00, not including engineering and architectural services of \$27,000.00. Additional costs include a drainfield at \$7,500.00, concrete basketball and tennis courts at \$75,000.00 or an option of asphalt for \$50,000.00. The estimated total cost is between \$300,000 and \$325,000.

Discussion by the Board -

It was the consensus of the Board that the conceptual drawings for the pavilion project should be revised as follows - construct the pavilion matching it with the existing pavilion with gable end roof and metal under siding, sizing it for 10 tables and locating it near the bathrooms but not attached to it. Retain the configuration of the two bathrooms, changing the women's bathroom to two stalls with one sink and the men's bathroom to one stall, one urinal and one sink, cut the workshop off so it aligns with the north wall of the bathroom, shrink the eaves to one foot, retain the office, include one full basketball court, and one full tennis court, two half basketball and tennis courts on the side, and

submit alternates for insulating the heated areas, and for basketball and tennis court surfaces.

New Business

Resolution 2005-06-T, Approving Method of Publication for all Township Notices, Ordinances and Proceedings and Method of Publication of New Zoning Ordinance Prior to Final Adoption

This Resolution will be submitted at the next meeting.

TCAPS Youth Corps Program for Summer 2005

Brian Bourdages, TCAPS Community Public Service Coordinator, reviewed the 2004 TCAPS Youth Corps Program. The Township provided a grant of \$2,500.00 for that program. Mr. Bourdages is requesting a grant of up to \$7,000.00 from the Township for the 2005 program to fill the gap in funding for one team from the alternative high school. Michigan Works has made a commitment to provide funding for administration of wages and benefits for the students. With 36 hours a week devoted to work for seven and a half weeks it constitutes a per labor cost to the Township of \$3.25 an hour. The Conservation District would oversee all the work projects done on Township property at the Commons.

Judy McManus suggested that Mr. Bourdages contact Karen Rosa, Chairperson of the Grand Traverse County Chapter of the MTA Association about seeking some funding from that association.

Brad Barnes/moved, Jim Harvey/supported, PASSED, to approve a grant of \$7,000.00 to TCAPS Youth Corps Program for Summer of 2005 for \$7,000.00 to come out of cablevision funds. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait. No: None.

Public Comment

There was no public comment.

Other Business

Board Meeting Room

The Board looked at the option of hooking monitors to the top of the board meeting table versus cutting holes and mounting them into the table and agreed that the monitors should be hooked to the top of the board meeting table, also that holes should be drilled in the table for the microphone cords.

Adjournment

The meeting was adjourned at 9:05 p.m.

Lee F. Wilson, Supervisor

Kay Schumacher, Clerk

lone tree|AMD|AMEND MASTER DEED

Document No	Document Type	Recorded Date	Party 1	Party 2
2018C-00066	AMEND MASTER DEED	11/14/2018 4:21:31 PM		
2017C-00004	AMEND MASTER DEED	2/23/2017 12:13:27 PM		
2017C-00001	AMEND MASTER DEED	1/3/2017 10:22:51 AM		
2016C-00015	AMEND MASTER DEED	4/28/2016 10:11:14 AM		
2016C-00005	AMEND MASTER DEED	2/9/2016 4:04:12 PM		
2015C-00044	AMEND MASTER DEED	6/23/2015 1:55:58 PM		
2014C-00037	AMEND MASTER DEED	9/23/2014 3:12:28 PM		
2011C-00035	AMEND MASTER DEED	10/6/2011 12:40:11 PM		
2011C-00033	AMEND MASTER DEED	9/23/2011 3:20:13 PM		
2011C-00022	AMEND MASTER DEED	7/22/2011 2:10:59 PM		
2009C-00047	AMEND MASTER DEED	11/25/2009 2:05:57 PM		
2009C-00023	AMEND MASTER DEED	7/1/2009 1:10:34 PM		
2008C-00045	AMEND MASTER DEED	12/17/2008 11:03:27 AM		
2008C-00027	AMEND MASTER DEED	7/15/2008 2:41:46 PM		
2008C-00024	AMEND MASTER DEED	6/30/2008 2:12:33 PM		
2007C-00036	AMEND MASTER DEED	7/26/2007 8:18:15 AM		
2007C-00022	AMEND MASTER DEED	5/11/2007 2:11:07 PM		
2006C-00085	AMEND MASTER DEED	11/13/2006 1:14:29 PM		
2006C-00061	AMEND MASTER DEED	7/18/2006 2:00:00 PM		
2006C-00018	AMEND MASTER DEED	3/15/2006 4:22:57 PM		
2006C-00011	AMEND MASTER DEED	2/7/2006 10:18:17 AM		
2006C-00001	AMEND MASTER DEED	1/4/2006 2:28:36 PM		

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2015C-00044
STATE OF MICHIGAN
GRAND TRAVERSE COUNTY
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06/23/2015 PAGE 1 OF 12
PEGGY HAINES REGISTER OF DEEDS

FIRST AMENDMENT TO AMENDED AND RESTATED MASTER DEED

FOR

LONE TREE I

FIRST AMENDMENT TO AMENDED AND RESTATED MASTER DEED made as of this 22nd day of June, 2015, by LONE TREE CONDOMINIUM ASSOCIATION I, INC., a Michigan non-profit corporation, of 3347 S. Airport Road W. #B, Traverse City, Michigan 49684 (hereinafter referred to as the "Association");

WITNESSETH:

WHEREAS, Lone Tree Development, L.L.C., a Michigan limited liability company, the developer (the "Developer"), established **LONE TREE I** as a condominium project pursuant to that certain undated Master Deed recorded January 26, 2006 in Document No. 2006C-00008, consisting of 96 pages, Grand Traverse County Records, as amended and restated in its entirety by that certain Amended and Restated Master Deed for Lone Tree I dated July 25, 2007, and recorded July 26, 2007 in Document No. 2007C-00036, consisting of 66 pages, Grand Traverse County Records; and

WHEREAS, in order to comply with a requirement of the original PUD approval for the Project, the Association, on behalf of all of the Co-Owners, wishes to amend said Master Deed for the purpose of granting a perpetual, nonexclusive, appurtenant

easement for ingress and egress (but not for use by construction vehicles) and for the installation and maintenance of underground public and private utilities, over the roadways of the Project (namely, Rosewood Drive and Lone Pine Drive), to property adjacent and located to the east of the Project commonly known as the Brookside Commons PUD, contingent upon receipt of a perpetual, nonexclusive, appurtenant easement for ingress and egress (but not for use by construction vehicles), and for the installation and maintenance of underground public and private utilities, over the roadways of the Brookside Commons PUD (namely, Rosewood Drive and Zimmerman Road) for the benefit of the Project; and

WHEREAS, Article XI of the Master Deed authorizes amendment in general to the Master Deed for proper purposes and, pursuant to Section 90 of the Condominium Act, not less than 2/3rds of the Co-Owners entitled to vote hereon hereby consent to the execution and recording of this First Amendment to Amended and Restated Master Deed.

NOW, THEREFORE, in consideration of the premises and the rights reserved in the above-referenced Master Deed, said Master Deed is hereby amended in the following manner:

1. The sixth easement provided in Article II (entitled "Legal Description") of the Master Deed (found at pages 8 and 9 of the Amended and Restated Master Deed) is amended and restated in its entirety to provide as follows:

Subject to a perpetual, variable width, non-exclusive easement, for ingress, egress, and the installation and maintenance of underground public and private utilities for the benefit of the present and future owners, their heirs, successors and assigns, and their guests and invitees, of: (i) lots within Lone Tree III, a condominium, according to a

Master Deed recorded August 5, 2005 in Document No. 2005C-00052, consisting of 67 pages, Grand Traverse County Records, as amended; (ii) of lots within Lone Tree II, a condominium, according to a Master Deed recorded November 15, 2005 in Document No. 2005C-00094, consisting of 98 pages, Grand Traverse County Records, as amended; and (iii) of the property commonly referred to as the Brookside Commons PUD described below as the "Brookside Property" (but specifically excluding ingress and egress by construction vehicles) which grant shall only be effective upon the grant by the owners of the Brookside Property of a non-exclusive easement, for ingress and egress (but specifically excluding ingress and egress by construction vehicles), and the installation and maintenance of underground public and private utilities, over the roadways of the Brookside Commons PUD (namely, Rosewood Drive and Zimmerman Road) for the benefit of the present and future owners, their heirs, successors and assigns, and their guests and invitees, of Lone Tree I, Lone Tree II and Lone Tree III, viz.: (Brookside Property: A parcel of land located in the East one-half of the East One-half of the Southeast One-quarter of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

Beginning at the Southeast Corner of said Section 7;

thence North $88^{\circ}34'39''$ West, 658.41 feet,

along the South Line of said Section 7 and centerline of North Long Lake Road;

thence North $03^{\circ}06'40''$ East, 1323.94 feet,

along the West line of said East one-half of the East one-half of the Southeast One-quarter of Section 7;

thence South $88^{\circ}34'28''$ East, 658.30 feet;

thence South $03^{\circ}06'23''$ West, 1323.90 feet,

along the East Line of said Section 7,

to the Point of Beginning. Contains 20.00 acres of land, more or less); the easements benefitting the properties referred to above at (i), (ii) and (iii) are located over those certain general common element private roadways and/or easements areas of Lone Tree I, known as Lone Pine Drive (i.e. that portion of Lone Pine Drive located within the Project) and known as Rosewood Drive (located within the Project), each described as follows:

Lone Pine Drive (within Lone Tree I) A private roadway of variable width, known as Lone Pine Drive, in part of the Southeast one-quarter of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, the centerline of which is more fully described as:

Commencing at the East one-quarter corner of said Section 7;

thence North $88^{\circ}34'18''$ West, 658.20 feet,

along the East and West one-quarter line of said Section 7;

thence South $03^{\circ}06'54''$ West, 2635.19 feet, to a point on the South line of said Section 7 and centerline of North Long Lake Road;

thence North $88^{\circ}34'39''$ West, 423.31 feet, along said South section line and road centerline to the Point of Beginning of an 80 foot wide roadway which lies adjacent to, parallel with and 25 feet West and 55 East of the following described centerline;

December 11, 2019

John Sych, Planning Director
Charter Township of Garfield

Members of the Garfield Township Planning Commission
3848 Veterans Dr.
Traverse City, Michigan 49685

Re: Harris Hills Site Condominium
Design considerations of St. Joseph Lane

Dear sirs and madams:

With respect to the design of St. Joseph Lane, there were several factors which came into play regarding the design of St. Joseph Lane:

1. Historic experience: I have been approached in the past by the Lone Tree II and Lone Tree III homeowners' association in the past with respect to storm water problems that they have encountered. The solutions that I designed for their issues have worked well, but they came at a price. The heavy soils in these developments resulted in conveyance systems that were consistently overwhelmed during large storm events. I approached the design of the Harris Hills condominiums with the problems experienced by Lone Tree ever present in my thinking.
2. The highest elevation on the development—1045 feet AMSL--is at the terminus of the road. From the terminus to the intersection of South Road, we were able to design a road with a maximum slope of 5%. If we were to continue the road to the north, you will notice that the elevation would drop to the lowest elevation on the development---1005 feet AMSL. Although possible, in my opinion, it is not good design to continue the road north, which would result in a slope in the range of 10%, and would also involve massive cut/fill slopes, along with the attendant earth work.
3. We were able to ensure that, with a slope no greater than 5%, once a vegetative cover is established, the roadside ditches would not experience severe erosive forces from a 25-year storm event. We have provided calculations in the storm water design packet which justifies both the slope and the design of the roadside ditches. Again, although not impossible, it would be challenging to make the same statement with respect to a road at a 10% slope.
4. We have been careful to ensure that the geometric design is consistent with Fire Safety Code regulations. We have received a review from the Metro Fire Department which has approved of the geometrical configuration of the road.
5. With respect to interconnections with Lone Tree, again I would like to provide an historic perspective. From 1991 to 2007, as a former employee of Gourdie-Fraser, Inc., I served as

Page 2

John Sych


Garfield Twp. Planning Commission

the engineer of record for East Bay Township. Similar issues regarding interconnectivity came to the attention of the township board. As the engineer, I endorsed the idea of ensuring that the private roads of one development connected with the private roads of another development. When the township was challenged legally, the township attorney's opinion at the time was that the township had no authority to require interconnections. To date, it is my belief that there are no interconnections that exist within East Bay Township. It is my understanding that representatives from Lone Tree attended previous public hearings on Harris Hills and went on record opposing an interconnection with Harris Hills. Although I am not an attorney, if my past experience has any relevance, it is possible that the township may be facing a legal challenge regarding this issue.

I hope this provides some perspective on the rationale for the design approach on this project. Thank you for your time and consideration.

Sincerely,

Harry Luzius, P.E.
Project Engineer

 Charter Township of Garfield Planning Department Report No. 2020-4			
Prepared:	December 30, 2019	Pages:	4
Meeting:	January 8, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	BATA Development - Conceptual Review		
Applicant:	Bay Area Transportation Authority (BATA)		

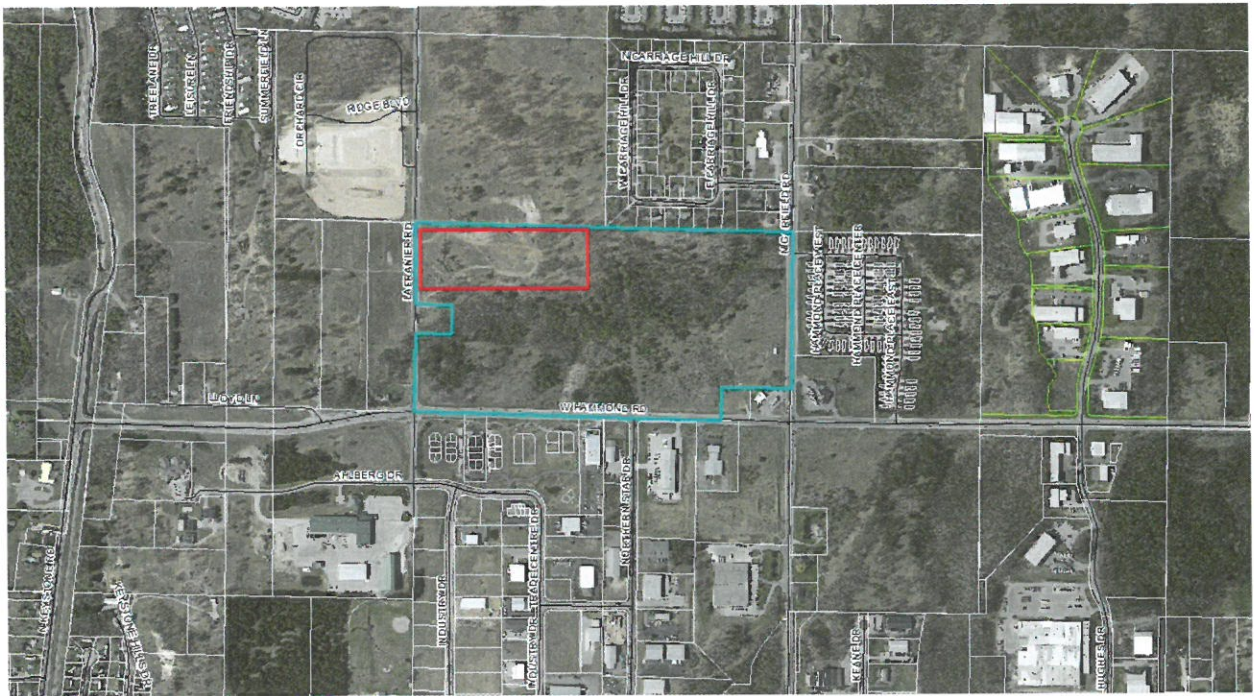
STAFF COMMENT:

This application is for conceptual review of a proposed development that would facilitate construction of a 57,000-square operation facility for the Bay Area Transportation Authority (BATA), a bus transfer station and a 120-unit apartment complex on approximately 76-acre “parcel” on the east side of LaFranier Road, roughly 750 feet north of Hammond Road. The 76-acre parcel would be created from a division of a larger parcel with the address of 2051 North Garfield Road.

