

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING**

Wednesday, November 13, 2019 at 7:00pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231)941-1620

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time.

2. Review and approval of the Agenda – Conflict of Interest

3. Minutes – October 23, 2019

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
- c. Staff Report

6. Unfinished Business

- a. Public Hearing – PD2019-144 - Chick-fil-A C-G Rezoning
- b. Public Hearing – PD2019-146 - Harris Hills Site Condominium SPR
- c. PD2019-148 – Hickory Hills SUP Amendment – FOF
- d. PD2019-145 – Habitat for Humanity SUP – Update

7. New Business

- a. PD2019-147 – Lake Michigan Credit Union SPR
- b. PD2019-149 – Village at LaFranier Woods PUD - Intro
- c. PD2019-150 – Michigan State University Federal Credit Union SUP - Intro

8. Public Comment

9. Other Business

10. Items for Next Agenda – December 11, 2019

- a. Adoption of 2020 Meeting Schedule
- b. Conceptual Review – 3077 Garfield LLC
- c. Other items TBD

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
October 23, 2019**

Call Meeting to Order: Chair Racine called the meeting to order at 7:00pm at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, MI 49684.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Robert Fudge, Chris DeGood, Joe Robertson, Pat Cline, and John Racine

Absent: Steve Duell and Joe McManus

Staff Present: Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:34)

Fudge moved and Cline seconded to approve the agenda as presented.

Yeas: Fudge, Cline, DeGood, Robertson, Racine

Nays: None

3. Minutes (7:01)

a. October 9, 2019

Fudge moved and Robertson seconded to adopt the minutes of October 9, 2019 as presented.

Yeas: Fudge, Robertson, Cline, DeGood, Racine

Nays: None

4. Correspondence (7:02)

None

5. Reports (7:02)

Township Board Report

No reports

Planning Commissioners

No reports

Staff Report

No Reports

6. Unfinished Business

None

7. New Business**a. Recap of Barlow Garfield Neighborhood Plan – Public Engagement (7:03)**

Deputy Planner Steve Hannon remarked that there was a public engagement session held on October 21st to outline the Barlow Garfield Neighborhood plans to the public. He gave an overview of what was presented to the public which included economic challenges and the housing types and infrastructure. He reviewed the survey results with commissioners. Hannon added that Bob Gibbs will be in Garfield Township for a presentation on November 5th which will discuss some planning methods for large shopping areas.

b. Recap of MAP conference, MTA Event and Housing Summit (7:26)

Planner John Sych and Deputy Planner Steve Hannon both attended the Michigan Townships Association Topics in Planning and Zoning; the Michigan Association of Planning Conference for 2019 and the Northwest Michigan Housing Conference. Hannon said that the Michigan Township Association offered legal updates and he found that the township already has a direction on many of the issues presented. At the Planning Conference, topics such as visioning and neighborhood planning were discussed. Hannon also talked about GIS mapping and presented some mapping options to commissioners. Hannon said he attended several sessions on housing and discussion took place on the different types of housing and what was considered affordable workforce housing.

8. Public Comment (8:19)

None

9. Other Business (8:20)

None

10. Items for Next Agenda – November 13, 2019 (8:21)

- a. **Chick-Fil-A Rezoning PH**
- b. **Harris Hills Site Condominium PH**
- c. **Hickory Hills SUP Amendment FOF**
- d. **Habitat for Humanity ReStore Addition SUP Update**
- e. **Lake Michigan Credit Union SPR**
- f. **Village at LaFranier Woods PUD Intro**
- g. **Michigan State University Federal Credit Union SUP Intro**

11. **Adjournment**

Fudge moved to adjourn the meeting at 8:26pm

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

Haggard's
PLUMBING and HEATING
"Business of Quality and Service"
"Charlevoix-the-Beautiful"
haggardsinc@hotmail.com

Date: October 28, 2019

To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application from Jesse E. Mitchel on behalf of Tim & Lisa Schaub requesting site plan for Harris Hills project on 40 single family units being build. Parcel#05-007-021 00 & 05-008-022-02

To Whom it May Concern,

Upon reviewing the above Notice, I would like to express my view on the above case's request. Haggard's Plumbing & Heating is not opposed to the changed of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county and state to do all we can to improve and promote growth in anyways possible.

Sincerely,



JOHN HAGGARD

Haggard's
PLUMBING and HEATING
"Business of Quality and Service"
"Charlevoix-the-Beautiful"
haggardsinc@hotmail.com

Date: October 28, 2019

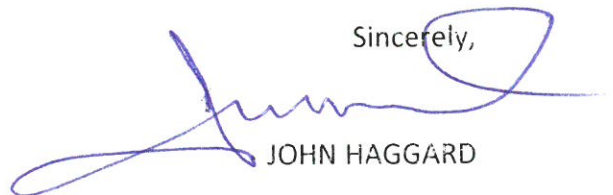
To: Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684

RE: Application Jennifer Santelli on behalf of Chick-Fill-A to amend zoning map on behalf of Charter Township. Parcel#05-016-002-10 located at 3980 N. US-31 S.

To Whom it May Concern,

Upon reviewing the above Notice, I would like to express my view on the above case's request. Haggard's Plumbing & Heating is not opposed to the changed of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the resources in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county and state to do all we can to improve and promote growth in anyways possible.

Sincerely,



JOHN HAGGARD

Steve Hannon

From: Amy Simon
Sent: Monday, October 21, 2019 11:07 AM
To: Chuck Korn; John Sych; Steve Hannon
Subject: FW: Data From Feedback

From: webmaster@liaa.org [mailto:webmaster@liaa.org]
Sent: Monday, October 21, 2019 10:56 AM
To: Amy Simon
Subject: Data From Feedback

Re: Chick-fil-A Esteemed Officials: For your consideration and not requiring an answer. How did such an intolerant organization get this far in their bid for a restaurant in Traverse City? In such a kind, tolerant and vibrant city -- I am both surprised and confused. Yes, I understand that they have attempted Essay: (only for the sake of the dollar) to "walk back" some of their past actions, donations, practices and comments. Too late. We know their deeply intolerant core, one that does not match our acceptance of diversity in Traverse City. Am I being as intolerant as they when I write they should have no presence here? Perhaps. Is there an acceptable compromise? Perhaps... Respectfully, C. D. Feldkamp

Name: C.D. Feldkamp

Phone:

Email: cfdmoonshadowfarm@gmail.com

This email was automatically sent from Charter Township of Garfield, Grand Traverse County at <http://www.garfield-twp.com/>. This data was submitted to the form Feedback on page <http://www.garfield-twp.com/comments.asp> on 10/21/2019 10:55:40 AM.

 Charter Township of Garfield Planning Department Report No. 2019-144			
Prepared:	November 6, 2019	Pages:	6
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Chick-fil-A C-G Rezoning – Public Hearing		
File No.	Z-2019-03	Parcel Nos.	05-016-002-10, 05-016-007-10, and portion of 05-016-007-00
Owner:	Lobdell Enterprises, LLC		
Applicant:	Jennifer Santelli, Chick-fil-A, Inc.		
Agent:	Cheryl Scales, Progressive AE		

PURPOSE OF APPLICATION:

The applicant requests to rezone two parcels, totaling 1.8 acres, from the C-L Local Commercial zoning district to the C-G General Commercial zoning district via the zoning Map Amendment process, without restriction. Based on input from Commissioners, part of a neighboring parcel owned by Grand Traverse Memorial Gardens cemetery is to be considered as part of this rezoning application. These parcels are described as:

- Parcel No. 05-016-002-10, located at 3980 N. US-31 South;
- Parcel No. 05-016-007-10, located at 3980 N. US-31 South;
- The portion of Parcel No. 05-016-007-00, located at 3755 Veterans Drive, that is within 366 feet of the right-of-way of US 31 and located between Parcel No. 05-016-002-10, No. 05-016-007-10, and No. 05-016-002-00, with any remaining portion of this parcel to be zoned as R-1 – One Family Residential

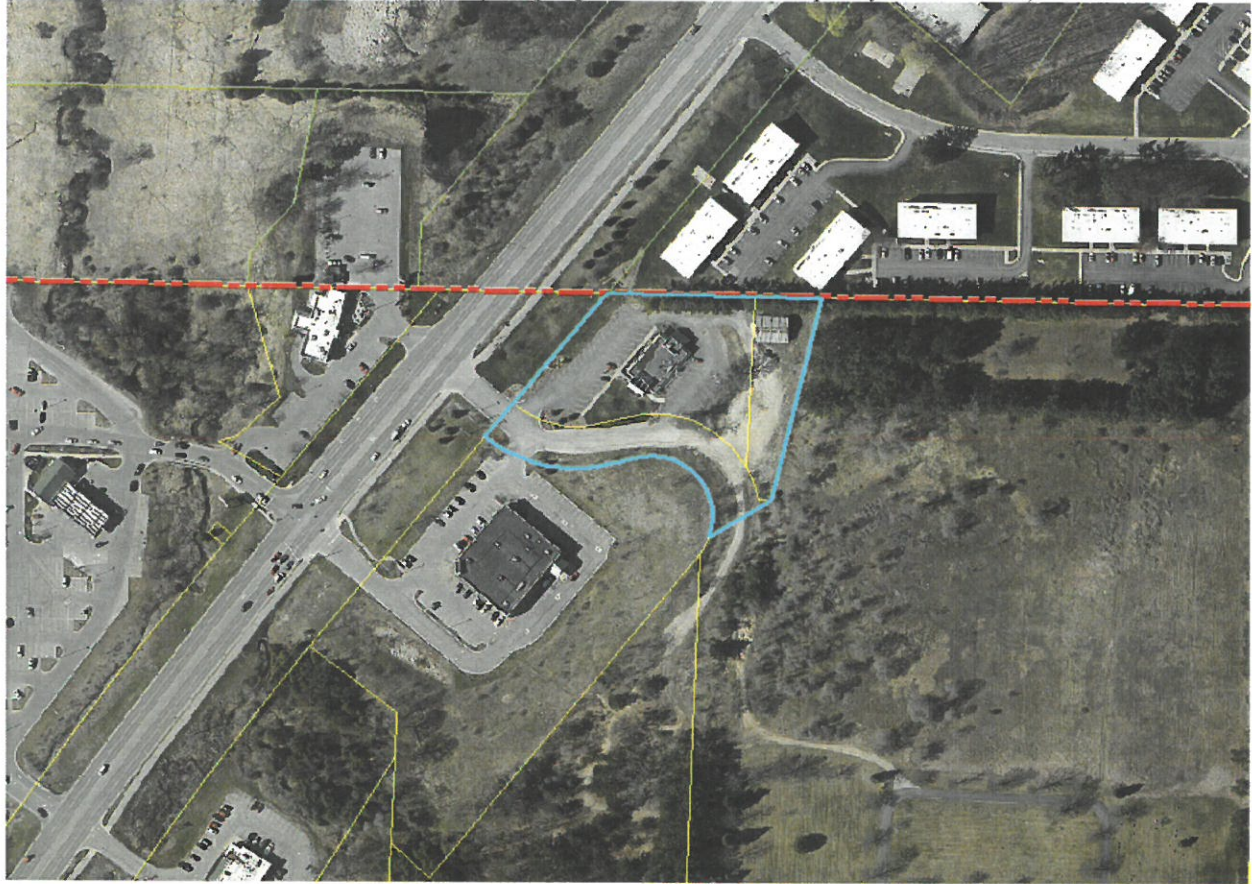
SUBJECT PROPERTY:

The subject property currently has a Flap Jack Shack restaurant on the front parcel, and a steel pole barn on the rear parcel. If the rezoning is successfully achieved, the applicant plans to demolish these two structures, construct a new Chick-fil-A restaurant on the site, and combine the parcels. These two parcels are both on the Township border with the City of Traverse City. The portion of the neighboring parcel to be considered borders these two parcels to the south and contains the access drive for these parcels. This access drive is owned by the cemetery and would continue to serve as access for the two subject parcels.

Zoomed-out aerial view of the subject property (highlighted in blue, Township-City border in red)



Zoomed-in aerial view of the subject property (highlighted in blue, Township-City border in red)

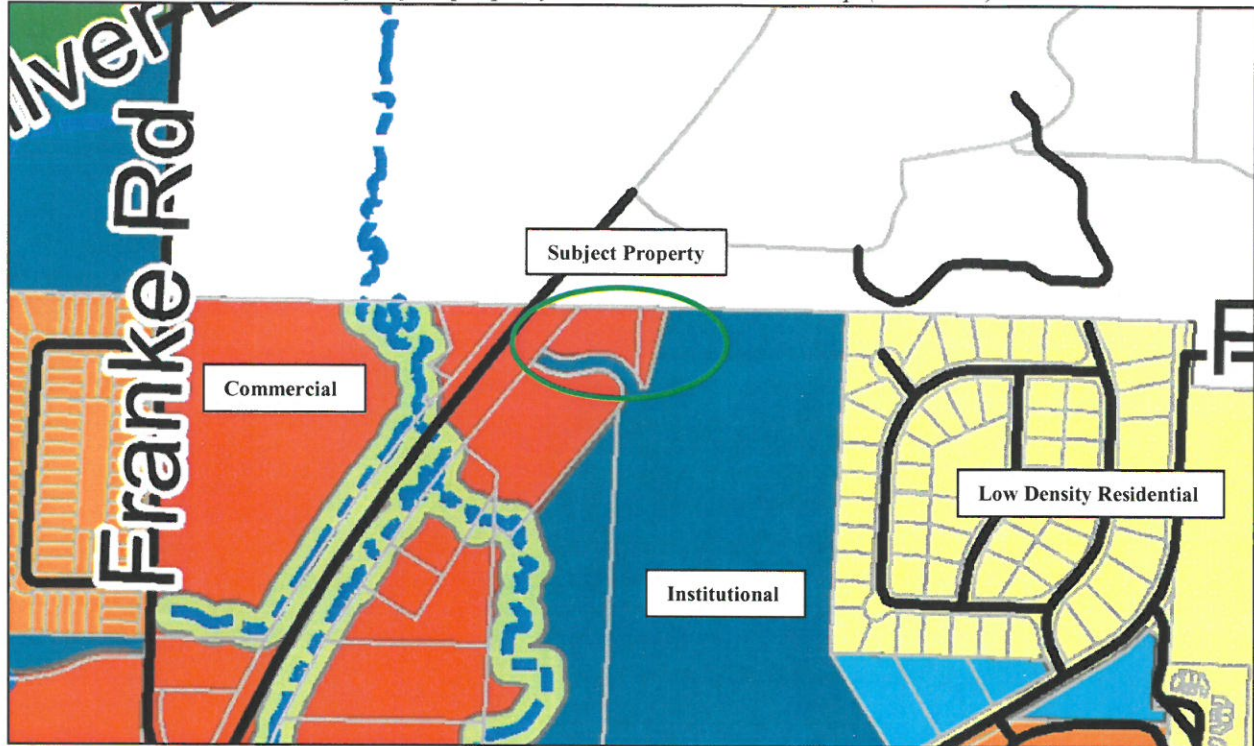


MASTER PLAN CONSIDERATIONS:

A key factor in considering a rezoning request is whether the request is consistent with the Master Plan. In this case, the Master Plan shows the subject parcels with the “Commercial” designation on the Future Land Use Map. The plan has only one commercial designation which is “intended to encompass a variety of commercial zoning districts which may be appropriate on a case-by-case, property-by-property basis.” Any of the commercial zoning districts (C-L, C-P, C-H, C-G, and C-O) are potentially compatible with this designation.

The parcels are currently zoned as C-L, which the Zoning Plan describes as providing “nodal areas for convenient, day-to-day retail shopping and service facilities, servicing persons in the adjacent residential areas and designed in scale with surrounding residential uses.” The Zoning Plan includes considerations for upzoning from the C-L district, stating that “the commercial designation does not contemplate the various types or intensities of the commercial districts” and the Planning Commission should “evaluate the adjacent land uses, their compatibility, the need for increased commercial, and combined intensity of the change when rezoning to a more intense commercial designation” (a full excerpt from the Zoning Plan is provided below).

Location and classification of subject property on Future Land Use Map (“FLUM”):

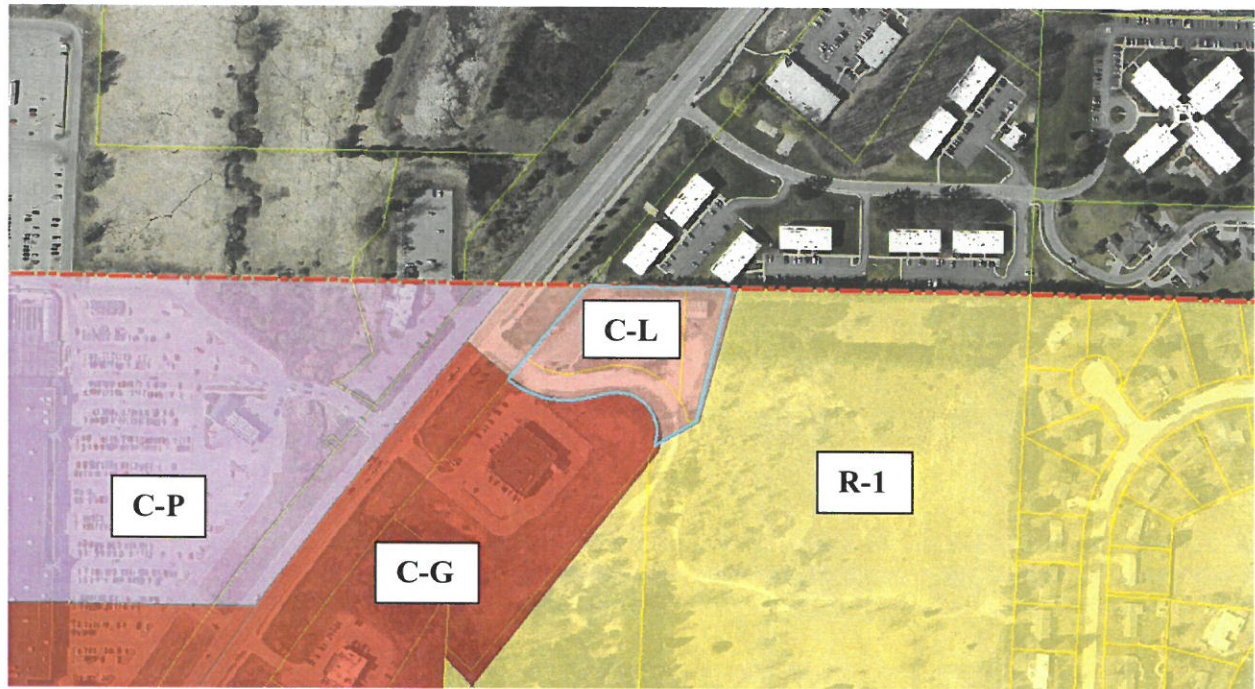


Excerpt from Zoning Plan for subject property’s FLUM classification:

Master Plan Designation	Commercial
Current Zoning	C-L Local Commercial
Zoning Ordinance District Intent	The C-L (Local Commercial) districts provide nodal areas for convenient, day-to-day retail shopping and service facilities, servicing persons in the adjacent residential areas and designed in scale with surrounding residential uses. The districts include areas of existing commercial use as well as areas proposed and approved for such development. Due to their local service nature, C-L districts are likely to be standalone or small collective sites located so as to have a minimum impact upon the surrounding residential areas. C-L district regulations are designed to protect abutting and surrounding residential areas by requiring certain minimum yard and area standards which are compatible with those called for in the residential districts. These districts are also intended to reduce automobile trips by permitting a limited group of commercial uses to be located in close proximity to residential areas.
Potentially Compatible District	C-O
Considerations for Downzoning (Less Density)	The C-L zoning classification is viewed more of a transitional commercial district, however, some uses permitted in the district may be deemed too intense or incompatible with adjacent residential uses. The C-O district should be considered as a possible alternative to a C-L designation.
Considerations for Upzoning (More Density)	The commercial designation does not contemplate the various types or intensities of the commercial districts. This increases the need for the Planning Commission to evaluate the adjacent land uses, their compatibility, the need for increased commercial, and combined intensity of the change when rezoning to a more intense commercial designation.

SUBJECT AND SURROUNDING PROPERTY ZONING:

The parcels in the application and the portion of the cemetery parcel under consideration for rezoning are currently zoned as C-L Local Commercial, shown below in pink. The rest of the cemetery parcel and other neighboring sites are zoned R-1 One-Family Residential, shown in yellow. For sites further south along US-31, the zoning is C-G General Commercial, shown in red. To the west, the site where Meijer is located is zoned C-P Planned Shopping, shown in purple.



USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject parcels are currently occupied by the Flap Jack Shack, a steel pole barn, and the access drive, and are bordered by apartments in the City of Traverse City to the north, the rest of the cemetery parcel to the east, Walgreens (across the access drive) to the south, and Meijer and Burger King to the west.