The subject parcel is currently undeveloped. It is mostly open with clusters of existing trees. Land to the east and south is undeveloped. Land to the west is being developed as Ridge45 apartments. Land to the north is site of the proposed Village at LaFranier Woods along with another site expected to be the location of a future church.

The subject parcel is zoned A-Agricultural. Pursuant to the Township Master Plan, the future land use designation for the subject parcel is High Density Residential (6 to 10 units per acre).

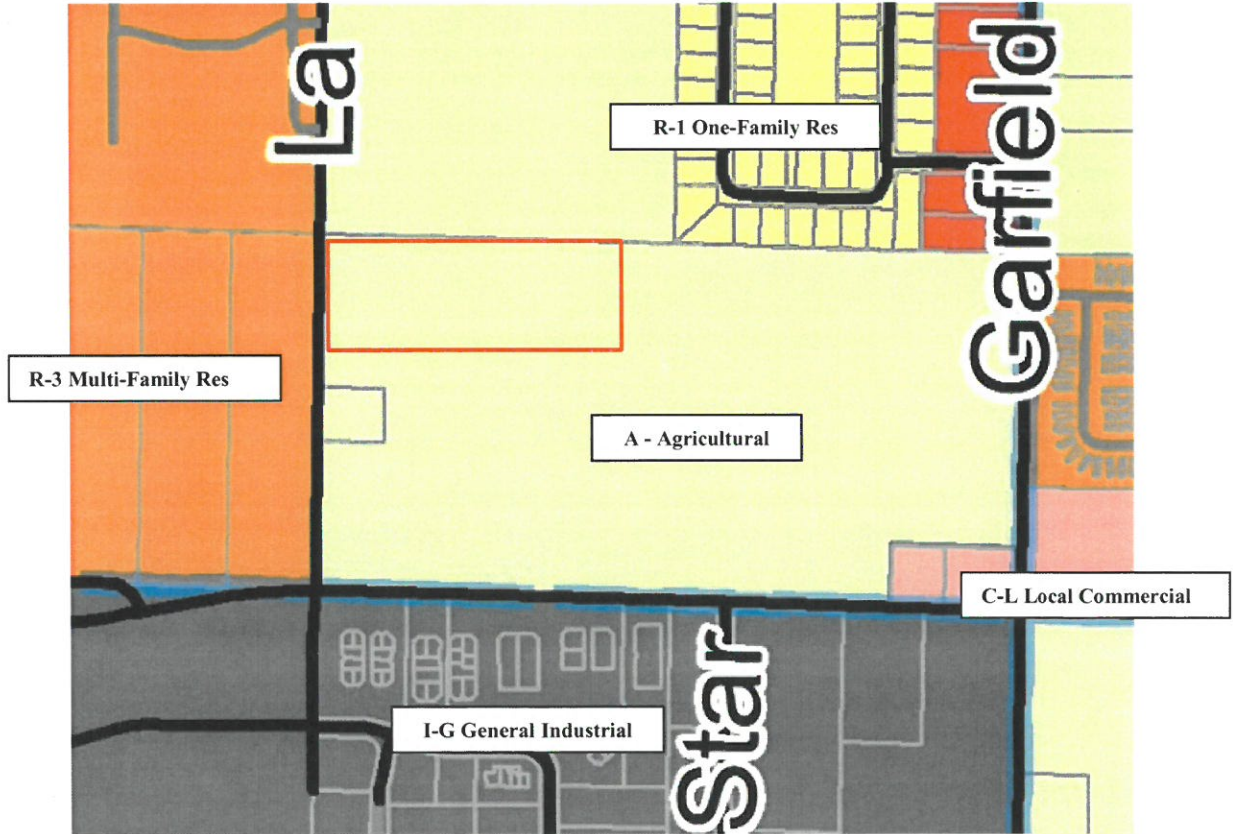
Zoomed-out aerial photo of subject property (the parent parcel property lines are highlighted in blue while the subject property lines highlighted in red):