STAFF COMMENT:

Following a preliminary Staff analysis considering the subject site’s Master Plan classification, and the zoning and uses of the subject site and surrounding sites, Staff is of the opinion that this Map Amendment is certainly justifiable. The Amendment is consistent with the Master Plan and generally compatible with adjoining zoning and uses. The proposed zoning would match the zoning of other commercial properties to the south on this side of US 31. Also, the C-G district allows the same uses as the C-L district while allowing for other types of development generally consistent with what is seen along US 31.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E(1) Master Plan Consistency through § 421.E(8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

Master Plan Consistency

The master plan designation of the site is Commercial. Any of the commercial zoning districts (C-L, C-P, C-H, C-G, and C-O) are potentially compatible with this designation. Planning Commissioners should evaluate the adjacent land uses, their compatibility, the need for increased commercial, and the combined intensity of the change when rezoning to a more intense commercial designation, as in the proposed C-L to C-G rezoning.

Adverse Impacts on Neighboring Lands

Impacts of the proposed rezoning could be from new uses that are not currently allowed on this site that would be allowed under C-G zoning. The following is a breakdown of uses permitted in the C-G district. Uses allowed by right in C-G include all uses allowed by right in C-L, and the following:

Animal Kennels (indoor/outdoor permitted)	Mortuaries
Automobile Dealerships, including outdoor sales lots	Personal and Business Services
Bar, Tavern, Night Club	Pet Grooming Establishment
Building Supply and Equipment Stores	Printing, publishing, photographic reproduction, blueprinting and related trades and arts
Bus Passenger Terminals and Stations	Professional Studios
Business Colleges and Trade Schools	Recreational Facility
Hospitals	Restaurants without drive thru
Indoor Entertainment Center	Retail Establishments
Mechanical amusement arcades	Service and repair of motor vehicles, trailers, and boats
Merchandise Service Shop	Theaters
Miniature golf, trampoline, or similar public amusement	

Uses permitted by special conditions in C-G include all uses permitted by special use permit in C-L, and in general subject to any standards and specific conditions for those uses, and the following uses subject to any conditions listed therein:

Automobile Laundries
Hotels and Motels
Open air business uses such as retail sales of plant material not grown on site, sales of lawn furniture, playground equipment and garden supplies
Outdoor Sales of new and used automobiles, trailers, boats
Pet shops, veterinary hospitals
Second Hand Stores
Sexually Oriented Businesses
Wholesale activities provided they are supplemental to retail sales
Temporary Outdoor Sales

Uses permitted by special use permit in C-G include the following, as subject to specific conditions:

Drive-In Businesses or Drive-Through Businesses	Shopping Center
Free Standing Automobile Laundries on lots of less than 150 feet in width	WECS
Retail Fabricators	Wireless Communication Facilities
Sale of Mobile Homes	Planned Unit Development
Second Hand Stores with outdoor storage / sales	Commercial District Housing Developments

The Planning Commission may consider the potential adverse impacts of any of the uses listed above on neighboring lands regarding the proposed rezoning.

Suitability as Presently Zoned

The subject site is zoned as C-L Local Commercial. This could be potentially considered as a transition from the C-G General Commercial zoning to the immediate south and C-H Highway Commercial zoning further south, to the residential across the border in the City of Traverse City. Notably, this cluster of C-L zoning is the only C-L zoning on US 31 within the Township, with other C-L zoning on Barlow Street, Veterans Drive, Long Lake Road, and elsewhere.

Changed Conditions

Any changes in conditions since the adoption of the zoning ordinance shall be considered as part of this rezoning request.

Health, Safety, and Welfare

Commissioners shall consider the application as it relates to the public health, safety, and general welfare, and how the proposal may affect any historical and cultural places and areas.

Public Policy

As mentioned previously, the master plan designation of the site is Commercial. Any of the commercial zoning districts (C-L, C-P, C-H, C-G, and C-O) are potentially compatible with this designation. Also, the Garfield Township Strategic Plan includes a goal for economic development: “As part of a regional hub in Northern Michigan, promote Garfield Township as a great place for business development and job opportunities.”

Size of Tract

The size, shape, and characteristics of the tract shall be considered in relation to the affected neighboring lands. The two parcels in the application total 1.8 acres, and the portion of the cemetery property is about 0.8 acres for a total of 2.6 acres.

Other Factors

Any other factors relevant to the application under state law may be considered by Commissioners as part of this rezoning request.

ACTION REQUESTED:

The purpose of the item being placed on tonight’s agenda to hold a public hearing on the rezoning application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application, then the following motion is suggested:

MOTION TO direct Staff to draft Findings of Fact for application Z-2019-03.

Attachments:

1. Applicant Submittal: ALTA/NSPS Land Title Survey (2 pages)

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 10/23/19 11:09 by dling

Acct #: 5508

Ad #: 533826

Status: New

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN

NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on November 13, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Jesse E. Mitchell on behalf of Tim & Lisa Schaub requesting site plan review for Harris Hills, a proposed site condominium development project. The plan consists of 40 total single-family units to be built in two phases and is located on two parcels at the southwest corner of Lone Tree and Harris Roads (parcels #05-007-021-00 & 05-008-022-02). The parcels are zoned R-2 - Two Family Residential.
2. Consideration of an application received from Jennifer Santelli on behalf of Chick-fil-A, Inc. to amend the Zoning Ordinance and Zoning Map of the Charter Township of Garfield, Grand Traverse County, Michigan, by rezoning the following parcels from the C-L (Local Commercial) District to the C-G (General Commercial) district.
 - a. Parcel No. 05-016-002-10, located at 3980 N. US-31 South, described as:
PT NE 1/4 SEC 16 T27N R11W COM 804.92' W NE SEC COR TH S 2 DEG 22' W 255.42' TH ON CURVE TO LEFT 207.96' (R=163' CH N 67 DEG 2' W DIST 194.14') TH S 76 DEG 24' W 42.74' TH ON CURVE TO RIGHT 135.57' (R=146.24' CH N 77 DEG 1' W DIST 130.77') TH N 39 DEG 31' E 210' TH S 89 DEG 31' E 224.67' TO POB
 - b. Parcel No. 05-016-007-10, located at 3980 N. US-31 South, described as:
PRT NE 1/4 SEC 15 T27N R11W COM 701.23' W OF NE COR TH W 103.69' TH S 2 DEG 22' W 255.42' TH ON CURVE RIGHT 54.96' (R=163' CH S 20 DEG 53' E 54.34') TH E 20' TH N 13 DEG 46' E 314.33' TO POB.
 - c. The portion of Parcel No. 05-016-007-00, located at 3755 Veterans Drive, that is within 366 feet of the right-of-way of US 31 and located between Parcel No. 05-016-002-10, No. 05-016-007-10, and No. 05-016-002-00, with any remaining portion of this parcel to be zoned as R-1 - One Family Residential. Parcel No. 05-016-007-00 is described as:
PRT OF NW 1/4 SEC 15 & NE 1/4 SEC 16 T27 N R11W COM NE COR SEC 16 TH S 2 DEG 16' W 1321.7' TH S 33 DEG 28' E 499.32' TH S 58 DEG 36' W 125.45' TH ON CURVE LEFT 154.86' (R=521.34' CH UNK 154.3') TH N 87 DEG 44' W 937.63' TH N 2 DEG 16' E 1472.55' TH ON CURVE LEFT 230.64' (R= 97' CH N 35 DEG 23' W 180.12') TH S 77 DEG 8' W 57.86' TH ON CURVE RT 181.15' (R=212.24' CH N 74 DEG 59' W 175.78' TH N 39 DEG 28' E 66' TH ON CURVE LEFT 135.57' (R=146.24' CH N 77 DEG 1' W 130.77') TH N 76 DEG 24' E 42.74' TH ON CURVE RIGHT 207.96' (R=163' CH S 67 DEG 2' E 194.14') TH ON CURVE RIGHT 54.96' (R=163' CH S 20 DEG 53' E 54.34') TH E 20' TH N 13 DEG 36' E 314.33' TH E 701.32' TO POB.
3. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

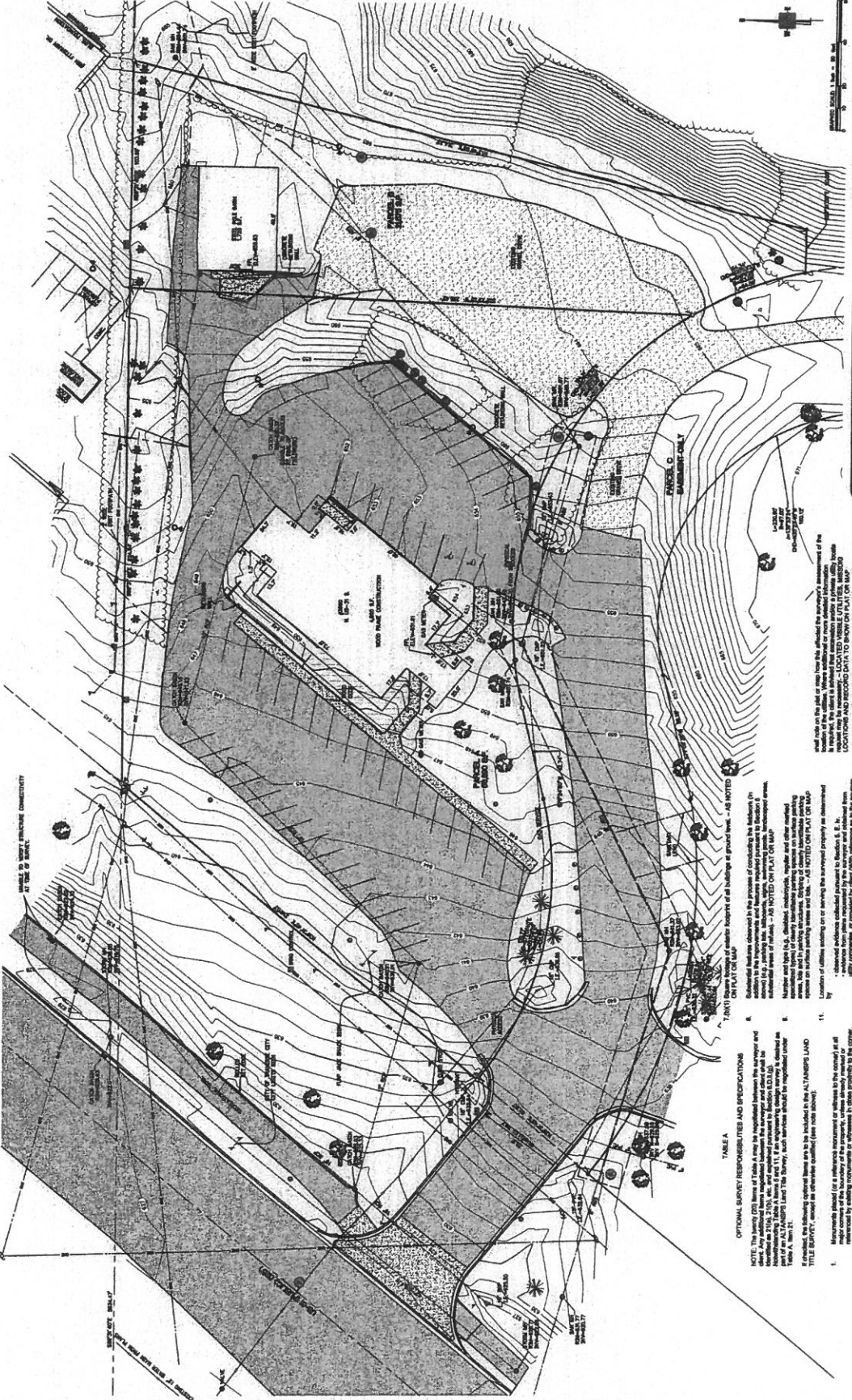
GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

EMERSON ENGINEERING SOLUTIONS
123 Third Street
Thruway City, MN 55008

gfs

PLM/PLC

201.944.8974 (W)
201.944.8700 (F)



Legend

PHASE C
PHASE D

PROPERTY BOUNDARY (AS SURVEYED)
PROPERTY BOUNDARY (AS SHOWN)
PROPERTY BOUNDARY (AS SHOWN)
PROPERTY BOUNDARY (AS SHOWN)
PROPERTY BOUNDARY (AS SHOWN)
PROPERTY BOUNDARY (AS SHOWN)
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PHASE C
PHASE D

Zoning Information

PHASE C - C-1 LOCAL COMMERCIAL
PHASE D - C-1 LOCAL COMMERCIAL

PHASE C - C-1 LOCAL COMMERCIAL
PHASE D - C-1 LOCAL COMMERCIAL

NOTICE TO THE PUBLIC

This map is a preliminary map and is not intended to be used for any purpose other than to show the general location of the property. It is not intended to be used for any purpose other than to show the general location of the property.

- OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS**
- NOTE: The items listed in Table A may be requested between the survey and the time of the final map. The items listed in Table A may be requested between the survey and the time of the final map.
1. Measure and plat (if a building is present) or submit to the plat of all major corners of the boundary of the property, unless already marked or otherwise shown on the plat. - AS NOTED ON PLAT OR MAP
 2. Additional of the surveyed property if requested in documents provided to or received by the surveyor, or otherwise while conducting the survey. - AS NOTED ON PLAT OR MAP
 3. Flood zone identification, with proper identification based on Federal Flood Insurance Rate Map or the state of Minnesota's Flood Hazard Insurance Rate Map. - AS NOTED ON PLAT OR MAP
 4. Group and area (and other areas) specified by the client. - AS NOTED ON PLAT OR MAP
- (B) If the zoning requirements are not both in the zoning report or other documents provided to the surveyor, or both in the zoning report or other documents provided to the surveyor, the surveyor shall provide the zoning information to the surveyor. - PROVIDED TO THE SURVEYOR BY THE SURVEYOR.
- (C) If the zoning requirements are not both in the zoning report or other documents provided to the surveyor, or both in the zoning report or other documents provided to the surveyor, the surveyor shall provide the zoning information to the surveyor. - PROVIDED TO THE SURVEYOR BY THE SURVEYOR.

TABLE A

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

NOTE: The items listed in Table A may be requested between the survey and the time of the final map. The items listed in Table A may be requested between the survey and the time of the final map.


1. Measure and plat (if a building is present) or submit to the plat of all major corners of the boundary of the property, unless already marked or otherwise shown on the plat. - AS NOTED ON PLAT OR MAP
2. Additional of the surveyed property if requested in documents provided to or received by the surveyor, or otherwise while conducting the survey. - AS NOTED ON PLAT OR MAP
3. Flood zone identification, with proper identification based on Federal Flood Insurance Rate Map or the state of Minnesota's Flood Hazard Insurance Rate Map. - AS NOTED ON PLAT OR MAP
4. Group and area (and other areas) specified by the client. - AS NOTED ON PLAT OR MAP

TABLE B

OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

NOTE: The items listed in Table B may be requested between the survey and the time of the final map. The items listed in Table B may be requested between the survey and the time of the final map.

1. Measure and plat (if a building is present) or submit to the plat of all major corners of the boundary of the property, unless already marked or otherwise shown on the plat. - AS NOTED ON PLAT OR MAP
2. Additional of the surveyed property if requested in documents provided to or received by the surveyor, or otherwise while conducting the survey. - AS NOTED ON PLAT OR MAP
3. Flood zone identification, with proper identification based on Federal Flood Insurance Rate Map or the state of Minnesota's Flood Hazard Insurance Rate Map. - AS NOTED ON PLAT OR MAP
4. Group and area (and other areas) specified by the client. - AS NOTED ON PLAT OR MAP

 Charter Township of Garfield Planning Department Report No. 2019-146			
Prepared:	November 6, 2019	Pages:	5
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SPR 2019-04 Harris Hills Site Condominium – Public Hearing		
File No.	SPR 2019-04	Parcel No.	05-007-021-00 & 05-008-022-02
Owner:	Tim and Lisa Schaub		
Agent:	Jesse Mitchell, Bob Mitchell & Associates		

BACKGROUND:

The Harris Hills site is located on two tax parcels at the southwest corner of Lone Tree and Harris Roads. These two parcels were brought before the Planning Commission earlier this year for a request to rezone the parcels from the A – Agricultural district to the R-2 – One- and Two-Family Residential district via Zoning Map Amendment. The rezoning request was approved by the Township Board in June 2019.

PURPOSE OF APPLICATION:

The applicant intends to develop a site condominium on this property, with 40 total single-family units to be built in two phases. Phase 1 would be built on the southern parcel with the first 21 units, and Phase 2 would be built on the northern parcel with the remaining 19 units. All units will connect to the municipal water and sanitary sewer systems.

SUBJECT PROPERTY:

The subject property is highlighted below. The aerial imagery is from 2017 and shows significant tree cover which has since largely been removed.

Zoomed-out aerial view of the subject property (highlighted in blue):



Zoomed-in aerial view of subject property (highlighted in blue):



STAFF COMMENT:

Since the previous meeting, the applicant has been working on completing other reviews including the Township Engineer and Metro Fire. These agency reviews may be done concurrently with this review. Information gathered as of this time indicates that the proposed general site layout is acceptable and that the agency reviews going forward will not likely dramatically alter the final site design.

SITE CONDOMINIUM REVIEW CONSIDERATIONS:

Consultation

Section 429 B. of the Zoning Ordinance allows for the Planning Commission to consider input from the Township Attorney and Township Engineer as needed in its review of a condominium development plan, especially the master deed, deed restrictions, utility systems and streets, subdivision layout and design, and compliance with the Condominium Act. The Township Engineer is reviewing the proposed storm sewer, sanitary sewer, and water system layout.

Review Criteria

From Section 429 G. of the Zoning Ordinance, the Township shall consider a set of criteria for the review of site condominiums. These criteria are as follows:

1) Compliance with Zoning District Regulations

The Harris Hills site is zoned as R-2 – One- and Two-Family Residential. Lots in the R-2 district connected to public sewer have minimum requirements of 12,000 square feet in area and 80 feet in width. Units 2-6 and Units 18-21 are all at the minimum 12,000 square feet in area and 80 feet in width; the other units in Phase 1 exceed the minimum area requirement. Units 22-28 in Phase 2 are also at 12,000 square feet and all other units exceed the minimum area requirement.

Lot width is measured at the front lot line for straight roads or at the setback line for a curvilinear road or cul-de-sac. Unit 32 and Unit 36, both in Phase 2, have frontage on a curvilinear street and appear to meet the required lot width, although both show the setback as 25 feet rather than the 30 feet required on R-2 lots for one-family with public sewer. Unit 10 has an odd-shaped frontage based on its configuration at the end of a T-turnaround intersection; it may be necessary to find a clear determination of how its frontage should be measured.

No more than one single-family dwelling is proposed per condominium lot. Required yards are to be measured from the boundaries of the condominium lot. Setback dimensions are indicated on the site plan and a typical unit detail, but the front yard setback is shown as 25 feet rather than the 30 feet required on R-2 lots for one-family with public sewer. These requirements shall be made part of the bylaws and recorded as part of the master deed.

2) *Streets*

The site will ultimately have two connections to the existing road system. Phase 1 will include a connection to Zimmerman Road and Phase 2 will include a connection to Lone Tree Road. These roads will be private roads maintained by the governing condominium association.

The primary road running north-south within the site will be Saint's Drive, which will connect at Lone Tree Road. An unnamed road running east-west will connect Saint's Drive to Zimmerman Road. In the southeast part of the site, an unnamed no-outlet street serves several units and ends in a T-turnaround (hammerhead) intersection. Saint's Drive will end in a temporary T-turnaround for Phase 1, which will be removed for Phase 2. Also, for Phase 2, a street named Saint's Lane will connect to Saint's Drive at two points and serve approximately nine housing units. The site plan indicates there will be no road connection to Lone Beech Drive to the west. Section 521 (Street Design and Transportation) of the Zoning Ordinance includes a subsection (G) on the connectivity of the street system in the Township. This subsection states that the streets within any proposed subdivision shall provide for a continuous circuit of travel and connection to the surrounding street network.

Connecting the proposed stub street to Lone Beech Drive would provide connection to the street network as described above. Units 5 and 6 are proposed to have access on this stub street, which may limit the ability for emergency access vehicles to service these units if not connected to the street network. Furthermore, the Report and Decision Order for the approved Lone Tree Planned Unit Development includes information indicating a future road connection to the east.

3) *Natural Features*

As mentioned above, much of the previous tree cover on this site had already been removed after 2017. The site plan indicates that there will be trees removed along the eastern edge of the site at Units 7-10. To compensate for the removal of these trees, the site plan indicates that five trees per unit will be planted on the hill after completion of earthwork. The tree line on the western edge of the development will be protected. There are no known wetlands on the site.

4) *Screening and Landscaping*

To compensate for the removal of trees along the eastern edge of the development at Units 7-10, the site plan indicates five trees per unit will be planted on the hill after completion of earthwork. The tree line on the western edge of the development will be protected; this tree line provides the screening from this site for the Lone Tree Planned Unit Development. According to Table 531.1 (Planting Requirements), there is no planting buffer required between two adjacent single-family residential sites.

5) *Zoning Ordinance Provisions*

The site condominium project is subject to all provisions of this ordinance. Specifically, Article 5, Division 2 (Design Standards) establishes requirements for land development, infrastructure, and site design. Section 521 (Street Design and Transportation) is addressed above. Section 523 (Stormwater Management) will be addressed by comments from the Township Engineer. Other items of interest for this section include the following:

- Section 511: Driveways – All driveways shall be placed a minimum of 10 feet from the property line and at least 12 feet wide. These are shown on the typical unit detail.
- Section 522: Pedestrian Circulation – Planning Commissioners may wish to consider the provision of sidewalks or non-motorized pathways on this site, especially with regards to the public health, safety, and general welfare as described below.

6) *Access and Emergency Vehicles*

The primary road running north-south within the site will be Saint's Drive, which will connect at Lone Tree Road. An unnamed road running east-west will connect Saint's Drive to Zimmerman Road. In the southeast part of the site, an unnamed no-outlet street serves several units and ends in a T-turnaround (hammerhead) intersection. Saint's Drive will end in a temporary T-turnaround for Phase 1, which will be removed for Phase 2.

Metro Fire indicated that the T-turnaround design is acceptable for their needs. Developments over 30 units require two connections to the road system for fire vehicle access. Phase 1 has 21 units and one connection to the existing road system. The total development after completion of both phases will be 40 units with two connections to the surrounding road system.

7) *Erosion and Storm Water Management*

The Township Engineer is currently reviewing the storm water system. The site slopes down to the northeast part of the site, near the corner of Lone Tree Road and Harris Road.

8) *Public Health, Safety, and General Welfare*

This criterion includes a provision regarding the intent and purpose of the Zoning Ordinance to facilitate adequate provisions for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements. Providing housing units that connect to public sewer and water systems helps meet this provision. Planning Commissioners may wish to consider the provision of sidewalks or non-motorized pathways on this site.

ACTION REQUESTED:

Several items described above warrant further attention, some of which may ultimately affect the design of the site, including the following:

- On the site plan, the front yard setback is shown as 25 feet rather than the 30 feet required on R-2 lots for one-family with public sewer.
- Streets in any proposed subdivision shall provide for a continuous circuit of travel and connection to the surrounding street network. The proposed T-turnaround no-outlet street and the lack of a connection to the Lone Tree Planned Unit Development do not provide any connectivity.
- The Planning Commissioners may wish to consider the provision of sidewalks or non-motorized pathways on this site.

If the Planning Commissioners believe the above items, along with any outstanding items being reviewed by other agencies, may affect the final site design, then they may wish to table this item until the final site design is presented. If the Planning Commissioners believe these items can be resolved prior to the next meeting and findings of fact can be prepared, then the following motion is suggested:

MOTION TO direct Staff to draft Findings of Fact for application SPR 2019-04.

Any additional information the Commissioners deem necessary should be added to this motion.

Attachment:

1. Site condominium plan for Harris Hills

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 10/23/19 11:09 by dling

Acct #: 5508

Ad #: 533826

Status: New

LEGAL NOTICE
CHARTER TOWNSHIP OF GARFIELD
GRAND TRAVERSE COUNTY, MICHIGAN
NOTICE OF PUBLIC HEARING

TO: THE RESIDENTS AND PROPERTY OWNERS OF GARFIELD CHARTER TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, AND ANY OTHER INTERESTED PERSONS:

PLEASE TAKE NOTICE that the Charter Township of Garfield Planning Commission will hold a public hearing during its regular meeting on November 13, 2019, commencing at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, as required under the provisions of the Michigan Zoning Enabling Act.

PLEASE TAKE FURTHER NOTICE that the items to be considered at said public hearing include, in brief, the following:

1. Consideration of an application received from Jesse E. Mitchell on behalf of Tim & Lisa Schaub requesting site plan review for Harris Hills, a proposed site condominium development project. The plan consists of 40 total single-family units to be built in two phases and is located on two parcels at the southwest corner of Lone Tree and Harris Roads (parcels #05-007-021-00 & 05-008-022-02). The parcels are zoned R-2 - Two Family Residential.

2. Consideration of an application received from Jennifer Santelli on behalf of Chick-III-A, Inc. to amend the Zoning Ordinance and Zoning Map of the Charter Township of Garfield, Grand Traverse County, Michigan, by rezoning the following parcels from the C-L (Local Commercial) District to the C-G (General Commercial) district.

- a. Parcel No. 05-016-002-10, located at 3980 N. US-31 South, described as:

PT NE 1/4 SEC 16 T27N R11W COM 804.92' W NE SEC COR TH S 2 DEG 22' W 255.42' TH ON CURVE TO LEFT 207.96' (R=163' CH N 67 DEG 2' W DIST 194.14') TH S 76 DEG 24' W 42.74' TH ON CURVE TO RIGHT 135.57' (R=146.24' CH N 77 DEG 1' W DIST 130.77') TH N 39 DEG 31' E 210' TH S 89 DEG 31' E 224.67' TO POB

- b. Parcel No. 05-016-007-10, located at 3980 N. US-31 South, described as:

PRT NE 1/4 SEC 15 T27N R11W COM 701.23' W OF NE COR TH W 103.69' TH S 2 DEG 22' W 255.42' TH ON CURVE RIGHT 54.96' (R= 163' CH S 20 DEG 53' E 54.34') TH E 20' TH N 13 DEG 46' E 314.33' TO POB.

- c. The portion of Parcel No. 05-016-007-00, located at 3755 Veterans Drive, that is within 366 feet of the right-of-way of US 31 and located between Parcel No. 05-016-002-10, No. 05-016-007-10, and No. 05-016-002-00, with any remaining portion of this parcel to be zoned as R-1- One Family Residential. Parcel No. 05-016-007-00 is described as:

PRT OF NW 1/4 SEC 15 & NE 1/4 SEC 16 T27 N R11W COM NE COR SEC 16 TH S 2 DEG 16' W 1321.7' TH S 33 DEG 28' E 499.32' TH S 58 DEG 36' W 125.45' TH ON CURVE LEFT 154.86' (R=521.34' CH UNK 154.3') TH N 87 DEG 44' W 937.63' TH N 2 DEG 16' E 1472.55' TH ON CURVE LEFT 230.64' (R= 97' CH N 35 DEG 23' W 180.12') TH S 77 DEG 8' W 57.86' TH ON CURVE RT 181.15' (R=212.24' CH N 74 DEG 59' W 175.78' TH N 39 DEG 28' E 66' TH ON CURVE LEFT 135.57' (R=146.24' CH N 77 DEG 1' W 130.77') TH N 76 DEG 24' E 42.74' TH ON CURVE RIGHT 207.96' (R=163' CH S 67 DEG 2' E 194.14') TH ON CURVE RIGHT 54.96' (R=163' CH S 20 DEG 53' E 54.34') TH E 20' TH N 13 DEG 36' E 314.33' TH E 701.32' TO POB.

3. Such other and further matters as may properly come before the Planning Commission at the public hearing.

You are invited to attend this hearing. If you are unable to attend, written comment may be submitted to the Garfield Township Planning Commission at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan, 49684, up to the date of the hearing and may be further received by the Planning Commission at said hearing. In addition, all materials relating to these requests may be examined at the Garfield Township Planning Department office at the above address during the Township's regular hours of 7:30am to 6:00pm, Monday through Thursday.

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922-4412

GARFIELD CHARTER TOWNSHIP PLANNING COMMISSION
(231) 941 - 1620

SITEPLAN

"HARRIS HILLS"

A SITE CONDOMINIUM

PLAN LEGEND

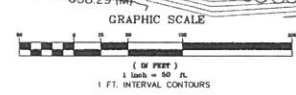
- EXISTING**
- PROPERTY LINE
 - - - RIGHT-OF-WAY
 - - - EASEMENT
 - - - SETBACK
 - - - EXISTING CONTOURS
- TYPICAL UNIT:**
- SINGLE FAMILY
 - 1100 SQ MINIMUM
 - W/ ATTACHED GARAGE 24' WIDE
 - MINIMUM TREE PLANTING IS 4 TREES PRE UNIT.
 - PAVED CONCRETE DRIVEWAY
 - MAXIMUM HEIGHT OF STRUCTURE IS 35 FEET
 - SETBACKS-NOT ALL PLOTTED
 - FRONT- 30'
 - SIDE- 10'
 - REAR- 25'
- UTILITIES**
- PUBLIC WATER AND SEWER (NOT SHOWN CONNECTIONS UNDER REVIEW/PERMITTING)
 - ELECTRIC- UNDERGROUND CHERRYLAND CO-OP
 - GAS- UNDERGROUND DTE
 - PHONE- UNDERGROUND
- PROPOSED FINISH FLOOR ELEVATION FOR EACH HOME SHALL BE WITHIN 10 FEET OF EXISTING GRADE.

- ⊕ P/E POLE, POWER/ELECTRIC
 - ⊕ HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER WELL
 - ⊕ GUY WIRE
 - ⊕ ELECTRIC BOX
 - ⊕ TELEPHONE RISER
 - ⊕ SIGN
 - ⊕ MAIL BOX
 - ⊕ LIGHT POLE
 - ⊕ TREES
- PROPOSED/EXISTING SANITARY MANHOLE

- - - SILT FENCE
- - - STORM WATER BASIN
- - - TREES/FOREST TO REMAIN

SITE DATA:
 05-008-022-02
 & 05-007-021-00

JURISDICTION: GARFIELD TOWNSHIP
TOWNSHIP OWNER NAME: TL SCHAUB LAND LLC
TIM & LISA SCHAUB
 TRAVERSE CITY, MI 49684
MAILING ADDRESS:
 5575 MARQUETTE DR
 TRAVERSE CITY, MI 49685



JOB NO. 20180395

BOB MITCHELL & ASSOCIATES

PLANNING ENGINEERING SURVEYING MANAGEMENT

Northwestern Michigan Central Michigan

404 W. Main Street 428 North 1st Street, Ste. 100

Traverse City, MI 49684 Holland, MI 49425

(231) 933-4423 (616) 538-8873

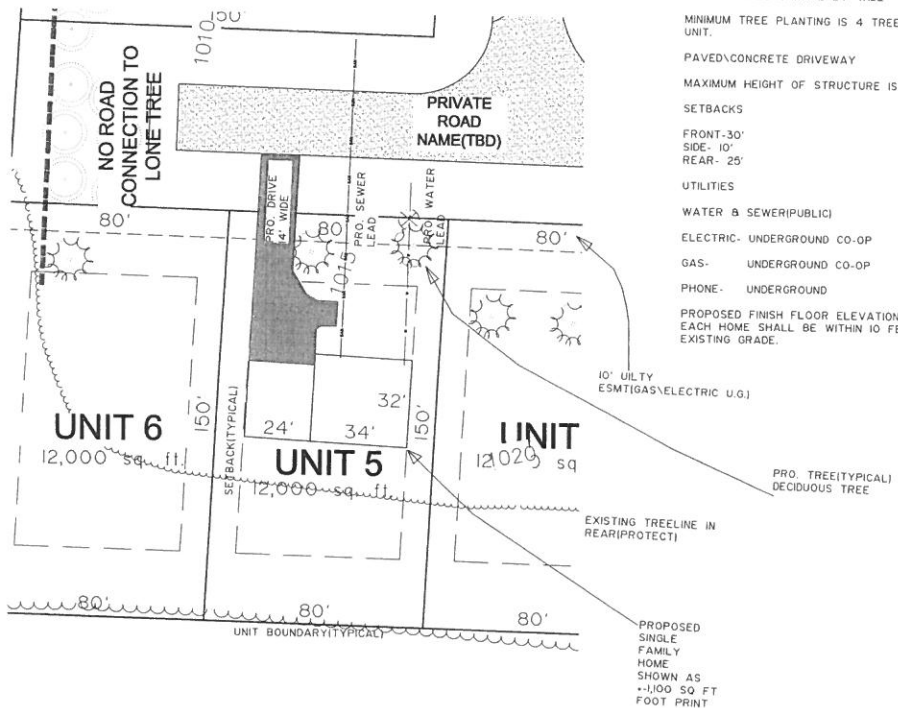
SHEET 1 OF X

JESSE E. MITCHELL PROFESSIONAL SURVEYOR LICENSE NO. 54433
 BOB MITCHELL AND ASSOCIATES, INC.
 404 WEST MAIN STREET
 KINGSLEY, MICHIGAN 49649

"HARRIS HILLS" A SITE CONDOMINIUM

DETAILS TYPICAL UNIT

1":20'



- TYPICAL UNIT:
 SINGLE FAMILY
 1,100 SQ MINIMUM
 W/ ATTACHED GARAGE 24' WIDE
 MINIMUM TREE PLANTING IS 4 TREES PER UNIT.
 PAVED CONCRETE DRIVEWAY
 MAXIMUM HEIGHT OF STRUCTURE IS 35 FEET
 SETBACKS
 FRONT- 30'
 SIDE- 10'
 REAR- 25'
 UTILITIES
 WATER & SEWER(PUBLIC)
 ELECTRIC- UNDERGROUND CO-OP
 GAS- UNDERGROUND CO-OP
 PHONE- UNDERGROUND
 PROPOSED FINISH FLOOR ELEVATION FOR EACH HOME SHALL BE WITHIN 10 FEET OF EXISTING GRADE.

10' UTILITY ESMTIGAS/ELECTRIC U.G.
 PRO. TREE(TYPICAL) DECIDUOUS TREE
 EXISTING TREELINE IN REAR(PROTECT)
 PROPOSED SINGLE FAMILY HOME SHOWN AS 1,100 SQ FT FOOT PRINT

PROJECT NOTES:

ALL REQUIRED PERMITS FROM TOWNSHIP, COUNTY, & STATE SHALL BE OBTAINED AND COMPLIED WITH.

TOWNSHIP AND COUNTY REVIEW OF STORMWATER, PUBLIC WATER & SANITARY SEWER, SITE GRADING & RESTORATION, PUBLIC ROAD CONNECTIONS ARE CURRENTLY IN PROCESS.

EXTERIOR LIGHTING WILL LIMITED TO ALLOWED LIGHTING FIXTURES, CONSISTENT WITH TOWNSHIP ORDINANCE FOR EACH UNIT.

TRASH REMOVAL SHALL BE SINGLE DWELLING TRASH RECEPTACLES.

SUBJECT PARCEL LEGAL DESCRIPTION:

Lands situated in the Township of Garfield, County of Grand Traverse, State of Michigan, described as:

Parcel 1:

Part of the Southeast 1/4 of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as follows: Beginning at the East 1/4 corner of Section 7; thence South 02°11'29" West along the East line of said section a distance of 662.08 feet; thence North 89°29'32" West a distance of 658.25 feet to a point on the East 1/16 line of said section; thence North 02°11'43" East along said East 1/16 line a distance of 662.14 feet to the East-West 1/4 line of said section; thence South 89°29'33" East along said East-West 1/4 line a distance of 658.20 feet to the Point of Beginning.

AND

Parcel 2:

Part of the Southeast 1/4 of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as follows: Commencing at the Southeast corner of said Section 7; thence North 02°11'29" East along the East line of said section a distance of 1,317.47 feet to the South 1/8 line of Section 7; thence continuing North 02°11'29" East along said East line a distance of 6.43 feet to the Point of Beginning; thence North 89°29'29" West a distance of 658.29 feet to a point on the East 1/16 line of said Section 7; thence North 02°11'43" East along said East 1/16 line a distance of 648.95 feet; thence South 89°29'32" East a distance of 658.25 feet to the East line of said section; thence South 02°11'29" West along said East line a distance of 648.96 feet to the Point of Beginning.

JOB NO. 20180395

BOB MITCHELL & ASSOCIATES
 PLANNING • ENGINEERING • SURVEYING • MANAGEMENT
 Northwestern Michigan Central Michigan
 404 W. Main Street 426 North 1st Street, Ste. 105
 P.O. Box 308 Box 682
 Kingsley, MI 49649 Hartsville, MI 49625
 (231) 283-2163 (888) 533-8878

JESSE E. MITCHELL PROFESSIONAL
 SURVEYOR LICENSE NO. 54433
 BOB MITCHELL AND ASSOCIATES, INC.
 404 WEST MAIN STREET
 KINGSLEY, MICHIGAN 49649

TOWN BOARD APPROVED 5/12/05

**CHARTER TOWNSHIP OF GARFIELD
LONE TREE - PLANNED UNIT DEVELOPMENT
REPORT and DECISION ORDER
for Special Use Permit #2005-05**

To: Lone Tree Development, L.L.C.
830 E. Front St.
Traverse City, MI 49686

WHEREAS,

Application having been made by the above named for a Special Use Permit for a mixed use Planned Unit Development, for the premises as described below, hereto zoned A1, Agricultural

The Northwest Quarter of the Southeast Quarter, and the West Half of the East Half of the Southeast Quarter Section 7, Town 27 North, Range 11 West, being more fully described as: Commencing at the East Quarter Corner of said Section 7; thence South 89° 57' 06" West, 658.20 feet, along the East-West Quarter of said Section and the centerline of Lone Tree Road to the POINT OF BEGINNING; thence continuing South 89° 57' 06" West, 1974.62 feet along the North line of said Section 7 and Lone Tree Road; thence South 1° 39' 07" West, 1317.80 feet along the North-South Quarter line of Section 7, (previously recorded as South 01° 39' 30" West, 1317.76 feet); thence North 89° 56' 47" East, 1316.63 feet along the South One-Eighth line of said Section; thence South 1° 38' 31" West, 1317.52 feet, along the East One-Eighth line of said Section 7; thence North 89° 56' 45" East, 658.41 feet, along the South Section line, and the centerline of North Long Lake Road; thence North 1° 38' 18" East, 2635.19 feet, to the Point of Beginning. (* = degrees) Parcel Code No. 28 05 007 022 00

Subject to the rights- of way of North Long Lake Road over the Northerly 33 feet thereof, and Lone Tree Road over the Southerly 33 feet thereof.

WHEREAS, the proposed development encourages the innovative use of land as an overlay to the existing zoning through the Planned Unit Development procedure, and the Township adopts this as its Findings and Planned Unit Development Report; and

WHEREAS, the project has a variety in design and layout and type of structure; and

WHEREAS, the project achieves economy and efficiency in the use of land, natural resources, energy, the provision of public services and utilities through design, the provision of on site public services and connection to public services and utilities, and encourages useful open space; and

WHEREAS, the project is designed to insure the protection of natural resources, the health, safety and welfare of the users of the development and the residents of the surrounding area and community as a whole as can be evidenced by the reports and documents included and attached to this Report and Decision Order; and

WHEREAS, the project encourages complementary relationships between zoning regulations

TOWN BOARD APPROVED 5/12/05

and other regulations affecting the development of land and state and Federal statutes, and in particular that all permits for local, state and Federal laws have either been obtained or been assured; and

WHEREAS, the Planning Commission and Township Board's review of the Reports and their exhibits have revealed that the development will enhance on-site streams and wetlands or other environmentally sensitive areas; and

WHEREAS, the uses within the development will be relatively limited, and, in any event, will be connected to existing sanitary sewer lines, thus precluding the need to conduct further inquiry into the suitability for and/or potential impact of septic and drainage discharges to the subsurface soils and/or groundwater. Further, in light of the limited uses proposed for the development, there are no concerns presented with respect to atmospheric discharges or air quality; and

WHEREAS, on the basis of the materials presented to the Planning Commission and Township Board, as well as the Planning Commission and Township Board's review thereof, it is found that the proposed development in its as-built state is not likely to pollute, impair or destroy the environment or the natural resources of the State of Michigan and that, accordingly, the issuance of the Special Use Permit and the construction of this proposed development will not violate the Michigan Environmental Protection Act.

WHEREAS, the project has been professionally designed using qualified professionals to assure compatibility with adjacent uses of land and the natural environment, services and facilities affected by the land use as is evidenced by the land use plan and the documentation and documents attached; and

WHEREAS, the project promotes the use of land in a socially and economically desirable manner and uses which will enhance the economic base of the community; and

WHEREAS, it has been demonstrated that the standards and conditions for such approval as set forth in the Garfield Township Zoning Ordinance have been met through the site plan presented and the studies attached and the Findings by the Planning Commission and Township Board; and

WHEREAS, due notices having been given and public hearings having been held on said Application, and the Township Planning Commission and Township Board having determined that the requested Special Use Permit is appropriate, and in the best interest of the Township and meets the specific and special standards as set forth in the Zoning Ordinance as required by Sections 16b and 16c of Public Act 184 of 1943, as amended, and

WHEREAS, the Township Planning Commission and Township Board having determined that certain conditions upon the use of the premises are necessary to protect the health, safety and welfare of Township residents, to uphold the spirit and purpose of the Zoning Ordinance, and to insure that the development is harmonious and appropriate.

NOW, THEREFORE, BE IT RESOLVED as follows:

TOWN BOARD APPROVED 5/12/05

The Township Board does hereby issue this Report and Decision Order for the use of the above referenced property, subject to the following requirements:

1. Development Plan. Subject to the requirements set forth in this Report and Decision Order, the Applicant's Development Plan, comprised of the drawings set out in the Schedule below shall constitute the Development Plan for the planned unit development.