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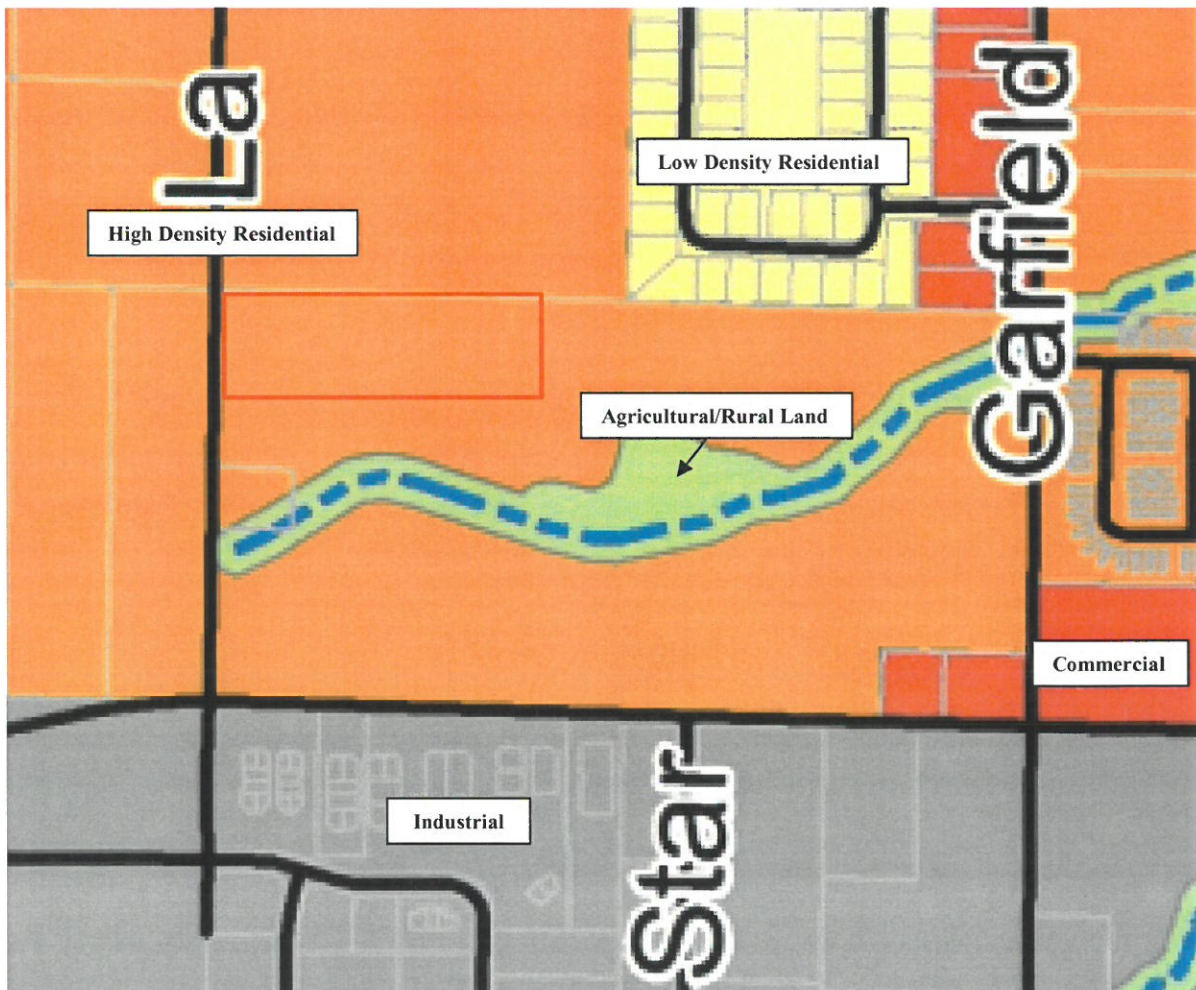
Zoning of the subject parcel and surrounding area is shown below:



Master Plan

The High Density Residential designation provides areas for medium- to high-density single- and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development. The districts are composed mainly of areas containing an existing mix of these dwelling types, as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive development in and near the core areas of the Township. Design should encourage a neighborhood environment for family life and include uses such as schools, places of worship, and parks that will promote a sense of community, urban vitality, and the efficient provision of infrastructure. Zoning district regulations should allow for market and design flexibility, while preserving the neighborhood character and permitting applicants to cluster development in order to preserve environmentally sensitive and natural land areas. Most compatible zoning district for this designation is R-3 Multi-Family Residential and potentially compatible with R-1 One-Family Residential and R-2 Two-Family Residential. Land uses generally permitted in the R-3 district include residential uses, adult and child care facilities, and institutional uses.

Future land use designation of the subject parcel and surrounding area is shown below:



Current Location:

The current location of the BATA operation facility is 3233 Cass Road at the intersection of Cass Road and South Airport Road. The location is designated as Industrial according to the Township Master Plan and is zoned I-G General Mixed Used Industrial Business.

Access Management

Pursuant to Section 512 of the Zoning Ordinance, only one (1) driveway is permitted to a County road per existing parcel. Some relief regarding access to LaFranier Road is provided in the Zoning Ordinance due to existing wetlands bifurcating the parcel. In this case, one (1) driveway to LaFranier Road north of the wetlands and one (1) driveway to LaFranier Road south of the wetlands is permitted. Any development at the northwest corner of the site would need to be coordinated with the access for the parent parcel along LaFranier Road so that only one (1) driveway is constructed.

Water/Sewer Services:

Existing water main and sanitary sewer services are available nearby.

Current Location:

The current location of the BATA operation facility is 3233 Cass Road at the intersection of Cass Road and South Airport Road. The location is designated as Industrial according to the Township Master Plan and is zoned I-G General Mixed Used Industrial Business.

ACTION REQUESTED:

The conceptual review process is intended to provide an opportunity for dialogue between the Planning Commission and the applicant. No formal action is requested.

Attachments:

1. Project Narrative dated December 3, 2019
2. Conceptual Site Plan dated December 3, 2019

RECEIVED
DEC 04 2019
PLANNING

Project Narrative for

Bay Area Transportation Authority Planning

Traverse City, MI

Prepared for:

Kelly Dunham
Bay Area Transportation Authority
3233 Cass Rd.
Traverse City, MI 49684

Prepared by:

Progressive AE
1811 4 Mile Road NE
Grand Rapids, MI 49525-2442
616/361-2664

December 3, 2019

Project No: 88760001

The Bay Authority Transportation Authority (BATA) provides more than a half million rides to residents and visitors in Leelanau and Grand Traverse counties, including those in the city of Traverse City. With the regional population growth, BATA continues to investigate opportunities to improve and expand while providing premiere service.

BATA's prioritizes the development of an operations facility, including maintenance and storage of buses, and administration offices. Upon exploring potential development sites, BATA focused on the location at 2051 N. Garfield Rd. This site is situated amongst diverse land uses, including general industrial, multi-family, single family and open space. The southern edge of the site rests along W Hammond Rd, which faces development primarily of general industrial uses. Industrial is also present to the east.