<u>Drawings</u>			Rev 4/21/05	
Page #	Name of Drawing	Date	Sheet	Scale
Development Plan Set				
01PUD	Cover Page	5/4/05	1	N/A
02PUD	Preliminary Site Plan	5/4/05	1 of 2	1"=100'
03PUD	Site Dimensioning Plan	5/4/05	3	1"=100'
04PUD	Analysis	5/4/05	4	N/A
05PUD	Existing Site Drainage Plan	5/4/05	5	1"=100'
06PUD	Proposed Site Drainage Plan	5/4/05	6	1"=100'
07PUD	Proposed Site Grading Plan	5/4/05	6A	1"=100'
08PUD	Water Utility Plan	5/4/05	7	1"=100'
09PUD	Sewer Utility Plan	5/4/05	8	1"=100'
10PUD	Landscape Plan	5/4/05	9	1"=100'
11PUD	Circulation Plan	5/4/05	10	1"=100'
12PUD	Typical Lone Tree Office Building (2 Pages)	N/A	N/A	N/A

2. Documentation. The representations made by the Applicant in its Application dated January 21, 2005 and the documents appearing in the Schedule below, as attached hereto and incorporated herein have been relied upon by the Township Board in making its determination in this matter. It is a condition of this Report and Decision Order that the Applicant shall abide by all representations in these documents and may not deviate from these documents without the prior written consent of the Township Board. The Schedule of Documents follow:

<u>Documents</u>			Rev 4/21/05	
PageID	Document Name	Pages	Date	
Application				
01App	Table of Contents	1	N/A	
02App	Application	1	N/A	
03App	General Information	1	N/A	
04App	Legal Survey	1	2/3/04	

TOWN BOARD APPROVED 5/12/05

06App	PUD Submission (Response)	10	1/21/05
07App	Special Use permit (Response)	8	1/21/05
08App	Impact Assessment	6	1/21/05
09App	Traffic Impact Study	35	2/05
Agency and Consultant Reviews			
01Agn	G.T.C Road Commission, Mary Lajko	1	2/3/05
02Agn	G.T.C Drain Commissioner, Kevin P. McElyea	1	2/3/05
03Agn	G.T.C. Sheriff's Office, Lt. Bryan Marrow	1	1/20/05
04Agn	G.T.M. Fire Department, Brian Belcher	2	2/7/05
05Agn	G.T.C. Department of Public Works, Chris Buday	1	2/3/05
06Agn	TCAPS, Gary Derrigan	2	2/4/05
07Agn	Dr. Rick Lyles Review of Lone Tree TIS	2	4/9/05
Correspondence			
01Cor	Letter from URS, Laura Aylsworth-Bonzelet, P.E.	4	4/13/05

3. Further Conditions. This Report and Decision Order is subject to the following additional conditions:

a. Applicant shall obtain all other permits required by law including, a Grand Traverse County Soil Erosion Permit, and a Grand Traverse County Road Commission Permit. Compliance with those permits is a condition of the Report and Decision Order and the terms of those permits are incorporated herein by reference. The Applicant shall engage in no activity relating to this project which requires a permit from any governmental unit or agency until that permit has been obtained.

b. The development shall meet all of the requirements that may be imposed from time to time by the Grand Traverse County Metro Fire Department.

c. Final development plans and documents shall be reviewed by the Township Code Enforcement Officer, and the development shall meet all requirements of the Township as set out in this special use permit, or if not specifically addressed in this Report and Decision Order, as regulated in the Township Zoning Ordinance, including landscaping, lighting, signage and utility easements, construction and related issues. Building floor elevations and heights shall be consistent with the documents attached hereto. Any building floor or roof elevation changes between the representations made in the documents attached hereto and the final development plans of greater than five (5) feet shall be considered a major amendment to the Special Use Permit and shall be approved prior to construction.

d. The applicant shall provide a bond, letter of credit or cash surety in a form and amount acceptable and approved by the Township Code Enforcement Office before commencement of operation or any phase of operation, for completion of site restoration, landscaping, irrigation, lighting, parking and roadways, blacktopping, utilities, sidewalks, drainage and other site

operation or any phase of operation, for completion of site restoration, landscaping, irrigation, lighting, parking and roadways, blacktopping, utilities, sidewalks, drainage and other site improvements when improvements are proposed for which such bonds, letter of credit or cash surety are not required by other permitting agencies.

e. During site excavation the owner shall provide appropriate treatment at site construction road entrances and exits to assure that soil is not carried onto adjacent road surfaces. Sweeping equipment shall be readily available for use in the event any cleaning of area roadway services is necessary as a result of project construction activity.

f. Based on the representations made and materials presented in the project application and by the applicant at the Planning Commission public hearing, the applicant shall make arrangements with the Grand Traverse Co. Road Commission to provide for the paving of Lone Tree Rd., a public road, from its intersection with Harris Rd. to its intersection with westerly rd. entering the project, and the paving of North Long Lake Rd., a public road, as a three land section, from its intersection with Zimmerman Rd. to a point west of the projects west property line. The applicant shall enter into a binding agreement with the Grand Traverse County road Commission for completion of the road improvements and shall deposit all funds required of the developer with the Road Commission prior to the issuance of a land use permit.

g. Prior to the issuance of any land use permit for the construction of any structures within the project, the applicant shall provide the Township Code Enforcement Officer with copies of project condominium documents, or other instruments, which will contain provisions which will delineate and protect, in perpetuity, the common open space within the project for the use and enjoyment of all, and will assure the construction and adequate maintenance in perpetuity of the trails indicated on the development plan.

4. Violations and Notice Requirements. Any violation of these conditions shall serve as grounds for revocation of the Special Use Permit issued by the Township. In the event of any such violation, the Township shall give written notice to the Applicant by ordinary mail addressed to the Applicant at the last address furnished to the Township by the Applicant. The Notice shall state that unless the violation is corrected or resolved to the satisfaction of the Township within 30 days from the date of the Notice, then the Township may revoke the Special Use Permit after hearing. In the event a hearing becomes necessary, the Township shall establish the notice requirements and such other conditions with respect to the hearing as the Township may deem appropriate. After the hearing, if the Township revokes the Special Use Permit, then enforcement of the revocation may be made by application for appropriate relief in Grand Traverse County Circuit Court and the Township may recover all of the costs, including attorney fees, associated with or resulting from such violation or noncompliance.

5. Fees and Expenses. All fees and expenses charged to the Applicant pursuant to Township ordinance shall be paid before the Special Use Permit becomes effective.

6. Non-vesting. The approval of this Report and Decision Order and the issuance of the Special Use Permit by the Charter Township of Garfield shall not operate to vest in the Applicant any right to rely upon any permission given herein until compliance has been had with all stated conditions herein.

TOWN BOARD APPROVED 5/12/05

7. Alteration, Amendment or Cancellation of Special Use Permit. By compliance with the same procedures required for the issuance of this Permit, including a public hearing, the Township may alter, amend or cancel the Special Use Permit to the extent permitted by law.

TOWN BOARD APPROVED 5/12/05

The undersigned hereby certifies that she is the Clerk of the Charter Township of Garfield Traverse City, Michigan, and that the foregoing Report and Decision Order was approved by the Township Board of the Charter Township of Garfield on June 7, 2005.

Kay Schumacher
Kay Schumacher, Clerk

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Subscribed and sworn to before me this 7th day of June, 2005, by Kay Schumacher, Clerk of the Charter Township of Garfield.

Margaret E. Johnson
Margaret E. Johnson, Notary Public
Leelanau County, MI (Acting in Grand Traverse County, MI)
Comm. Exp. - Sept. 30, 2006

Applicant Lone Tree Development.L.L.C, hereby acknowledges receipt of the Report and Decision Order, that he has read and understands all of the terms and conditions of the Report and Decision Order. The Applicant agrees to comply with all of the terms and conditions thereof and further agrees that all of the terms and conditions of said Permit shall be binding upon all other owners or occupants of the subject property.

Lone Tree Development, L.L.C.
By: [Signature]
RONALD J. WALTERS

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Subscribed and sworn to before me this 7th day of June, 2005, by Ronald J. Walters, of Lone Tree Development, L.L.C.

Margaret E. Johnson
Margaret E. Johnson, Notary Public
Leelanau County, MI (Acting in Grand Traverse County, MI)
Comm. Exp. Sept. 30, 2006

LONE TREE DEVELOPMENT

APPLICATION FOR SPECIAL USE PERMIT
&
PLANNED UNIT DEVELOPMENT

Original Submittal Date 1-21-05



- (m) That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

The proposed development will utilize existing water and sewer mains, roads and accesses. On-site drainage systems have been designed to handle stormwater runoff without impact on the surrounding lands. Expansion of the existing facilities is therefore not proposed or required.

- (n) That the submitted landscape plan is in accordance with Section 7.13.

Landscaping plans will be required for each commercial site as individual development applications come forward. Those final landscaping plans will be required to comply with the requirements of Section 7.13.

Landscaping plans are not applicable to the residential component of the development.

- (o) That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

The proposed road system has been designed to provide access for this development to both North Long Lake Road and Lone Tree Road. This combination of access points will provide sufficient access for the development upon full build out. This matter is being further addressed under separate cover in the form of a traffic report.

Within the site, the commercial lands have been grouped at the south end of the site with close and convenient access to North Long Lake Road. This design will minimize commercial traffic within the residential areas of the site.

- (p) That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

Access to two separate public roads will ensure that safe vehicular access is available for residential occupants of the development and their guests. The Master Plan submitted with this application further demonstrates the integration possibilities should adjacent development to the north and east proceed in the future.

Pedestrian traffic is accommodated within the development by means of an integrated pedestrian pathway utilizing the 12 plus acres of open space and park area provided by the development. This pedestrian system includes connection to the West Senior High School lying to the west of the site.

LONE TREE

A Planned Unit Development

Impact Assessment

Property Description Parts of Section 7, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan

The following impact assessment is provided in accordance with the requirements of Section 8.1.2(2)(d) of the Zoning Ordinance for Garfield Township. The numbering of this assessment corresponds to the specific information requirements set out and correspondingly numbered in the Zoning Ordinance.

1. ENVIRONMENTAL SITE CHARACTERISTICS

Sheet 4 of the submitted drawings is a natural environment analysis prepared for the subject parcel. As shown on that drawing, the site possesses a number of different soil types, varying topography, and various land cover. No existing structures are located on the site.

Existing topography is probably best illustrated on Sheet 5, which also shows the existing drainage areas resulting from this topography. Generally described, the site contains a series of knolls and valleys that result in numerous drainage paths and discharge points onto adjacent lands. Site elevation resulting from this topography drops nearly 100 feet across the full site from north to south.

Land cover on the site includes mature deciduous and mixed coniferous/deciduous trees on the north-west corner, mature red pines along the western property line, mature deciduous trees in the north-central portion of the site, a former orchard in the central portion of the parcel covering approximately 31 acres, and a mixed conifer plantation along the eastern portion of the parcel covering approximately 21 acres.

Despite the topography on site, wetlands are not a significant presence on the parcel. Only one isolated wetland area has been identified in the west-central portion of the site. This wetland area is not connected to any other nearby wetlands.

There are no other known environmental concerns on the site.

2. PROPOSED USES AND MAN-MADE FACILITIES

The Lone Tree planned unit development is located on a parcel of land 79.62 acres in size and situated on the north side of North Long Lake Road, just west of the Zimmerman Road intersection. The development as proposed is comprised of both residential and commercial land uses. Of these, residential uses are most prominent. 120 single-family dwelling sites in site condominium form are proposed within the development plan.

Commercial land uses are located on the north side of North Long Lake Road. Approximately 5.95 acres of land has been set aside for commercial purposes. Specific commercial tenants have not been identified at this time. It is anticipated that, upon full build out, approximately 40,000 square feet of commercial space in 5 separate single story buildings will occur.

Throughout the Lone Tree planned unit development, open space/park areas have been provided in a linear fashion. This design is intended to encourage the use of a pedestrian trail system throughout the project, as shown on Sheet 2 of the submitted drawings. Total park area, as called out on Sheet 3, is 12.22 acres.

Public water and sanitary sewer service is proposed for the project. Physical service design is indicated on Sheets 7 and 8. As designed, the project will connect to existing services in North Long Lake Road and will permit the eventual extension of services across Lone Tree Road to the north.

3. RESIDENCY/EMPLOYMENT/TRAFFIC

The residential component of Lone Tree is comprised of 120 single-family residential dwelling sites. Occupancy of these units is expected to be of a permanent nature and is not expected to have seasonal fluctuations. Based on the average household size in Garfield Township of 2.28 persons (Census 2000 statistics), Lone Tree can be expected to have a resident population of approximately 274 persons.

Employment projections for the commercial space proposed are not known at this time given that the specific tenants have not been identified. Approximately 40,000 square feet of commercial space is anticipated for this area of the development.

Traffic projections and anticipated impacts are being addressed in a report under separate cover.

4. PHASING

Phasing of the project is not anticipated beyond the residential/commercial land use split illustrated on the plans. The residential component of the development will take place in a single first phase. As soon as commercial tenants are identified, detailed plans will be brought back before the Township for approval. Timing of the commercial phase will be dependent upon market forces.

5. NATURAL FEATURES

Existing natural features are described under the environmental characteristics heading in 1 above.

Site design has been based initially upon the site topography and natural conditions of the property. Due to the varying topography over the site, all areas of steep slopes cannot be avoided completely. Accounting for this feature, however, areas of steep slopes have been avoided where possible and incorporated into park areas or the rear of the site condominium lots where long term maintenance of the slopes is most likely to occur.

Existing land use cover is intermittent over the site, and includes a mix of mature coniferous and deciduous trees, former orchards, and coniferous plantation areas. The most significant stands of trees, most notably those at the north-west corner of the property and those along the western and eastern edges, have been placed at or on the rear of proposed lots. Other areas, such as the former orchard area and conifer plantation, are considered to have less natural importance and contain less preserved open space area.

The proposed open space has been designed to incorporate a variety of terrain and land cover. Park area 126 includes steeper slopes and orchard areas, park area 127 contains more moderate slopes and areas of mature deciduous and red pine woodlots, park area 128 includes red pine woodlots, slopes and the only small wetland on the site, and park area 129 includes more varied topography in the former orchard area. All park areas are interconnected by a proposed pedestrian trail system as shown on Sheet 2.

Existing and proposed drainage are shown on Sheets 5 and 6. To the extent possible, existing drainage areas and overland flow directions have been maintained in the final design. As necessary, drainage basins have been designed to catch overland flow, slowing release down to pre-development levels. Post development flow discharge will also utilize fewer discharge points than currently exist from the site.

6. SITE SERVICING

The development will be connected to both public water and sewer systems that are located within the North Long Lake Road right of way. Both the public water and the public sanitary sewer system are capable of servicing the project. Utility design has provided for future connections at Lone Tree Road should such connections become necessary.

The location and connection locations of the proposed water and sanitary sewer servicing lines for the development are shown on Sheets 7 and 8.

7. SITE DRAINAGE

Site drainage and the proper treatment of stormwater flows will require a typical sedimentation and retention basin design.

Existing site conditions and drainage patterns are identified on Sheet 5. Respecting these drainage patterns to the extent possible, the proposed drainage system is illustrated on Sheet 6. As shown, this drainage system will utilize a series of 5 drainage basins, 2 of which are split by the road system and connected by way of storm structures.

The drainage system and retention basins will be designed to accommodate all stormwater flows required by the County standards. The design and appearance of these basins will allow their integration into the landscaping of the site.

8. SEWAGE TREATMENT

The development will be connected to the public sanitary sewer system. The public sanitary sewer system is capable of handling the sewage treatment needs of the project. Sheet 8 identifies the utility plan for this system.

9. NUISANCE CONSIDERATIONS

During site construction, increased noise, traffic and possibly dust levels will occur. These impacts will be limited to the construction period and will not exceed typical construction levels.

Following construction, the development will not discharge any unusual effluent such as dust, fumes or smoke into the air. The development is not expected to create noise, vibration or light pollution at a level that would impact surrounding lands.

The most significant impact likely to result from the development is that of an increase in traffic in the general vicinity of the site. This issue has been separately reviewed. A final traffic study is forthcoming with the findings of that review.

Within the commercially planned areas, additional lighting impacts and noise related to snow removal could reasonably be expected. Such impacts will, however, be restricted by existing ordinance standards for lighting and snow maintenance procedures/hours. Additionally, considering the adjacent land uses, such impacts will have minimal effect on the use and enjoyment of those properties. It is also anticipated that light and noise impacts of the limited commercial elements included in this planned unit development will be significantly less than those of the nearby school.

Addressing specifically snow maintenance procedures, the commercial sites will comply with the requirements of the Township, including a limit on light snow removal operations between the hours of 5:00 am and 6:00 am, and a general limit on such operations to the hours of 6:00 a.m. to 11:00 p.m. Equipment operation will be carried out in a manner that will minimize back-up beepers and engine noise. Snow storage areas in accordance with Township standards will be identified for the commercial sites at the time of detailed site plan submission.

10. SITE INTEGRATION

The subject site is located with frontage on North Long Lake Road and on Lone Tree Road. Access to both roads has been incorporated into the project design.

Additionally, at the request of Township Planning Staff, a Master Plan drawing has been prepared and submitted as part of this submission package (see Sheet 2). The purpose of this Master Plan is to demonstrate the integration of this site with the adjacent lands to the east that will remain possible upon approval of the Lone Tree development. This Master Plan identifies the potential for a northerly extension of Zimmerman Road, as well as the continued extension of a planned road network to the east of that extension. This Master Plan, in our opinion, demonstrates that the proposed design is fully capable of being integrated into the surrounding area in a thoughtful and planned manner.

Concerning lands to the west, pedestrian access has been provided between the Lone Tree development and the school property. This access will allow reasonable and appropriate access for pedestrians between the school and this development. As a connection to the internal road on the school site would serve only to establish a convenient cut-through for traffic headed east from the school, however, vehicular connection is not proposed.

Finally, the Master Plan also demonstrates the ability for this development to connect to lands lying to the north. This future connection can be realized if and when additional development occurs in this direction. Such connection could eventually provide vehicular connection to Cedar Run Road.

11. AUTHOR

This impact assessment has been prepared by C. Bradley Kaye, AICP, Community Planner, Gourdie-Fraser, 123 West Front Street, Traverse City, Michigan, 49684, (231) 946-5874.

12. SOIL EROSION AND SEDIMENTATION CONTROL

To develop the subject parcel, a significant area of land will require grading, including cut and fill activities. Standard soil erosion and sedimentation control measures will be put in place and maintained during all phases of construction and until such time as the soils have been fully stabilized. Full soil erosion and sedimentation control plans will be prepared to the satisfaction of the appropriate authorities, including the Drain Commission, and all necessary permits will be obtained from those authorities.

13. OUTSIDE LIGHTING

It is acknowledged that all site lighting will be required to comply with Township standards, including shielding, spill, and intensity standards. Commercial site lighting will be identified on detailed site plans submitted for approval as specific tenants are identified. No residential lighting is proposed other than that which the residential owners may place on individual lots.

14. DEED RESTRICTIONS

The sites within Lone Tree will be offered as site condominiums. A condominium association will be established and appropriate documentation will be put in place. Aside from normal considerations such as road maintenance, drainage system maintenance, outdoor storage and accessory building limitations, no additional deed restrictions are anticipated for the development.

**CHARTER TOWNSHIP OF GARFIELD
TOWN BOARD MEETING
MAY 12, 2005 MINUTES**

Lee Wilson, Chairman, called the Town Board Meeting to order on Thursday, May 12, 2005, at 7:00 p.m. at the Garfield Township Hall, 3848 Veterans Drive, Traverse City, Michigan.

Roll call of Board Members

Present: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait

Staff Present: Kent Gerberding, Marge Johnson, Gerry Harsch

Review and approval of the Agenda - Conflict of Interest

Leo Strait/moved, Jim Harvey/supported, PASSED, to approve the Agenda as amended, adding County Commissioner under Reports, under Unfinished Business, change item c. to item d, and add new item c. Cable Franchise Agreement, and under New Business, add Brian Bourdages, TCAPS Youth Corps Program for Summer of 2005..

Consent Calendar

Joe McManus/moved, Kay Schumacher/supported, PASSED, to approve the Consent Calendar as presented.

Minutes

April 28, 2005

Bills

General Fund	\$ 28,251.00
Fire Fund	\$ 6,480.37
Gourdie Fraser	
a. from Developer's Escrow Fund	\$ 2,583.75
b. from Utility Receiving Fund	\$ 5,099.75
c. Engineering services, Garfield Lift Station No. 1 Upgrade & Garfield Road Interceptor Sewer Flow Monitoring, forward to the DPW for payment out of Bond Fund 439	
d. Other Billings	\$ 715.00
Grand Total	<hr/> \$ 9,753.50

Sewer and Water Projects

a. Lift Station #1 Upgrade Gourdie Fraser Project 04050

1. Contractor - Integrated Controls - Payment No. 4 \$ 3,975.00
Forward to County DPW for payment out of Bond Fund 439
2. Contractor - Arms & Cole, Inc. - Payment No. 4 \$51,110.27
Forward to County DPW for payment out of Bond Fund 439

Fourth of July Fireworks Program - 2005 Contribution \$ 2,500.00

Correspondence

There was no correspondence.

Reports

Clerk

The April 2005 Clerk's Report was submitted and placed on file. Traverse Outdoors will plant perennials in the front of the townhall building before Memorial Day.

County Commissioner

Herb Lemcool reported on County activities - a Planning Director has been hired, 2006 budget is in process, Physical Resources Committee is looking at extending Cass Road through the soccer fields, creating an intersection as well as an entrance off of Brimley Road and working with the Road Commission to determine whether permanent traffic signals at Rennie School and East Silver Lake Roads should be installed. Parks & Recreation is working on a master plan. The Septage Treatment Plant will open on May 23, 2005. Randy Smith resigned from the Resource Recovery Council.

Unfinished Business

Public hearing - Application of Ron Walters, Lone Tree Development, LLC, 830 E. Front St., Traverse City, MI 49686 for a Special Use Permit to construct a planned unit development on 79.62 acres located on N. Long Lake Road and Lone Tree Dr., Part of Parcel 28 05 007 022 00

Joe Elliott, 4333 Carlson Dr., from Gourdie Fraser represented the applicant and reviewed the plans for the Lone Tree Planned Unit Development. The project consists of 90 single family condo units, 46 attached condo duplexes and 40,000 square feet of commercial development and over 25 acres of open space. There is one access off of N. Long Lake Road, two off of Lone Tree Road and a

future access to the east toward the Samuelson parcel. The site is described as having mature pine and hardwood trees, long views, drainage outlets, rolling topography, and a vegetative buffer around the perimeter of the property. A paved trail extends through the open space and connects to the athletic fields at the high school. There is one and a half miles of informal foot trail for use by residents and the cross country team. A formal playground is planned. A sidewalk system goes along the attached housing and commercial areas for pedestrian use. Mass grading will not be required as the roads work with the topography. Sewer and water will be extended to the site.

Mr. Elliott responded to questions from the Board. Lone Tree Road is a county road and will be paved as part of the first phase. The roads in the project are private. Off-site road work will include the construction of right turn lanes. The developer will be working with the Road Commission to cost share a three lane section of North Long Lake Road. The Road Commission intends to take out the traffic light at the high school and retain the traffic light at N. Long Lake Road and Herkner Road where site distance is adequate.

Ron Walters, 830 E. Front Street, responded to questions from the Board. The developer intends to include the Samuelson 40 acre parcel to the east in the Lone Tree Development. The condominium association (commercial, multi-family and residential) will be expandable for future development. The County Road Commission plans to construct a road from Zimmerman to Harris Road. The developer will make it known to the purchasers of lots that the road will be extended from one phase to the next phase. The commercial area is planned for professional businesses such as medical and insurance offices.

The public hearing was opened. There was no public comment or correspondence received. The public hearing was closed.

Discussion by the Board -

Brad Barnes said the revised plan is unique, has a large amount of open space which is being made available to the public and a large number of trails for the size of the development.

Lee Wilson said the revised plan is a better concept than the original plan. He has no problem with the developer prohibiting people from using the trail who vandalize or misuse it.

Brad Barnes/moved, Kay Schumacher/supported, PASSED, to adopt the Findings of Fact for the Lone Tree Planned Unit Development. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McMamus, Brad Barnes, Joe McMamus, Jim Harvey, Leo Strait

Leo Strait/moved, Brad Barnes/supported, PASSED, to approve the Report Decision-Order for Lone Tree Development SUP 2005-05 to construct a planned unit development on 79.62 acres located on N. Long Lake Road and Lone Tree Dr., Part of Parcel 28 05 007 022 00. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McMamus, Brad Barnes, Joe McMamus, Jim Harvey, Leo Strait

Public Hearing - Amended and Restated Cable Television Ordinance No. 34 for Charter Township of Garfield, Michigan

The Amended and Restated Cable Television Ordinance No. 34 was reviewed which supercedes and replaces existing Ordinance No. 34 which was originally enacted in December of 1993.

The public hearing was opened. There was no public comment or correspondence received. The public hearing was closed.

Jim Harvey/moved, Brad Barnes/supported, PASSED, to adopt Amended and Restated Cable Television Ordinance No. 34 for Charter Township of Garfield. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait. No: None

Cable Franchise Agreement For Charter Township of Garfield, Michigan and CC Michigan, LLC d/b/a Charter Communications

The Cable Franchise Agreement was reviewed. All of the provisions of the Amended and Restated Cable Television Ordinance No. 34 are incorporated by reference. This is a non-exclusive franchise agreement and is for a period of ten (10) years from the date of acceptance by the Grantee, unless sooner renewed, revoked or terminated as herein provided.

Brad Barnes/moved, Judy McManus/supported, PASSED, to enter into the Cable Television Franchise Agreement between the Charter Township of Garfield and Charter Communications. Roll call vote: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait. No: None

Garfield Township Park Toilet Room & Pavilion Project

Jim Minster of Gourdie Fraser presented the conceptual drawing for the proposed 36' x 48' bathroom pavilion facility for the township park on East Silver Lake Road. Cost estimates are approximately \$223,000.00, not including engineering and architectural services of \$27,000.00. Additional costs include a drainfield at \$7,500.00, concrete basketball and tennis courts at \$75,000.00 or an option of asphalt for \$50,000.00. The estimated total cost is between \$300,000 and \$325,000.

Discussion by the Board -

It was the consensus of the Board that the conceptual drawings for the pavilion project should be revised as follows - construct the pavilion matching it with the existing pavilion with gable end roof and metal under siding, sizing it for 10 tables and locating it near the bathrooms but not attached to it. Retain the configuration of the two bathrooms, changing the women's bathroom to two stalls with one sink and the men's bathroom to one stall, one urinal and one sink, cut the workshop off so it aligns with the north wall of the bathroom, shrink the eaves to one foot, retain the office, include one full basketball court, and one full tennis court, two half basketball and tennis courts on the side, and

submit alternates for insulating the heated areas, and for basketball and tennis court surfaces.

New Business

Resolution 2005-06-T, Approving Method of Publication for all Township Notices, Ordinances and Proceedings and Method of Publication of New Zoning Ordinance Prior to Final Adoption

This Resolution will be submitted at the next meeting.

TCAPS Youth Corps Program for Summer 2005

Brian Bourdages, TCAPS Community Public Service Coordinator, reviewed the 2004 TCAPS Youth Corps Program. The Township provided a grant of \$2,500.00 for that program. Mr. Bourdages is requesting a grant of up to \$7,000.00 from the Township for the 2005 program to fill the gap in funding for one team from the alternative high school. Michigan Works has made a commitment to provide funding for administration of wages and benefits for the students. With 36 hours a week devoted to work for seven and a half weeks it constitutes a per labor cost to the Township of \$3.25 an hour. The Conservation District would oversee all the work projects done on Township property at the Commons.

Judy McManus suggested that Mr. Bourdages contact Karen Rosa, Chairperson of the Grand Traverse County Chapter of the MTA Association about seeking some funding from that association.

Brad Barnes/moved, Jim Harvey/supported, PASSED, to approve a grant of \$7,000.00 to TCAPS Youth Corps Program for Summer of 2005 for \$7,000.00 to come out of cablevision funds. Roll call vote: Yes: Lee Wilson, Kay Schumacher, Judy McManus, Brad Barnes, Joe McManus, Jim Harvey, Leo Strait. No: None.

Public Comment

There was no public comment.

Other Business

Board Meeting Room

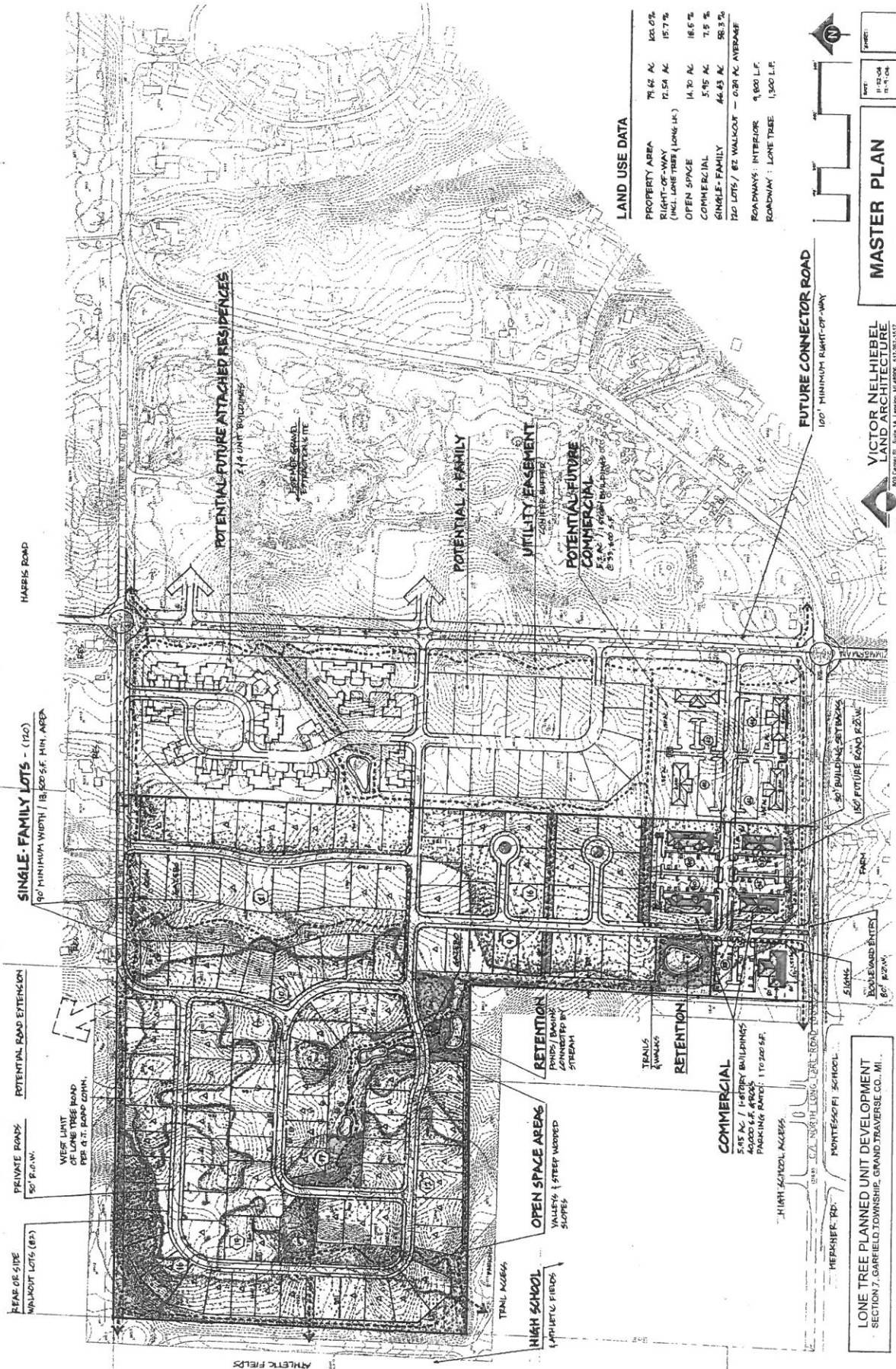
The Board looked at the option of hooking monitors to the top of the board meeting table versus cutting holes and mounting them into the table and agreed that the monitors should be hooked to the top of the board meeting table, also that holes should be drilled in the table for the microphone cords.

Adjournment

The meeting was adjourned at 9:05 p.m.

Lee F. Wilson, Supervisor

Kay Schumacher, Clerk



REAR OR SIDE
WALKOUT LOTS (83)

PRIVATE ROADS
50' R.O.W.

POTENTIAL ROAD EXTENSION

SINGLE FAMILY LOTS - (122)
90' MINIMUM WIDTH / 15,800 S.F. MIN. AREA

WEST LIMIT
OF LONE TREE ROAD
PER G.T. ROAD CORN.

POTENTIAL FUTURE ATTACHED RESIDENCES
214 UNIT BUILDINGS

FORMER GRAVEL
PIT

POTENTIAL - FAMILY

UTILITY EASEMENT

POTENTIAL FUTURE
COMMERCIAL
5.8 AC / 1,600 SQ. FT. (100' x 160')

RETENTION
POND / BANKS
CONNECTED BY
STREAM

OPEN SPACE AREAS
VALLEYS / STEEP SLOPES

HIGH SCHOOL
AMPHIBIOUS FIELDS

TRAILS
& WALKS

RETENTION

COMMERCIAL
5.8 AC / 1,600 SQ. FT. (100' x 160')

HIGH SCHOOL ACCESS

MONTROSE PL SCHOOL

LONE TREE PLANNED UNIT DEVELOPMENT
SECTION 7, GARFIELD TOWNSHIP, GRAND TRAVERSE CO., MI.

LAND USE DATA

PROPERTY AREA	78.62 AC	100.0%
RIGHT-OF-WAY (INCL. LONE TREE (100' R.O.W.))	71.54 AC	15.7%
OPEN SPACE	14.70 AC	18.6%
COMMERCIAL	5.75 AC	7.5%
SINGLE-FAMILY	44.43 AC	56.3%
120 LOTS / 82 WALKOUTS - 0.20 AC AVERAGE		
ROADWAYS: INTERIOR	9,600 L.F.	
ROADWAY: LONE TREE	1,300 L.F.	

FUTURE CONNECTOR ROAD
100' MINIMUM RIGHT-OF-WAY

30' BUILDING SETBACK
150' FUTURE ROAD ROW

5' BANK
SAMPLE ROAD ENTRY
60' R.O.W.




MASTER PLAN

VICTOR NELHIEBEL
LAND ARCHITECTURE



DATE: 07.10.10
PROJECT: LONE TREE PLANNED UNIT DEVELOPMENT

 Charter Township of Garfield Planning Department Report No. 2019-148			
Prepared:	November 6, 2019	Pages:	8
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Hickory Hills Special Use Permit Amendment-Findings of Fact		
File No.	SUP-2017-04-A	Parcel No.	05-005-001-00
Applicant:	City of Traverse City		
Owner:	City of Traverse City		

PURPOSE OF APPLICATION:

This application requests approval of an amendment of the Special Use Permit (“SUP”) to the Hickory Hills recreational facility owned and operated by the City of Traverse City and located in Garfield Township to permit additional uses on the site. Municipal recreational facilities are permitted in the P-R Park and Recreation District with specific uses permitted by right and by special use permit. The City is seeking to add new uses to the site. Furthermore, the City is requesting an amendment to its previously approved landscaping plan for the parking lot at Hickory Hills.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



OVERVIEW

Hickory Hills was approved as a Special Use Permit (SUP) by the Garfield Township Planning Commission on February 28, 2018. Part of the SUP approval included the Hickory Hills Master Plan. While the Master Plan proposes winter and summer concepts that include events, it appears there was no discussion, formal presentation, or approval of additional indoor and outdoor events as part of the SUP application beyond the current use of the property. Current winter use of the property includes skiing and current summer use of the property includes hiking and disc golf. Since approval in 2018, there have been plans and efforts by the City to implement more of the Master Plan and expand use of the park in the summer months, including banquets. Amendment of the SUP will ensure that any potential impacts of these additional uses are addressed.

Proposed additional uses that require SUP approval include:

- Banquet Center (with and/or without an outside tent for wedding, corporate and non-profit rentals)
- Challenge Course / Ropes Course (year round)
- Climbing Wall (indoor or outdoor, year round)
- Guest Services Building (food/beverage, rentals, etc.)
- Lodge (with and/or without an outside tent)
- Nature Center
- Summer Camps for Kids
- Yoga Retreat
- Zip Line Course
- Ice Rink (winter)

Events proposed for the site include:

- Four (4) seasonal events are planned at Hickory Hills, including cross-country skiing, disc golf, running, and mountain biking.
- 15 to 26 non-winter season rentals for weddings, corporate events, and non-profit events.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In the section that follows, staff offers comments on issues being of potential concern. The City has supplemented its application with a letter dated September 25, 2019 that provides clarifications on the issues of parking, banqueted events, and noise.

Facilities and Tents:

Phase 1 of the project, which has been nearly completed, includes construction of a new lodge, utilities and infrastructure, parking lot and maintenance building. Phase 2 will include a challenge course/ropes course, climbing wall and zip line. Future development may include a nature center and a summer camp location. In addition to built facilities, the applicant proposes temporary tents that will be used for some seasonal events. Three tent locations are shown to illustrate the locations on the attached Landscape Sheet, but only one large tent per special event will be allowed.

Hickory Hills is approximately 130 acres in area and is often wooded in areas that abut neighboring properties. Some of the impact of the uses and events on the site will be minimized by the terrain and natural features. However, other impacts such as noise and overflow parking may need to be mitigated.

Banqueted Events:

The facility will be limited to 26 banquet style events each year during the non-ski months of April to November. The events will be limited to a total attendance of 325 people.

Access:

Vehicular access to Hickory Hills is through a residential neighborhood in both the City and Township. The property is accessed by a single point of ingress and egress from Randolph Street. This location is approximately 0.8 miles west of Madison Street, the nearest major cross street. Based on previous reports, apparently speeding traffic along Randolph Street has been a concern of neighboring property owners over the years.

Parking:

Total on-site parking includes 182 spaces. On-site parking threshold is 143 spaces for special events, with 39 spaces being reserved for park users.

For banqueted events, total attendance will be limited to 325 people. By limiting total attendance to this level, there will be one parking space for every 2.27 people which is consistent with the Zoning Ordinance requirement for a similar use (bar, brewery, night clubs).

For special events outside of the ski season, there will be a limited number “signature events.” Signature events will be ticketed and have a limited number of participants allowed to register based on parking supply. Signature events will require a parking plan including the use of shuttle services with off-site locations. City Parking Services staff will also be utilized for these events.

For limited special events during the ski season, overflow parking may occur on Randolph Street. In these situations, the City will work with the County Road Commission to ensure ingress and egress is maintained for emergency service vehicles and other vehicles.

Landscaping:

The Hickory Hills improvements are concentrated in a mostly forested area. Although the applicant installed landscaping, the majority of the buffer standards required by Section 530 of the Zoning Ordinance were waived under Section 530.H(1), due to the topography and vegetation providing an established screen or buffer which is equal, or superior, in its ability to meet the intent of the Section.

The applicant, however, is seeking an amendment to the proposed landscaping for the new parking lot. Attached is the original landscaping plan dated December 1, 2017. The revised landscaping plan is dated July 5, 2019. At its meeting on September 11, 2019, the Planning Commission approved the revised landscaping plan dated July 5, 2019 – project plan number 2018-10.

Noise:

One concern about outdoor events is the impact of noise onto adjacent properties. As part of its permit requirements for events in the City’s Park and Public Land Use Policy, the following provisions address potential noise issues:

(g) Time of Events. The Permit shall specify the days and hours of the event. Unless otherwise indicated in the Permit, all Events are limited to the hours of 10:00 am and 10:00 pm daily. The City Manager may approve a time extension for good reason.

(h) Time of Amplified Sound. Unless otherwise allowed in the Permit, amplified music or sound shall be limited to no more than a total of six hours including normal breaks taken between the beginning and end of individual music performances between 10:00 am and 10:00 pm.

(i) Noise. The Application shall include a current, active plan for the containment of noise and vibration attributed to the Event. Special conditions may be placed on any amplified sound to preserve the rights and enjoyment of those adjacent or near the Event. The City noise ordinance applies to all Events. This shall include but not be limited to amplified music and speech, construction, and sounds emanating from groups or crowds connected with the Event. No person shall cause, suffer, allow, or permit the operation of any amplified sound reproduction device in such a manner that it crosses a real property line of the park and raises the total sound levels by the permissible sound level limits set forth below when measured within a building.