Multi-family and single-family housing are established directly to the north, east and west of the site. During the site investigation process, Traverse City Housing Commission expressed interest in developing on this site as well. While the BATA operations facility is not intended to provide a bus transfer station, the addition of a housing component heavily influences the need for one. When examining the opportunities and constraints of the site, the northwest corner will provide the most practical solutions for a variety of reasons.

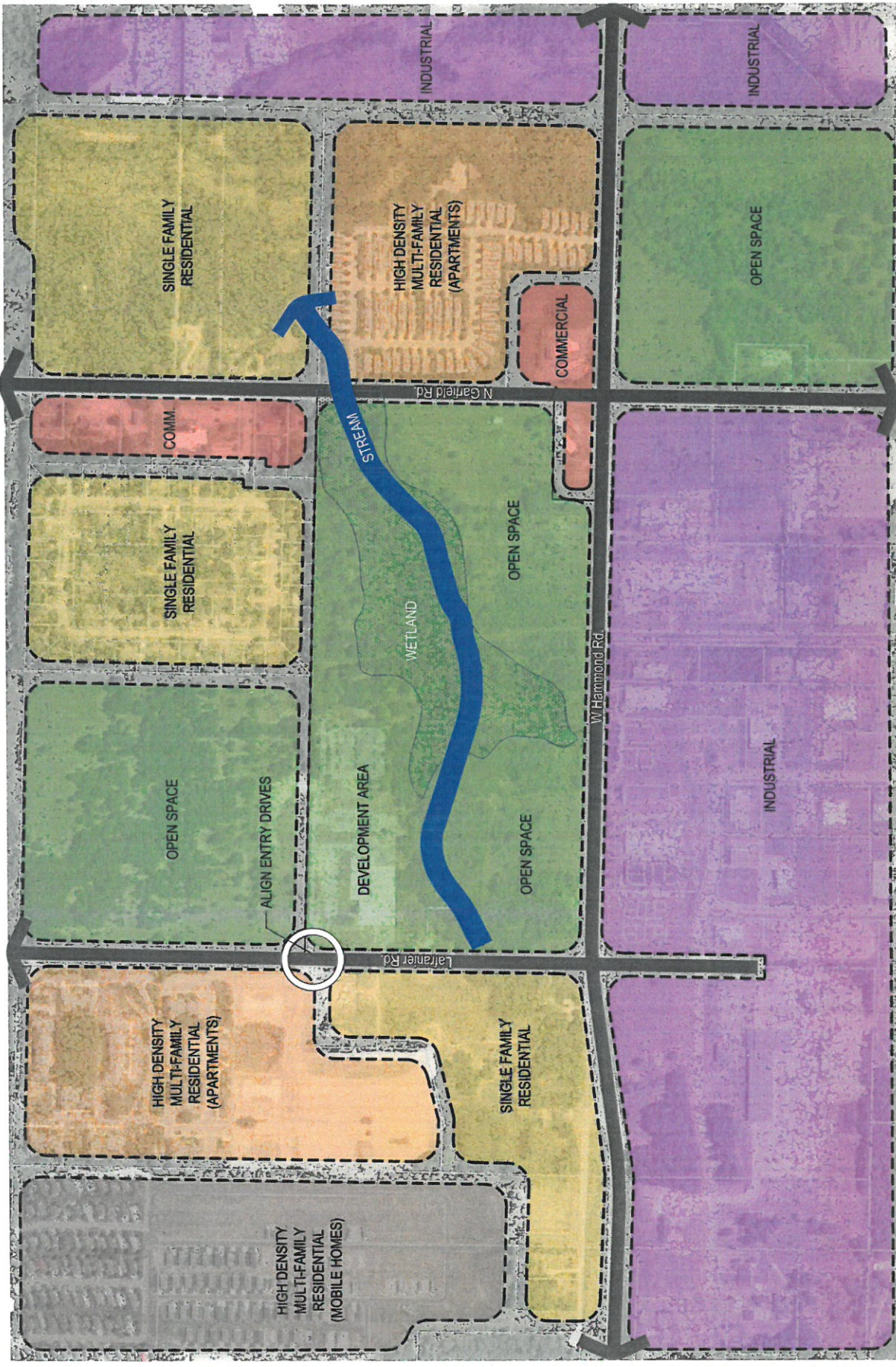
The wetland and stream provide significant constraints to the developable areas of the site. Due to these natural features basically bifurcating the site, the northern portion simply provides the safest, largest and most desirable developable land.

The proposed Housing Commission apartments will be situated closely to similar existing uses of single family and multi-family housing. These adjacent housing developments will have proximate access to the bus transfer station. It will sit behind (east) of the BATA operations facility and alongside the housing commission apartments. The operations building will sit along La Franier Rd, just north of the industrial uses on W Hammond Rd. The access drives are located with traffic safety in mind; they are distanced far enough from the main intersection of La Franier and W Hammond to provide adequate sightlines and queuing to occur. In addition to traffic safety concerns, pedestrian safety is critical, especially as it relates to accommodating travelers to and from the transfer station. The proposed development achieves to exceed those demands.

It is also important to note that the property to the north of this site has been purchased by a church who will eventually be developing a master plan to accommodate their use. We recognized that the Grand Traverse County Road Commission would like to limit the number of curb cuts on to La Franier Road and therefore, it is our desire to engage in early discussions with representatives of the church about the possibility of sharing a curb cut with this proposed development.