AMPLIFIED SOUND REPRODUCTION DEVICE
MAXIMUM PERMISSIBLE SOUND LEVEL LIMITS

Indoors across a real property line
dB(C) ABOVE
INTERIOR AMBIENT SOUND LEVEL

Week nights 10:00 p.m. - 7:00 a.m. Weekend nights 11:00 p.m and 9:00 a.m.
3 dB(C)
All other times
6 dB(C)

FINDINGS OF FACT:

At its October 9, 2019 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application which are provided below for your consideration:

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

The Planning Commission may find this standard to be met for the following reasons:

- Hickory Hills, an active recreation facility owned and operated by the City of Traverse City, is designated Recreational by the Township Master Plan and zoned P-R Park-Recreation according to the Township Zoning Ordinance.
- A Master Plan for Hickory Hills was adopted in 2014 which includes the proposed uses identified as part of this application. Any additional uses will require an amendment to the Special Use Permit.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Hickory Hills has been in existence since 1952 primarily as a winter ski area. With this application, more year round events and activities will occur including a banquet center (with and/or without an outside tent for wedding, corporate and non-profit rentals), challenge course / ropes course (year round), climbing wall (indoor or outdoor, year round), guest services (food/beverage, rentals, etc.), lodge (with and/or without an outside tent), nature center, summer camps for kids, yoga retreat, zip line course, and ice rink (winter). Events proposed for the site include four (4) seasonal events, including cross-country skiing, disc golf, running, and mountain biking and 15 to 26 non-winter season rentals for weddings, corporate events, and non-profit events.
- While Hickory Hills is an active recreation facility, it does cover 130 acres of wooded terrain which provide ample buffering and setbacks from adjacent uses, including nearby single family residential uses. However, the facility may create some negative off-site impacts such as noise or spillover parking on the roadway.
- The City of Traverse City Park and Public Land Use Policy provides a mechanism to manage events and activity at the facility and to mitigate these potential impacts.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- With the increased recreational activity and events such as weddings and banquets, noise and parking may be the most potential problematic conditions experienced at the subject site. Management of these issues is essential to maintaining quality of life for the surrounding residential uses. It is imperative that the City manage activities and events on the site to reduce these potential problems.
- For events and activities at Hickory Hills which exceed on-site parking, a parking plan will be required by the City as part of the event application process and address spillover parking along Randolph Street.
- For events and activities at Hickory Hills, it is expected to the City will manage any potential noise issues. Events will be limited between 10:00 a.m. and 10:00 p.m. The Township noise ordinance will apply to this property.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The parking area was determined to be compliant with the Zoning Ordinance as part of the previous Special Use Permit application. Events will be limited to 325 attendees which equals to one parking space for every 2.27 people. This standard is consistent with the Zoning Ordinance requirement for a similar use (bar, brewery, night clubs). A parking plan is required for management of parking for any events and activities.
- Due to the size of the subject site and existing natural vegetation, site improvements were designed in a manner to avoid adverse effects to neighboring properties.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may find this standard to be met for the following reasons:

- The property encompasses approximately 130 acres of heavily wooded terrain and includes many natural features, including streams.
- All structures are located in a manner that will mitigate any disturbances to the adjacent property owners by retaining the wooded areas for buffering.
- Additional protection of the natural features will be maintained.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Randolph Street, a public street, provides the only ingress and egress to the subject site. At times this single point of access has been problematic with overflow parking. Furthermore, due to its length and the low density of residential uses in the area, there have been excessive speeds by motorists on the street. Enforcement of speed limits on the street and parking plan for events that create excessive parking demand need to be in place. The County is responsible for speed limit enforcement on Randolph Street. The City is responsible for requiring parking plans based on events and activities at Hickory Hills. Most events occurring at Hickory Hills will be ticketed events and limit the number of attendees to 325. Current parking is sufficient for those events. For a limited number of non-ticketed events during the ski season, overflow parking may occur on Randolph Street. In these situations, the City will work with the County Road Commission to ensure ingress and egress is maintained for emergency service vehicles and other vehicles.
- With newer infrastructure upgrades to the site made as part of its renovation, other services are provided adequately to the subject site.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- All new amenities proposed have been designed to improve the public health, safety and welfare of the park users.

- Maintenance and operation of the park will be improved by incorporating new structures, improved pedestrian circulation, separating of vehicular and pedestrian movement, and increased parking and lighting.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- As a public park, a publicly developed and supported Master Plan was prepared for Hickory Hills to guide improvements.
- This public initiative to improve Hickory Hills is a public interest.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **met** for the following reasons:*

- For limited special events during the ski season, overflow parking may occur on Randolph Street. In these situations, the City will work with the County Road Commission to ensure ingress and egress is maintained for emergency service vehicles and other vehicles.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Parking and non-motorized improvements were made to the subject site that improve overall circulation and emergency service access.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The surrounding properties are generally planned and developed as low density residential on large lots which are compatible with Hickory Hills.

ACTION REQUESTED:

The purpose of tonight's meeting is to consider Findings of Fact for the application. Following consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2017-04-A, as presented in Planning Department Report 2019- and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT application SUP-2017-04-A BE APPROVED, subject to the following conditions:

Hickory Hills Special Use Permit Amendment-Planning Commission-Findings of Fact

1. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
2. For banquet and other similar events, total attendance will be limited to 325 people.
3. Parking plans will be required for all events, including the use of shuttle services and management of overflow parking as needed.
4. Events will be limited to the hours of 10:00 a.m. to 10:00 p.m.
5. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
6. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within ninety (90) days of final approval by the Township or approval shall be considered to have expired.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Hickory Hills Special Use Permit Amendment Application - Impact Assessment
2. Letter dated September 25, 2019 from Derek Melville, City of Traverse City Parks & Recreation Superintendent

Hickory Hills Special Use Permit Amendment Application

This application is to amend the Special Use Permit SUP2017-04 authorized by the Garfield Township Planning Commission on February 28, 2018

Impact Assessment

A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.

The site consists of sands with slopes varying from 2 to 45 percent. There is a flowing drainage ditch with wetland complexes that were located and mapped by our environmental consultant and shown on the drawings. There are both open areas and forested areas on the site.

Types of uses and other man-made facilities.

The site is a recreation area used for alpine and Nordic skiing, walking and hiking, disc golf, day camp, small parties, weddings, gatherings and similar activities. The existing and new buildings on site include the old lodge, old maintenance pole building, small sheds and timing huts, outdoor fire pits, the new lodge and the new maintenance building.

We anticipate that temporary tents will be used for some of our seasonal events. Our Parks & Public Land Use Policy will dictate frequency and size of tents allowed. Please refer to the attached copy of the Land Use Policy and the Landscape sheet which provides more details on event policies and proposed tent placement. Three tent locations are shown to illustrate the primary locations anticipated, but only one large tent per special event would be allowed.

The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.

The lodge is expected to have up to 10 employees at a given time. Winter visitors to the Lodge are estimated to be between 14,000 and 16,000, or approximately 4,000 per month. Visitors to the lodge outside of the ski season will vary by the month depending on facility reservation levels, with estimated averages ranging from 700 to 900 visitors a month or 5,600 to 7,200 annual visits. Additional patrons will visit the park for traditional park use of walking, hiking and disc golf activities that are not associated with lodge use and are not included in the use estimates. The new lodge has an occupancy capacity of 136 persons.

Phasing of the project including ultimate development proposals.

Phase 1 included the new lodge, lodge utilities/ancillary support and infrastructure, as well as parking improvements and the new maintenance building. Phase 2 will include enhanced recreational opportunities including a Challenge Course/Ropes Course, Climbing Wall and a Zip Line. Other potential improvements include the addition of a Nature Center and a Summer Camp location for children.

Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.

The existing wetland and all lands within the 25' buffer of the wetlands, trees and steep slope features were retained during construction. Trees were removed as part of the recreational expansion and there are plans for additional tree and vegetation planting going forward.

The method to be used to serve the development with water and sanitary sewer facilities.

A well and septic system were installed to serve the lodge and the new maintenance facility that includes a staff and public restroom. The well is classified as a Type II-B well permitted through the Grand Traverse County Health Department. The septic system features a grease trap, septic tanks, a flow equalization and dosing tanks, and a subsurface disposal field.

The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.

Drainage from the site is controlled by primarily collecting runoff in a series of small basins within the parking area. Yard drains are present in the space around the lodge and the maintenance building to collecting surrounding hard surface and building runoff. A series of underdrain piping connects the basins. These underdrains provide for runoff storage, infiltration, and conveyance to the larger infiltration basins.

Storm water runoff is directed to the several basins throughout the parking lot as well as the last large basin. The storm water system is designed to exceed Garfield Township capacity. The exceedance is from not including the infiltration deduction in the calculations of the basin volumes. Overflows of the basins are designed to flow to the existing drain and culvert on the south side of the existing access drive. To mitigate overflow impacts to the Meadows that was experienced during the spring runoff, an additional basin with slow release drain and stone drain channel was constructed.

The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.

Post construction use of the property will remain the same for the winter period and there will be no change in use or increase in noise emanating from the site. Activities such as snow making, ski slope grooming and skiing activities will remain. For the spring, summer and fall period there will be events scheduled in the lodge and seasonal events outside as well with an impact that matches existing operational noise levels. All events will be required to comply with Garfield Township noise ordinances in place as well as the City of Traverse City Parks and Public Land Use policies. There will be no additional expected changes on the property to create changes in existing dust, noise, fumes, vibration or smoke.

If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

The Grand Traverse County Health Department approved the construction of a septic drain field area for onsite wastewater dispersal that was completed as part of Phase 1 of this project. **An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.**

The proposed use is consistent with the June 2, 2014 Hickory Hills Master Plan which has been previously approved by Garfield Township. Recent development and planned future development include the following, with no expected adverse effects:

Spring/Summer/Fall Use

Amphitheatre (outside event entertainment)
Banquet Center (with and/or without an outside tent) (wedding, corporate & non-profit rentals)
Challenge Course/Ropes Course
Climbing Wall
Guest Services Building (food/beverage, rentals, etc.)
Lodge (with and/or without an outside tent)
Nature Center
Summer Camp for Kids
Yoga Retreat
Zip Line Course

Wintertime Use

Amphitheatre (outside event entertainment)
Challenge Course
Climbing Wall

Ice Rink

Life or tow-accessed downhill ski terrain, tubing hills, sledding hills, or mountain bike runs

Lodge

Nature Center

Outdoor Lighting

We plan on hosting 4 seasonal events at Hickory Hills for the major activities onsite including cross-country skiing, disc golf, running and mountain biking. These events would comply with all City of Traverse City Parks and Public Land Use policies. Each event would use the lodge as well as temporary facilities outdoors (tents, portable restrooms, etc.) to support the event activities

We anticipate that during the non-winter season we'll host between 15 and 26 rentals for weddings, corporate events and nonprofit events. The Multi-Season Recreation Master Plan anticipated 6,686 visits annually for these events.

Total on-site parking includes 182 spaces. On-site parking threshold is 143 spots for special events, with 39 spots being maintained for park users. Events with parking needs that exceed our on-site parking will be required to formalize a parking plan. We have reached out to the Grand Traverse County Road Commission to restrict parking to the north side of Randolph only for events, and we'll require collaboration with alternate parking options though shuttle services and off-site parking to meet the demand in excess of what our facility can offer.

Name(s) and address(es) of person(s) responsible for preparation of statement.

City of Traverse City, Derek Melville, 625 Woodmere Ave. Traverse City, MI 49686

City of Traverse City, Tim Lodge, 400 Boardman Ave. Traverse City, MI 49686

Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established.

Recommendations for such measures may be obtained from the County Soil Conservation Service.

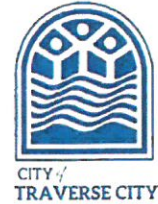
Soil erosion and sedimentation control measures for the site include silt fence, erosion control blankets and seeding have taken place on most of the surfaces that were disturbed during construction.

Type, direction, and intensity of outside lighting.

All exterior lighting for the buildings and parking area is LED direct cutoff, see drawings for footcandle levels and fixture types. Outdoor lighting meeting the Township requirements was included with the new alpine slope development. Additional lighting of the Nordic trails meeting the Township requirements is anticipated.

General description of deed restrictions (including easements), if any.

There is an easement for the septic drain-field.



September 25, 2019

John C. Sych, AICP
Director of Planning
Garfield Township
3848 Veterans Drive
Traverse City, MI 49684

RE: Hickory Hills Special Use Permit (SUP) 2017-004 Amendment Request

Dear John:

This letter provides additional information for the consideration of our application to amend the Special Use Permit 2017-04 for Hickory Hills. Through the public hearing on September 11, 2019 and a follow-up meeting with Garfield Township Planning staff, we've identified a few main areas that needed additional clarification for the Garfield Township Planning Commission. Please include this supplemental information as part of our formal application.

1. **Parking:** Parking has been noted as a concern of the Planning Commission and some residents and we believe we have adequate solutions to address a majority of the issues. Our new parking facilities are the direct result of best practice recommendations for ski areas from our professional consultant SE Group, as well as City staff reviews of past parking levels at large events. We were recommended to have 157 spaces and we built capacity for 182 spaces. Within the large parking area adjacent to the loge we have 143 spots and we have 39 spots in the parking area closest to the entrance. When designing the new parking areas we were limited by natural features that are not obvious when looking at aerial photographs. Delineated wetlands are present immediately to the west of our new parking lot limits which limited the ability to expand westerly. Additionally, we felt preserving the natural forest at the end of Randolph Street was best for the environment and also preserved a buffer for the residential neighbor adjacent to the park. Expanding to the north would require significant additional tree removal and earth work, and expanding east is impossible due to the property line. With these facts in mind, we are proposing the following considerations to address the parking concerns.

A. For banqueted events we will limit total attendance allowed of up to 325 people. By limiting total attendance to this level, we will have one parking space for every 2.27 people in the large lot, which is consistent with Garfield Township zoning regulations for spaces of similar use (bar, brewery, night clubs). The limit on attendance will be included as part of the contract the city holds with the event organizer.

B. For special events outside of the ski season, we're proposing a few "signature events" at Hickory Hills that will generate revenue to support the park. These events will be ticketed and limited in number of participants allowed to register based on parking supply. If the events grow in popularity that exceeds parking and we have the ability to expand participation levels, we would require shuttle services to be used, similar to what is required of the Cherry Festival Meijer Festival of Races. As hosts of these events, we would have the ability to require participants to check in at an off-site location such as Willow Hill Elementary or a Munson Healthcare parking lot, for which we already have secured conceptual approval from each entity. For the events that require parking management strategies, we'd utilize the expertise of our City Parking Services staff to implement solutions that meet any SUP parking stipulations.

C. For limited special events during the ski season, including Grand Traverse Ski Club Sunday races and TCAPS community ski races, we propose to maintain the ability to allow for overflow parking onto Randolph Street while maintaining ingress and egress clearance for emergency service vehicles and other vehicles. These events are not ticketed and the ability to allow for community participation in these activities is part of what makes Hickory Hills special. These events are family oriented, limited to normal operating hours and would be limited to 10 days each ski season. The inability to allow for overflow parking onto Randolph would likely limit community participation in the event. The City is committed to working with the Road Commission to improving and/or limiting parking on Randolph for such events, but we are currently not the entity responsible for Randolph Street outside of the City limits.

2. Banqueted Events: We are requesting permission to host 26 banquet style events each year at Hickory Hills in the non-ski months of April – November. We have enlisted the services of Events North, a local Event Management consultant who identified we'd likely secure 7 to 10 events the first few years of offering rentals, but could have the potential to host up to 15 weddings and 11 corporate/non-profit events each year as awareness of our services grow. These banqueted events are invite only and would use the lodge, a tent, or a combination of the two. As mentioned previously, for these events we would limit total attendance to 325 people, which addresses the parking concerns for these activities. These events will be required to sign a contract that binds them to our rules which will include parking regulations, noise requirements, etc. We would hold the ability to financially penalize any event that breaks our rules, as well as have the ability to end an event prior to its completion if rules are broken. During these events we will have City representation on site through the duration of the activity, ensuring compliance of all rules in place.

3. Noise: Within our Parks & Public Land Use Policy we have a standard for addressing noise at permitted events. We propose to use that same language for events at Hickory Hills. The verbiage is pasted below for your review.

Time of Events: The Permit shall specify the days and hours of the event. Unless otherwise indicated in the Permit, all Events are limited to the hours of 10:00 am and 10:00 pm daily. The City Manager may approve a time extension for good reason.

Time of Amplified Sound: Unless otherwise allowed in the Permit, amplified music or sound shall be limited to no more than a total of six hours including normal breaks taken between the beginning and end of individual music performances between 10:00 am and 10:00 pm.

Noise: The Application shall include a current, active plan for the containment of noise and vibration attributed to the Event. Special conditions may be placed on any amplified sound to preserve the rights and enjoyment of those adjacent or near the Event. The City noise ordinance applies to all Events. This shall include but not be limited to amplified music and speech, construction, and sounds emanating from groups or crowds connected with the Event. No person shall cause, suffer, allow, or permit the operation of any amplified sound reproduction device in such a manner that it crosses a real property line of the park and raises the total sound levels by the permissible sound level limits set forth below when measured within a building.

AMPLIFIED SOUND REPRODUCTION DEVICE
MAXIMUM PERMISSIBLE SOUND LEVEL LIMITS
Indoors across a real property line
dB(C) ABOVE INTERIOR AMBIENT SOUND LEVEL

Week nights 10:00 p.m. - 7:00 a.m. Weekend nights 11:00 p.m. and 9:00 a.m.

3 dB(C)

All other times
6 dB(C)


Amphitheater: As clarification, in our application we included the amphitheater as a potential for the future at Hickory Hills. The assumption was that amphitheater meant we would have outdoor music as part of an event, such as live music in coordination with a wedding. We are not intending to create a music venue for music festivals. If we remove amphitheater from the list of activities allowed as part of the SUP, but maintain the ability to have music during our events, we are willing to retract amphitheater from our list of future uses.

Thank you for the ability to provide additional information for this amendment. Please let us know if you have any follow-up questions that we can address for you.

Sincerely,



City of Traverse City
Derek Melville, MSE Parks & Recreation Superintendent

 Charter Township of Garfield Planning Department Report No. 2019-145		
Prepared:	November 6, 2019	Pages: 4
Meeting:	November 13, 2019 – Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	Habitat for Humanity Special Use Permit – Update	
File No.	SUP-2019-04	Parcel No. 28-05-015-054-00
Applicant/Owner:	Habitat for Humanity	
Agent:	JML Design Group Ltd.	

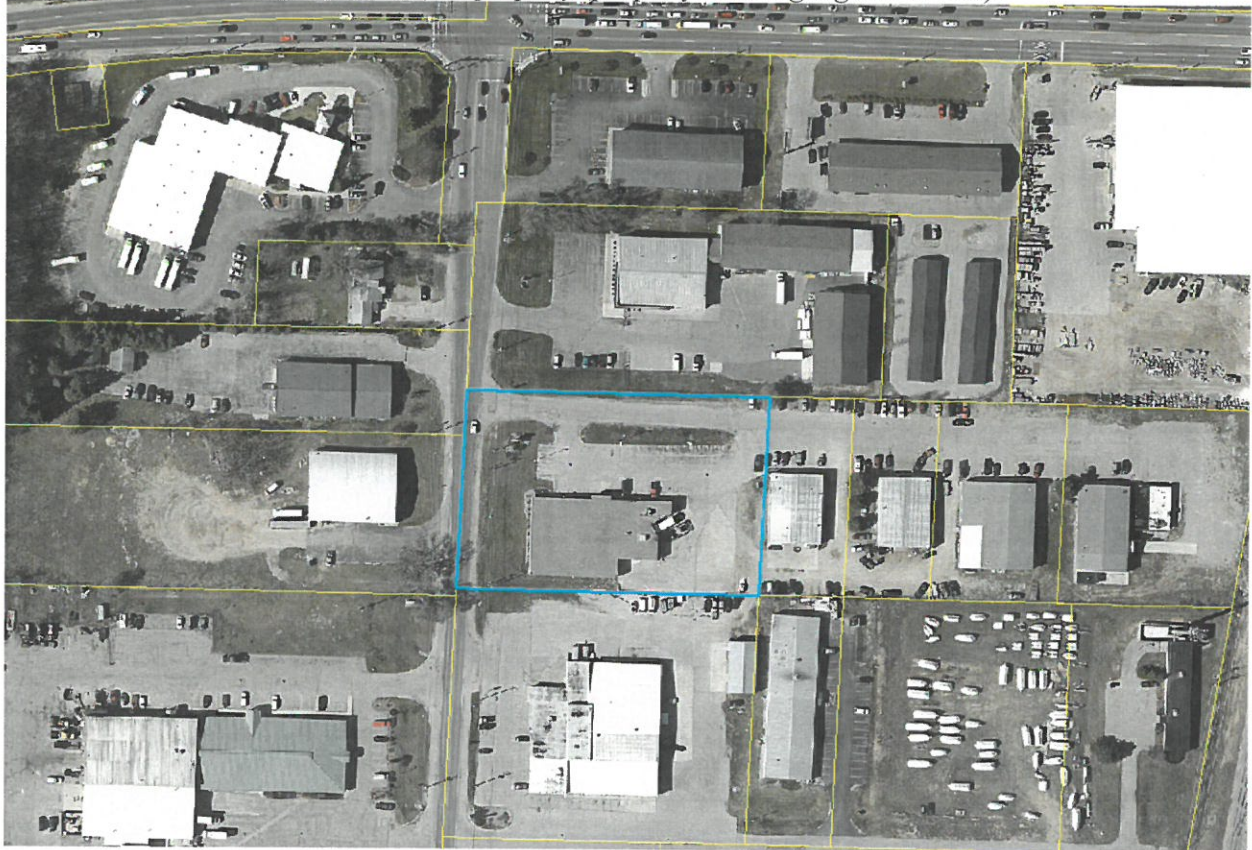
BRIEF OVERVIEW:

- 2487 Rice Street (corner of Rice Street and Cass Road)
- 1.62 acres in area
- Expansion of existing building and construction of new accessory storage building
- I-G General Industrial zoning district

BACKGROUND:

This application requests approval of a Special Use Permit (“SUP”) to expand an existing retail building, including construction of an accessory storage building, and add office uses at 2487 Rice Street. The building was formerly the Excel Office Interiors retail store and was recently purchased by Habitat for Humanity, which has continued to use the building for retail operations. Retail businesses and offices are permitted via SUP in the I-G district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



The project was introduced at the September 11, 2019 Planning Commission meeting. A public hearing was held at the October 9, 2019 meeting, after which the application was tabled to allow the applicant to address several outstanding issues as listed in the planning report for that meeting.

SITE DESIGN OVERVIEW:

This application is for a proposed expansion of the existing building on this site, with all construction at the back of the building, and some changes in the general building appearance. The additional space allows for offices and storage. The applicant also plans to construct a separate pole barn sometime in 2020 for additional storage at the back of the property.

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Outstanding items needing to be addressed by the applicant include the following. There are several discrepancies between Sheet C-1 and Sheet C-2, both of which are labeled as “Site Plan,” which will need to be addressed and corrected.

Lighting / Photometric Plan

A lighting and photometric plan was provided. The site plan shows that three existing light poles will be removed and replaced. No changes are proposed to the existing light fixtures. Lighting requirements are in Section 517 and include the following:

- **Shielding and Filtration.** Lighting fixtures shall provide a glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. The light pole is shown with a downward-directed fixture.
- **Illumination.** Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. From the information provided, it appears that these standards are met.
- **Color Temperature.** All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale. No information on color temperature is provided.
- **Pole Height.** All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district. The proposed pole height is 18 feet which meets the maximum height.

Storm Water

The applicant has included a letter explaining that the existing site storm water is controlled through two catch basins in the existing parking lot, with the site graded to the catch basins. The existing catch basins appear to be 4 feet in diameter and 6 feet deep and connected with a plastic 6-inch pipe, according to the recent investigation by the applicant. Storm water control is still subject to review and approval by the Township Engineer.

Landscaping

Sheet C-1 shows three new trees proposed as additional landscaping. The existing landscaping is shown on the site plan but does not have any details on size or species. According to Section 530.C (Greenspace Areas, Generally – Expansions), when a building or parking lot is enlarged, the requirements of greenspace apply on an incremental basis such that landscaping shall be required in the same proportion that the enlarged building area or off-street parking area has to the development (e.g., a 10% increase requires 10% of the required landscaping).

The existing building is 12,387 square feet and the proposed addition is 1,768 square feet. The building will be increased by 14.3% and thus 14.3% of the required landscaping is required. Sheet C-1 indicates that existing landscaping will be increased by 20% due to the proposed building increasing by 20% and says that 495 square feet of new landscaping is proposed. The relevant landscaping standards for this site include the following:

- **Buffer.** The primary uses on the site will be commercial and office, which both require a buffer of Type “B” when adjacent to an industrial use. The site is bordered on all sides by industrial uses. A Type “B” buffer consists of the following:

Habitat for Humanity Addition Special Use Permit – Update

- Two large trees, one medium or small tree, and 4 shrubs per 100 linear ft. of greenspace
- Minimum width of 10 feet
- Ground cover (e.g. lawn space) on areas not used for parking
- **Parking Area Landscaping.** This section applies to all parking areas of more than ten (10) spaces including the following requirements:
 - Minimum width of 10 feet on the parking area perimeter where not adjacent to a building and planted according to buffer requirements (no additional planting requirements)

According to Section 530.H, the Planning Commission, as the approval authority for a special use permit, may waive or adjust any requirement of this section based on certain criteria listed in this subsection.

Several items need to be added or corrected on the site plan, including:

Bicycle Parking

A new bicycle rack is proposed. Sheet C-1 shows it near the northeast corner of the building and Sheet C-2 shows it near the northwest corner of the building. Two (2) bicycle spaces are required, which will be provided by the bicycle rack.

Snow Storage Area Calculations

According to Section 551.E (6), snow storage areas shall be provided at 10 square feet per 100 square feet of parking area. According to Sheet C-1, the existing parking area is 25,101 square feet, and 2,670 square feet of snow storage, or 10.6%, is proposed. There is an existing access easement where the snow storage area is proposed, which provides access to the neighboring site to the east. The applicant should consider alternative locations for snow storage to maintain access to this easement.

Parking Calculations

The site plan shows two different parking calculations with the more intensive requirements shown on Sheet C-2. Based on the information on Sheet C-2, the site will have a total of 10,110 square feet of store space, and furniture and appliance stores require 1 space for every 800 square feet. The site will have a total of 4,044 square feet of office space, and offices require 1 space for 200 square feet. A total of 33 spaces are required and 41 spaces are provided.

Building Storage Height

The proposed storage building will be 22 feet high, as indicated on Sheet C-2, which meets the maximum structure height of 35 feet.

ACTION REQUESTED:

The Planning Commission may wish to see resolution to several items described above, including storm water and location of snow storage, and additional details on items such as lighting, landscaping, and contradictions between Sheet C-1 and C-2. If Commissioners believe these items can be resolved prior to the next meeting and findings of fact can be prepared, then the following motion is suggested:

MOTION TO direct Staff to draft Findings of Fact for application SUP 2019-04.

Any additional information the Planning Commissioners deem necessary should be added to this motion.

Attachments:

1. 11" x 17" site plan set provided by applicant dated October 28, 2019

PROPOSED RESTORE RENOVATION FOR HABITAT FOR HUMANITY TRAVERSE CITY, MICHIGAN

ARCHITECT:

JML DESIGN GROUP, LTD.
225 E. 16TH STREET, SUITE B
TRAVERSE CITY, MI. 49684
PHONE: (231) 947-9019
EMAIL: jmid@att.net

BUILDING PLANNING:

BUILDING CODE REQUIREMENTS: CONFORMS TO 2015 MICHIGAN BUILDING CODE
USE GROUP: M1 MERCHANTILE
B BUSINESS

CONSTRUCTION CLASSIFICATION: B5

BUILDING DOES NOT CONTAIN FIRE SUPPRESSION.

BUILDINGS ALLOWED: 12500 S.F. (2) STORIES 55 FT. HEIGHT

BUILDINGS CONTAINS: 14084 S.F. (1) STORY 16 FT. HEIGHT
MERCHANTILE (1) 1413 S.F.
BUSINESS: 1710 S.F. ADDITION

OCCUPANT LOAD: 10118 / 50 = 198 PERSONS
STORAGE: 1710 / 100 = 17 PERSONS
BUSINESS: 1710 / 100 = 17 PERSONS
TOTAL = 194 PERSONS

TOILET REQUIREMENTS:

- (1) WATER CLOSET
- (1) LAVATORY
- (1) HILD DRINKING FOUNTAIN
- (1) SERVICE SINK
- (9) FEMALE
- (1) WATER CLOSET
- (1) LAVATORY

FIRE RESISTANCE RATING REQUIREMENTS:

- PRIMARY STRUCTURE FRAME: 0 HR.
- EXTERIOR BEARING WALL: 2 HR. (FROM INSIDE)
- INTERIOR BEARING WALLS: 0 HR.
- NON-BEARING WALLS AND PARTITIONS: 0 HR.
- FLOOR CONSTRUCTION: 0 HR.
- ROOF CONSTRUCTION: 0 HR.

REQUIRES 2 HR. SEPARATION OF OFFICE ADDITION TO RESALE

OWNER:

HABITAT FOR HUMANITY
1129 WOODMERE AVE., SUITE 1
TRAVERSE CITY, MICHIGAN

LOCATION:

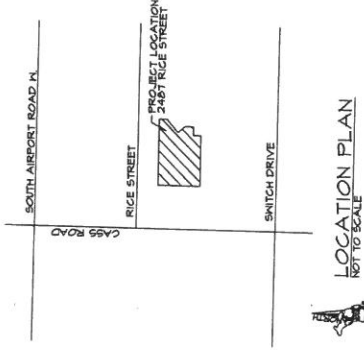
2487 RICE STREET
TRAVERSE CITY, MICHIGAN

CONTACT:

MR. NATHAN KALCHIK
PHONE: (231) 218-1902

LIST OF DRAWINGS:

- | | |
|------|------------------------|
| C-1 | COVER SHEET |
| A-1 | SITE PLAN |
| A-2 | DEMOLITION PLAN |
| A-3 | FLOOR PLAN |
| A-4 | EXTERIOR ELEVATIONS |
| A-5 | REFLECTED CEILING PLAN |
| A-6 | SCHEDULES |
| A-7 | BUILDING SECTIONS |
| A-8 | TOILET DETAILS |
| S-1 | FOUNDATION PLAN |
| S-2 | ROOF FRAMING PLAN |
| MP-1 | MECHANICAL PLAN |
| E-1 | ELECTRICAL PLAN |



OWNER:
 HABITAT FOR HUMANITY - SITE 1
 TRAVERSE CITY, MICHIGAN 49684
CONTACT: MR. NATHAN KALCHIK
 PHONE: (231) 944-1182
ESSENTIAL INFORMATION
 PARCEL NO. 05-018-084-00
 ADDRESS: 2497 RICE ST. TRAVERSE CITY, MI 49684

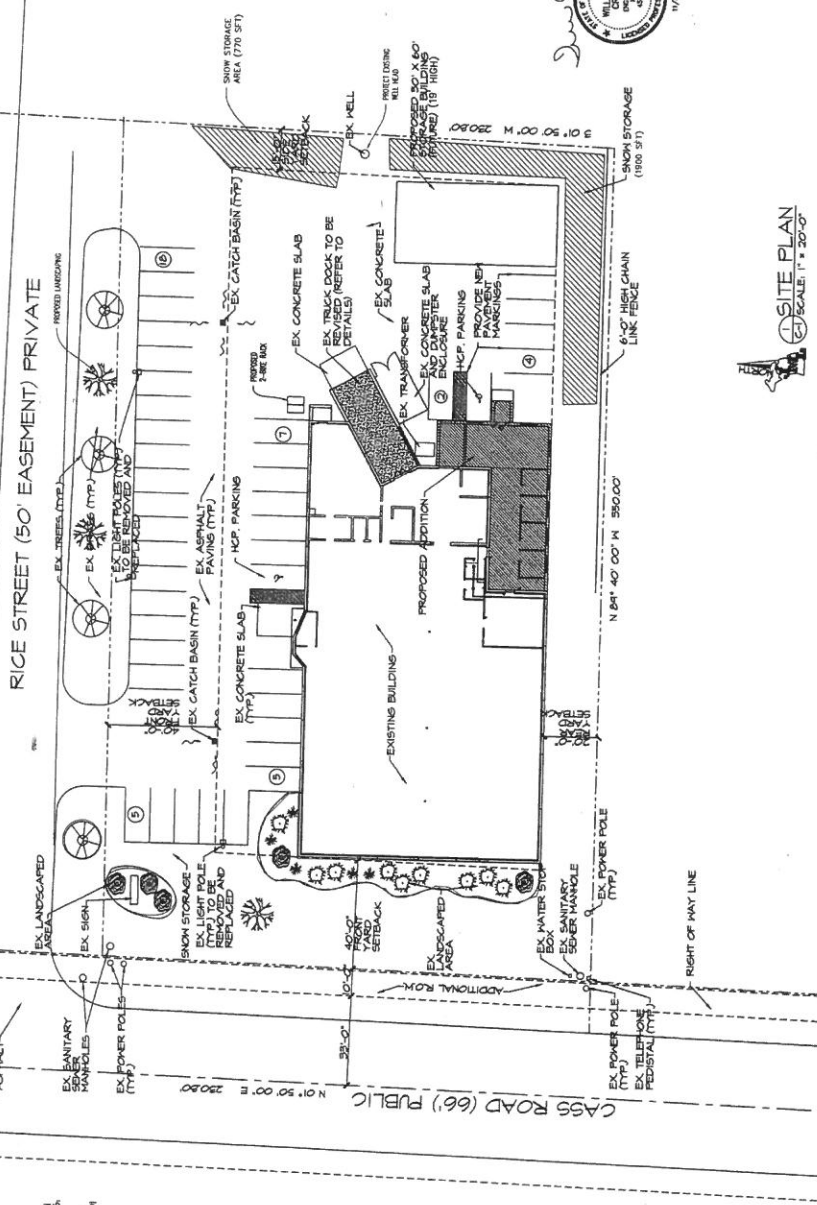
LEGAL DESCRIPTION:
 LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF SAGINAW, TRAVERSE TOWNSHIP OF SAID COUNTY, PART OF THE 1/4 SECTION 21, NORTH 7/8 RANGE 11 WEST, MORE FULLY DESCRIBED AS SECTION 18, TOWNSHIP 35 NORTH OF RANGE 11 WEST, SAID SAND SECTION 18 TO THE NORTH AND SOUTH QUARTER, LINE OF DEGREE 50 MINUTES EAST, 250.00 FEET, THENCE SOUTH 89 DEGREE 50 MINUTES WEST, 300.00 FEET, THENCE SOUTH 89 DEGREE 50 MINUTES WEST, 300.00 FEET, THENCE NORTH 89 DEGREE 50 MINUTES WEST, 300.00 FEET TO THE POINT OF BEGINNING.


PROPERTY ZONED: I-16 GENERAL MIXED USE INDUSTRIAL BUSINESS.
 150' BUILDING HEIGHT REQUIRED.
 35' MAX HEIGHT REQUIRED.
 COMMERCIAL USE ALLOWED BY SPECIAL USE PERMIT.
PARKING REQUIRED: 9,100 SFT @ 1 SPACE PER 800 SFT OFFICE SPACE = 2,020 SFT @ 1 SPACE PER 1,000 SFT OFFICE SPACE = 2,020 SFT @ 1 SPACE PER 1,000 SFT OFFICE SPACE = 2,020 SFT
 TOTAL PARKING SPACES REQUIRED = 23 SPACES
 PROVIDED SPACE = 41 INCLUDING 2 H/C SPACES
 EXISTING BUILDING: 12,297 S.F.
 PROPOSED BUILDING ADDITION: 17,668 S.F.
 PROPOSED STORAGE BUILDING: 1,000 S.F.
 EXISTING BUILDING COVERAGE: 100%
 PROPOSED BUILDING COVERAGE: 22%
 NO MAXIMUM COVERAGE LIMITATION.

PHASING PLAN:
 RESALE STORE TO OCCUPY AUGUST 2014
 ADDITION TO BE COMPLETED BY APRIL 2020
 STORAGE BUILDING TO BE COMPLETED IN 2020

SNOW STORAGE CALCULATIONS:
 EXISTING PARKING AREA = 25,100 SFT
 REQUIRED SNOW STORAGE = 2,510 SFT @ 100 SFT PARKING AREA
 PROVIDED SNOW STORAGE AREA = 2,670 SFT

LANDSCAPING CALCULATIONS:
 EX LANDSCAPING TO BE INCREASED BY 20% DUE TO PROPOSED BUILDING INCREASING BY 20%
 EXISTING LANDSCAPE AREA = 2,390 SFT
 INCREASED LANDSCAPE AREA = 2,868 SFT
 TOTAL REQUIRED LANDSCAPING = 2,868 SFT
 PROPOSED LANDSCAPING = 495 SFT
 TOTAL LANDSCAPE AREA PROVIDED = 2,865 SFT



 Charter Township of Garfield Planning Department Report No. 2019-147			
Prepared:	November 4, 2019	Pages:	4
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Lake Michigan Credit Union		
Applicant:	Lake Michigan Credit Union		
Owner:	Northpointe Motors		
File No.	SPR-2019-06		
Parcel No.	05-016-016-20		

PURPOSE OF APPLICATION:

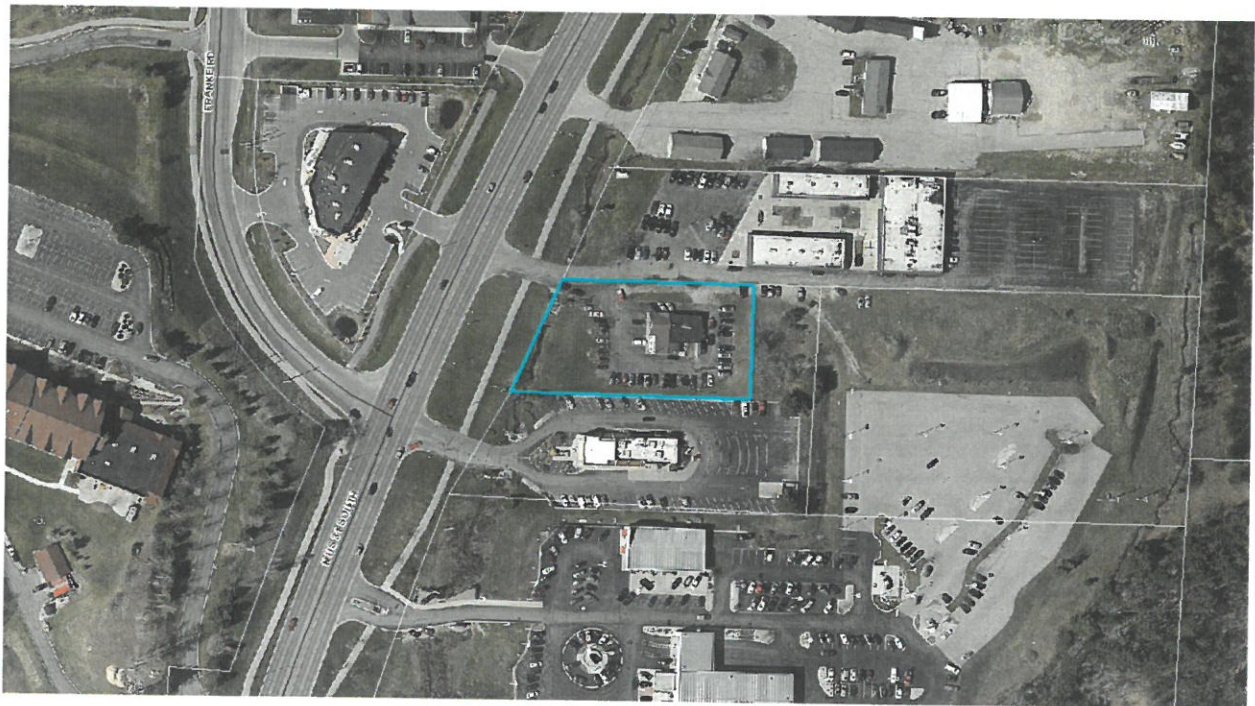
Applications for development within the C-H Highway Commercial district shall be reviewed by the Planning Commission for compliance with Article 4, § 424 - Site Plans and Article 5 – Development Standards.

BACKGROUND:

The approximately 0.97-acre project site is located at 3650 N. US-31 South, east off US-31 across from Franke Road. The site is currently the Northpointe Motors automobile dealership.

The proposed development is for a 3,362 square feet financial institution building with a drive-through. Financial institutions with drive-throughs are permitted as a use by right in the C-H Highway Commercial district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Site Development Requirements:

Uses within the C-H District must adhere to specific site development requirements including external access, transition strips, and service roads. The subject site will be utilizing an existing driveway which is more than 150 feet from the nearest intersection and appears to meet the external access requirements. No transition strip is required as the subject site does not abut a residential or agricultural zone. The existing driveway is a joint driveway that also serves the businesses located to the north and will serve the proposed two hotels located to the east. A reconfigured version of the joint driveway will provide improved access without creating any additional driveways onto US-31. Staff is recommending that a discussion ensue between all affected property owners to determine if a better flow of traffic can be designed. Should a joint driveway be developed, submission and Township review, approval, and recording of a joint driveway easement agreement, including its design and layout, and a joint driveway maintenance agreement, will be required.

Drive-in and Drive-through Uses Regulations and Conditions

Section 730 regulates drive-in and drive-through uses. Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).

The site plan indicates three (3) drive-through lanes. Twelve (12) total queuing spaces are provided.

Section 730 further states that the site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

Wetland and Shoreline Regulations: Since there are known wetlands associated with Kids Creek which traverse the front of the subject parcel, clarification and any documentation regarding the regulated/unregulated nature of the wetlands on the site and permitting may be needed. The proposed development meets the Supplemental Shoreline Regulations including the building being set back seventy-five (75) feet and parking and drive areas set back fifty (50) setback from the stream. Furthermore, a buffer strip is provided thirty-five (35) feet from the stream.

Parking:

According to Section 551, financial institutions have a minimum parking requirement of 1 for each two hundred (200) square feet of floor area and a maximum requirement of 1 for each one hundred (100) square feet of floor area. Twenty-one (21) parking spaces are provided which is permitted within the range of parking requirements.

Bicycle Parking:

Section 522 requires that two (2) bicycle parking spaces be provided for every twenty-five (25) off-street parking spaces. A minimum of two bicycle parking spaces are required.

Pedestrian Circulation:

Section 522 requires pathways and interior sidewalks. While not having direct access to the existing bike pathway along US-31, a sidewalk is needed to extend from the front of the proposed building to the pathway.

Landscaping:

The "Type D" buffer along the west property line meets quantity requirements and intent of the Ordinance. The "Type B" buffers along the south and east property lines meet the quantity requirements and intent of the Ordinance. The "Type B" buffer required along the north property line has not been provided. The site plan states the northern property line is, "currently adequately screened with trees and shrubs on the neighboring property. Any additional plantings within this planting area would conflict with existing plantings on neighboring property." This buffer is still required but may be deferred until the design of the joint driveway is determined.

Lighting:

The site plan shall note that all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale.

Water/Sanitary Sewer:

The site will be served by an existing 12" municipal water line and a 10" sanitary sewer line.

Stormwater:

Parking lot and roof stormwater runoff will be managed onsite via an underground system. Stormwater review by the Township Engineer will be required prior to the issuance of a Land Use Permit.

Snow Storage:

In accordance with Section 551 of the Ordinance, a snow storage area is provided.