Development Summary:

Property Size:	75.99 acres
Developed Areas:	7.25 acres for BATA transit operations 1.45 acres for Transfer Station 4.75 acres for apartments
Open Space Preserved:	62.45 acres
Operations Building Size:	57,000 sq. ft.
Apartment Building Size:	7,300 sq. ft. per floor
Apartment Units:	120



1 EXISTING LAND USE PLAN



LAND USE PLAN
C101

ISSUANCE
Completed Plan Review
12/03/2019

REVISIONS
NO. DATE DESCRIPTION

FILE NUMBER: 19-00001
PROJECT MANAGER: DAN
DRAWN BY: ALM
CHECKED BY: PNL

NOT FOR
CONSTRUCTION

Bay Area Transportation Authority Planning
BATA

2051 N Garfield Rd., Troy, MI 48068

progressive|ae

1811 K Main St NE, Suite 1000, Atlanta, GA 30329 | 404.525.8100 | www.progressive.com

NOT FOR CONSTRUCTION

ISSUANCE
Consolidated Per Number
11.03.2019

REVISIONS
NO. DATE DESCRIPTION

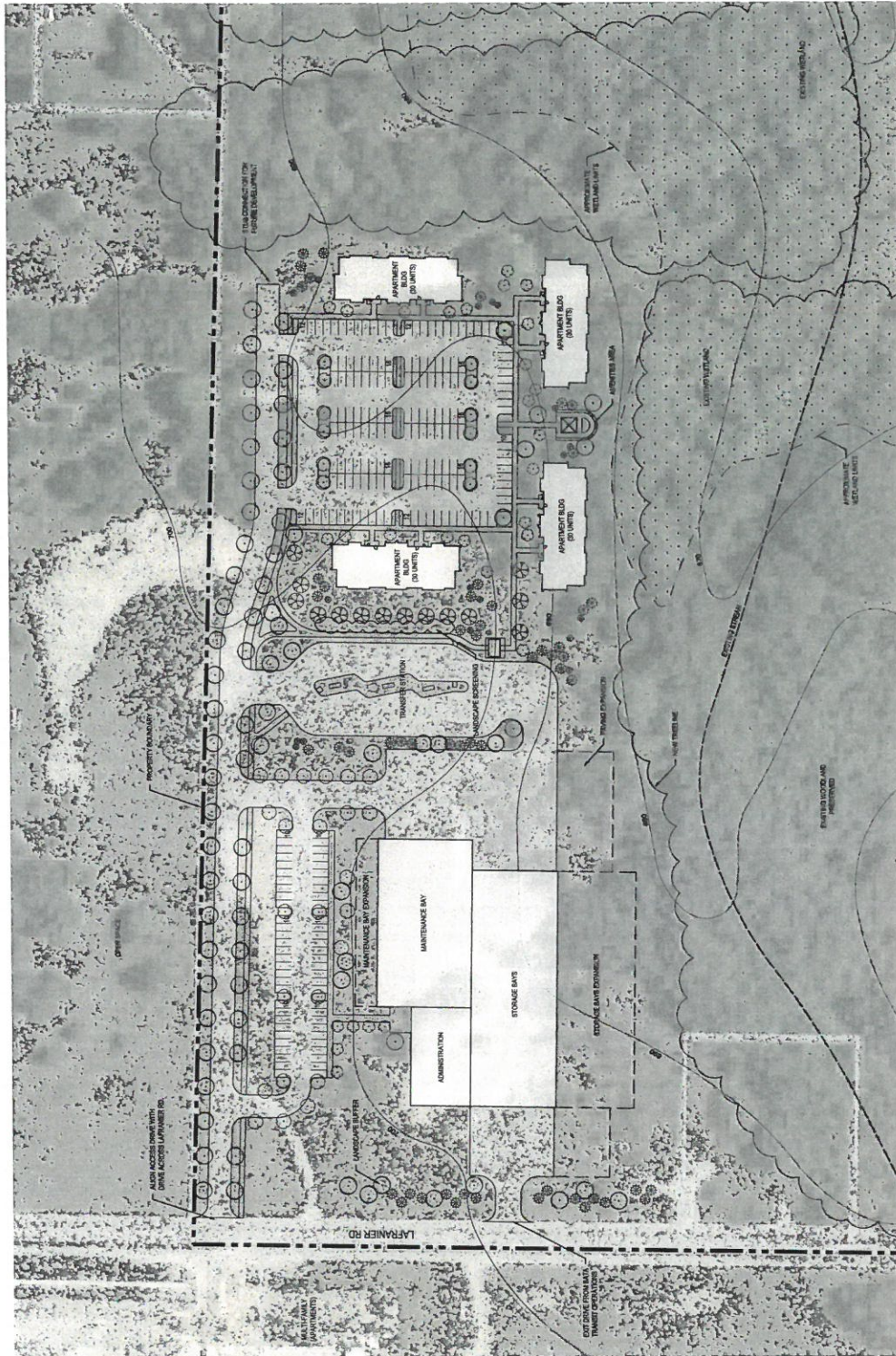
FILE NUMBER
PROJECT MANAGER
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SITE PLAN
C201

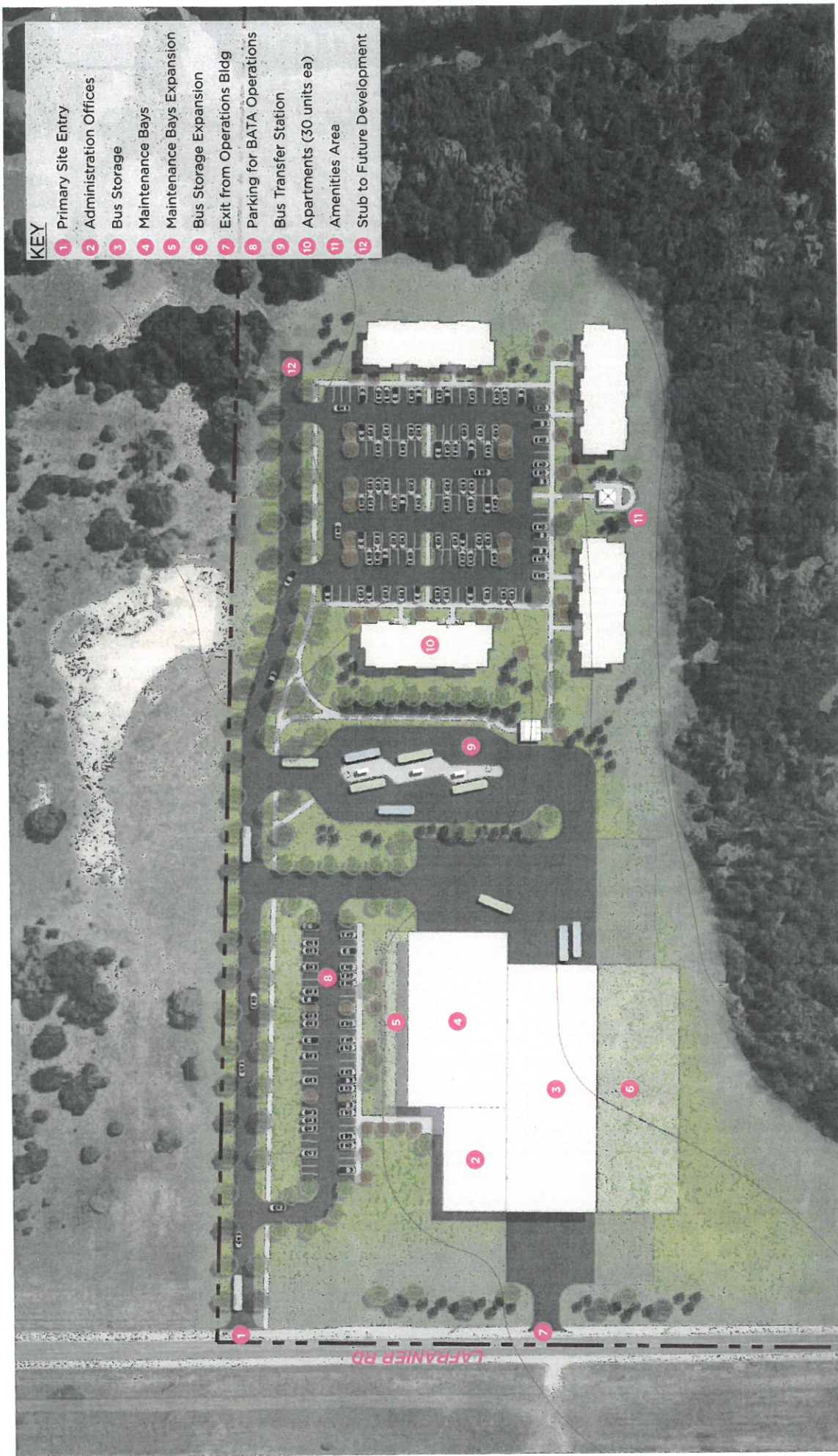
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DEC 04 2019
PLANNING

DEVELOPMENT SUMMARY

PROPERTY ADDRESS: 2051 N GARFIELD RD
CITY: BATAVIA
COUNTY: ALBANY
LOT DEPTH: 131.5 FT
LOT WIDTH: 78.89 ACRES
ZONING DISTRICT: AGRICULTURAL (A)
ADJACENT ZONING: AGRICULTURAL (A), RESIDENTIAL (R), COMMERCIAL (C), LOCAL INDUSTRIAL (LI)
DEVELOPED AREAS: 7.32 ACRES FOR BATA TRANSIT OPERATIONS
4.75 ACRES FOR RESIDENTIAL
OPEN SPACE PRESERVED: 65.14 ACRES
OPERATIONS BUILDING SIZE: 12,000 SQ FT
OPERATIONS BLDG EXPANSION: 28,000 SQ FT
RESIDENTIAL UNIT SIZE: 1,100 SQ FT PER FLOOR
RESIDENTIAL UNITS: 120
PARKING PROVIDED: 80 SPACES FOR BATA TRANSIT OPERATIONS BLDG
194 SPACES FOR APARTMENTS



1 CONCEPT SITE PLAN
1" = 50'



KEY

- 1 Primary Site Entry
- 2 Administration Offices
- 3 Bus Storage
- 4 Maintenance Bays
- 5 Maintenance Bays Expansion
- 6 Bus Storage Expansion
- 7 Exit from Operations Bldg
- 8 Parking for BATA Operations
- 9 Bus Transfer Station
- 10 Apartments (30 units ea)
- 11 Amenities Area
- 12 Stub to Future Development

CONCEPT PLAN



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2051 N GARFIELD RD, TRAVERSE CITY, MI 49686 | 12.03.19 | PROJECT # 88760001

progressive.ap

VIEW FROM
COMPLEX ENTRY DRIVE



VIEW FROM SOUTH
ON LAFRANIER ROAD



ENTRY CONCEPT