RECOMMENDATION:

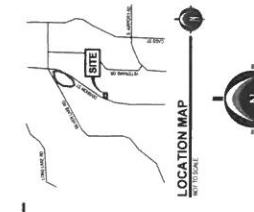
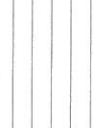
If the Planning Commission is comfortable with the site plan, the following motion would be appropriate:

THAT application SPR-2019-06, submitted by Lake Michigan Credit Union to construct a financial institution with drive-through service on parcel no. 05-016-016-20, BE APPROVED, subject to the following conditions:

1. Clarification and any documentation regarding the regulated/unregulated nature of wetlands on the site.
2. Provide statement that the site is suitable for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
3. Installation of a sidewalk from the front of the proposed building to the existing pathway along US-31.
4. Installation of two bicycle parking spaces.
5. The site plan shall note that all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale.
6. Submission and Township review, approval, and recording of a joint driveway easement agreement, including its design and layout, and a joint driveway maintenance agreement.
7. Review and approval by the Township Engineer for the stormwater system.

Attachments:

1. Site Plan for Lake Michigan Credit Union dated October 30, 2019

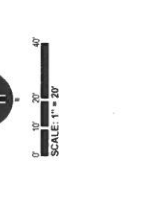


BENCHMARKS

BENCHMARK 1006	ELEV. = 604.72 (MADRID)
BENCHMARK 1007	ELEV. = 604.72 (MADRID)
BENCHMARK 1008	ELEV. = 604.72 (MADRID)

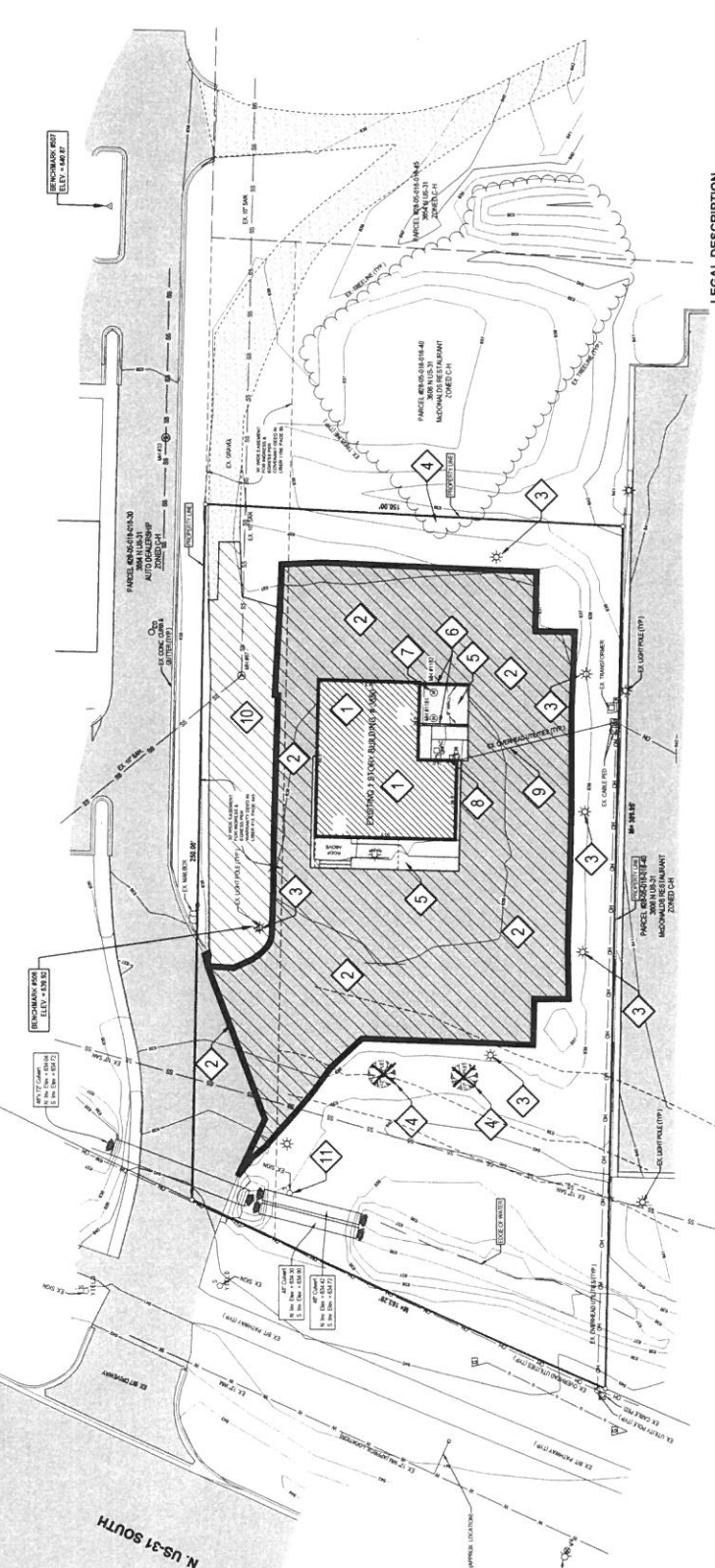
LEGEND

Symbol	Description
Circle with dot	Survey Point
Circle with cross	Leveling Benchmark
Circle with 'X'	Spot Elevation
Circle with 'Z'	Zone
Circle with 'L'	Lot
Circle with 'S'	Section
Circle with 'T'	Township
Circle with 'R'	Range
Circle with 'M'	Mileage
Circle with 'A'	Area
Circle with 'V'	Volume
Circle with 'W'	Weight
Circle with 'D'	Diameter
Circle with 'R'	Radius
Circle with 'C'	Center
Circle with 'E'	End
Circle with 'B'	Beginning
Circle with 'I'	Intersection
Circle with 'J'	Junction
Circle with 'K'	Kink
Circle with 'L'	Line
Circle with 'M'	Mile
Circle with 'N'	North
Circle with 'O'	Offset
Circle with 'P'	Point
Circle with 'Q'	Quarter
Circle with 'R'	Right
Circle with 'S'	Side
Circle with 'T'	Top
Circle with 'U'	Under
Circle with 'V'	Vertical
Circle with 'W'	Width
Circle with 'X'	Width
Circle with 'Y'	Year
Circle with 'Z'	Zone



SCHEDULE B - SECTION II NOTES

1. All work shall be in accordance with the specifications and drawings as shown on these documents.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall maintain access to all adjacent properties at all times.
4. The contractor shall be responsible for the safety of all workers and the public.
5. The contractor shall be responsible for the disposal of all debris and materials.
6. The contractor shall be responsible for the protection of all existing utilities.
7. The contractor shall be responsible for the protection of all existing structures.
8. The contractor shall be responsible for the protection of all existing trees.
9. The contractor shall be responsible for the protection of all existing landscaping.
10. The contractor shall be responsible for the protection of all existing water features.
11. The contractor shall be responsible for the protection of all existing archaeological resources.
12. The contractor shall be responsible for the protection of all existing historical resources.
13. The contractor shall be responsible for the protection of all existing cultural resources.
14. The contractor shall be responsible for the protection of all existing natural resources.
15. The contractor shall be responsible for the protection of all existing environmental resources.
16. The contractor shall be responsible for the protection of all existing cultural heritage resources.
17. The contractor shall be responsible for the protection of all existing historical landmarks.
18. The contractor shall be responsible for the protection of all existing archaeological sites.
19. The contractor shall be responsible for the protection of all existing historical structures.
20. The contractor shall be responsible for the protection of all existing cultural resources.



LEGAL DESCRIPTION

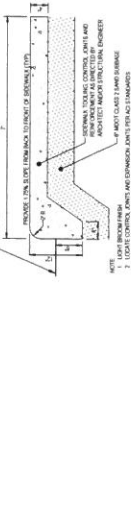
Land Situated in the State of Michigan, County of Grand Traverse, Township of Garfield, Starting on a line 450 feet South of North line of Southwest 1/4 of Northwest 1/4, Section 14, Township 27 North, Range 11 West, Meridian 11 West, thence South 15 degrees 31' South for Point of Beginning, thence East 250 feet, thence South 150 feet, thence West to Eastern right of way line of US 31 South, thence Northwesterly along South to Point of Beginning.

REMOVAL / DEMOLITION NOTES

1. The contractor shall be responsible for the safety of all workers and the public.
2. The contractor shall be responsible for the disposal of all debris and materials.
3. The contractor shall be responsible for the protection of all existing utilities.
4. The contractor shall be responsible for the protection of all existing structures.
5. The contractor shall be responsible for the protection of all existing trees.
6. The contractor shall be responsible for the protection of all existing landscaping.
7. The contractor shall be responsible for the protection of all existing water features.
8. The contractor shall be responsible for the protection of all existing archaeological resources.
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10. The contractor shall be responsible for the protection of all existing cultural resources.
11. The contractor shall be responsible for the protection of all existing natural resources.
12. The contractor shall be responsible for the protection of all existing environmental resources.
13. The contractor shall be responsible for the protection of all existing cultural heritage resources.
14. The contractor shall be responsible for the protection of all existing historical landmarks.
15. The contractor shall be responsible for the protection of all existing archaeological sites.
16. The contractor shall be responsible for the protection of all existing historical structures.
17. The contractor shall be responsible for the protection of all existing cultural resources.

STRUCTURE INFORMATION

Structure 1	1000 sq ft
Structure 2	1500 sq ft
Structure 3	2000 sq ft
Structure 4	2500 sq ft
Structure 5	3000 sq ft
Structure 6	3500 sq ft
Structure 7	4000 sq ft
Structure 8	4500 sq ft
Structure 9	5000 sq ft
Structure 10	5500 sq ft
Structure 11	6000 sq ft
Structure 12	6500 sq ft
Structure 13	7000 sq ft
Structure 14	7500 sq ft
Structure 15	8000 sq ft
Structure 16	8500 sq ft
Structure 17	9000 sq ft
Structure 18	9500 sq ft
Structure 19	10000 sq ft
Structure 20	10500 sq ft
Structure 21	11000 sq ft
Structure 22	11500 sq ft
Structure 23	12000 sq ft
Structure 24	12500 sq ft
Structure 25	13000 sq ft
Structure 26	13500 sq ft
Structure 27	14000 sq ft
Structure 28	14500 sq ft
Structure 29	15000 sq ft
Structure 30	15500 sq ft
Structure 31	16000 sq ft
Structure 32	16500 sq ft
Structure 33	17000 sq ft
Structure 34	17500 sq ft
Structure 35	18000 sq ft
Structure 36	18500 sq ft
Structure 37	19000 sq ft
Structure 38	19500 sq ft
Structure 39	20000 sq ft
Structure 40	20500 sq ft
Structure 41	21000 sq ft
Structure 42	21500 sq ft
Structure 43	22000 sq ft
Structure 44	22500 sq ft
Structure 45	23000 sq ft
Structure 46	23500 sq ft
Structure 47	24000 sq ft
Structure 48	24500 sq ft
Structure 49	25000 sq ft
Structure 50	25500 sq ft
Structure 51	26000 sq ft
Structure 52	26500 sq ft
Structure 53	27000 sq ft
Structure 54	27500 sq ft
Structure 55	28000 sq ft
Structure 56	28500 sq ft
Structure 57	29000 sq ft
Structure 58	29500 sq ft
Structure 59	30000 sq ft
Structure 60	30500 sq ft
Structure 61	31000 sq ft
Structure 62	31500 sq ft
Structure 63	32000 sq ft
Structure 64	32500 sq ft
Structure 65	33000 sq ft
Structure 66	33500 sq ft
Structure 67	34000 sq ft
Structure 68	34500 sq ft
Structure 69	35000 sq ft
Structure 70	35500 sq ft
Structure 71	36000 sq ft
Structure 72	36500 sq ft
Structure 73	37000 sq ft
Structure 74	37500 sq ft
Structure 75	38000 sq ft
Structure 76	38500 sq ft
Structure 77	39000 sq ft
Structure 78	39500 sq ft
Structure 79	40000 sq ft
Structure 80	40500 sq ft
Structure 81	41000 sq ft
Structure 82	41500 sq ft
Structure 83	42000 sq ft
Structure 84	42500 sq ft
Structure 85	43000 sq ft
Structure 86	43500 sq ft
Structure 87	44000 sq ft
Structure 88	44500 sq ft
Structure 89	45000 sq ft
Structure 90	45500 sq ft
Structure 91	46000 sq ft
Structure 92	46500 sq ft
Structure 93	47000 sq ft
Structure 94	47500 sq ft
Structure 95	48000 sq ft
Structure 96	48500 sq ft
Structure 97	49000 sq ft
Structure 98	49500 sq ft
Structure 99	50000 sq ft
Structure 100	50500 sq ft
Structure 101	51000 sq ft
Structure 102	51500 sq ft
Structure 103	52000 sq ft
Structure 104	52500 sq ft
Structure 105	53000 sq ft
Structure 106	53500 sq ft
Structure 107	54000 sq ft
Structure 108	54500 sq ft
Structure 109	55000 sq ft
Structure 110	55500 sq ft
Structure 111	56000 sq ft
Structure 112	56500 sq ft
Structure 113	57000 sq ft
Structure 114	57500 sq ft
Structure 115	58000 sq ft
Structure 116	58500 sq ft
Structure 117	59000 sq ft
Structure 118	59500 sq ft
Structure 119	60000 sq ft
Structure 120	60500 sq ft
Structure 121	61000 sq ft
Structure 122	61500 sq ft
Structure 123	62000 sq ft
Structure 124	62500 sq ft
Structure 125	63000 sq ft
Structure 126	63500 sq ft
Structure 127	64000 sq ft
Structure 128	64500 sq ft
Structure 129	65000 sq ft
Structure 130	65500 sq ft
Structure 131	66000 sq ft
Structure 132	66500 sq ft
Structure 133	67000 sq ft
Structure 134	67500 sq ft
Structure 135	68000 sq ft
Structure 136	68500 sq ft
Structure 137	69000 sq ft
Structure 138	69500 sq ft
Structure 139	70000 sq ft
Structure 140	70500 sq ft
Structure 141	71000 sq ft
Structure 142	71500 sq ft
Structure 143	72000 sq ft
Structure 144	72500 sq ft
Structure 145	73000 sq ft
Structure 146	73500 sq ft
Structure 147	74000 sq ft
Structure 148	74500 sq ft
Structure 149	75000 sq ft
Structure 150	75500 sq ft
Structure 151	76000 sq ft
Structure 152	76500 sq ft
Structure 153	77000 sq ft
Structure 154	77500 sq ft
Structure 155	78000 sq ft
Structure 156	78500 sq ft
Structure 157	79000 sq ft
Structure 158	79500 sq ft
Structure 159	80000 sq ft
Structure 160	80500 sq ft
Structure 161	81000 sq ft
Structure 162	81500 sq ft
Structure 163	82000 sq ft
Structure 164	82500 sq ft
Structure 165	83000 sq ft
Structure 166	83500 sq ft
Structure 167	84000 sq ft
Structure 168	84500 sq ft
Structure 169	85000 sq ft
Structure 170	85500 sq ft
Structure 171	86000 sq ft
Structure 172	86500 sq ft
Structure 173	87000 sq ft
Structure 174	87500 sq ft
Structure 175	88000 sq ft
Structure 176	88500 sq ft
Structure 177	89000 sq ft
Structure 178	89500 sq ft
Structure 179	90000 sq ft
Structure 180	90500 sq ft
Structure 181	91000 sq ft
Structure 182	91500 sq ft
Structure 183	92000 sq ft
Structure 184	92500 sq ft
Structure 185	93000 sq ft
Structure 186	93500 sq ft
Structure 187	94000 sq ft
Structure 188	94500 sq ft
Structure 189	95000 sq ft
Structure 190	95500 sq ft
Structure 191	96000 sq ft
Structure 192	96500 sq ft
Structure 193	97000 sq ft
Structure 194	97500 sq ft
Structure 195	98000 sq ft
Structure 196	98500 sq ft
Structure 197	99000 sq ft
Structure 198	99500 sq ft
Structure 199	100000 sq ft
Structure 200	100500 sq ft
Structure 201	101000 sq ft
Structure 202	101500 sq ft
Structure 203	102000 sq ft
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Structure 205	103000 sq ft
Structure 206	103500 sq ft
Structure 207	104000 sq ft
Structure 208	104500 sq ft
Structure 209	105000 sq ft
Structure 210	105500 sq ft
Structure 211	106000 sq ft
Structure 212	106500 sq ft
Structure 213	107000 sq ft
Structure 214	107500 sq ft
Structure 215	108000 sq ft
Structure 216	108500 sq ft
Structure 217	109000 sq ft
Structure 218	109500 sq ft
Structure 219	110000 sq ft
Structure 220	110500 sq ft
Structure 221	111000 sq ft
Structure 222	111500 sq ft
Structure 223	112000 sq ft
Structure 224	112500 sq ft
Structure 225	113000 sq ft
Structure 226	113500 sq ft
Structure 227	114000 sq ft
Structure 228	114500 sq ft
Structure 229	115000 sq ft
Structure 230	115500 sq ft
Structure 231	116000 sq ft
Structure 232	116500 sq ft
Structure 233	117000 sq ft
Structure 234	117500 sq ft
Structure 235	118000 sq ft
Structure 236	118500 sq ft
Structure 237	119000 sq ft
Structure 238	119500 sq ft
Structure 239	120000 sq ft
Structure 240	120500 sq ft
Structure 241	121000 sq ft
Structure 242	121500 sq ft
Structure 243	122000 sq ft
Structure 244	122500 sq ft
Structure 245	123000 sq ft
Structure 246	123500 sq ft
Structure 247	124000 sq ft
Structure 248	124500 sq ft
Structure 249	125000 sq ft
Structure 250	125500 sq ft
Structure 251	126000 sq ft
Structure 252	126500 sq ft
Structure 253	127000 sq ft
Structure 254	127500 sq ft
Structure 255	128000 sq ft
Structure 256	128500 sq ft
Structure 257	129000 sq ft
Structure 258	129500 sq ft
Structure 259	130000 sq ft
Structure 260	130500 sq ft
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Structure 265	133000 sq ft
Structure 266	133500 sq ft
Structure 267	134000 sq ft
Structure 268	134500 sq ft
Structure 269	135000 sq ft
Structure 270	135500 sq ft
Structure 271	136000 sq ft
Structure 272	136500 sq ft
Structure 273	137000 sq ft
Structure 274	137500 sq ft
Structure 275	138000 sq ft
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Structure 279	



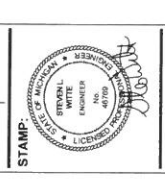
NEEDVELD
www.needveld.com
GRAND AVENUE
CHICAGO
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
George B. LLC
4151 Roger B. Chatham, M. Road, Box 52
Marengo, IL 62558
Phone: 618-653-9360

REVISIONS:

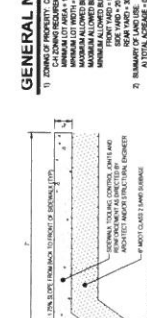
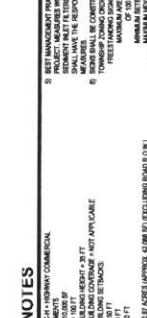
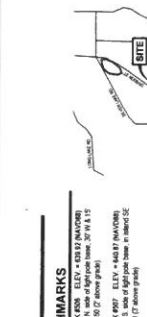
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2	08/11/2019	REVISED PER COMMENTS
3	08/11/2019	REVISED PER COMMENTS
4	08/11/2019	REVISED PER COMMENTS
5	08/11/2019	REVISED PER COMMENTS
6	08/11/2019	REVISED PER COMMENTS
7	08/11/2019	REVISED PER COMMENTS
8	08/11/2019	REVISED PER COMMENTS
9	08/11/2019	REVISED PER COMMENTS
10	08/11/2019	REVISED PER COMMENTS
11	08/11/2019	REVISED PER COMMENTS
12	08/11/2019	REVISED PER COMMENTS
13	08/11/2019	REVISED PER COMMENTS
14	08/11/2019	REVISED PER COMMENTS
15	08/11/2019	REVISED PER COMMENTS
16	08/11/2019	REVISED PER COMMENTS
17	08/11/2019	REVISED PER COMMENTS
18	08/11/2019	REVISED PER COMMENTS
19	08/11/2019	REVISED PER COMMENTS
20	08/11/2019	REVISED PER COMMENTS

LAKE MICHIGAN CREDIT UNION
Site Layout Plan
3600 N US-31 South
PART OF THE NORTHWEST 1/4 OF SECTION 16, T27N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVERS COUNTY, MISSOURI



PROJECT NO:
19400870
SHEET NO:
C-205
SHEET: 2 OF 5

GENERAL NOTES:
1. FORM OF PROPERTY IS A SURVEYING INSTRUMENT.
2. BOUNDARY OF LAND IS AS SHOWN ON THE SURVEY.
3. ALL DIMENSIONS ARE IN FEET AND INCHES.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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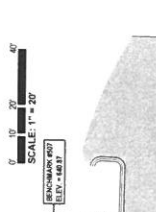
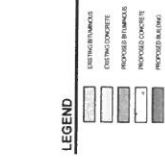
CONCRETE PAVEMENT DETAIL
STANDARD DUTY PAVEMENT CROSS SECTION
TYPICAL BARRIER FREE ACCESSIBLE PARKING SPACES
HIGH-BACK 24" CONCRETE CURB AND GUTTER DETAIL
ROLLED 24" CONCRETE CURB DETAIL

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CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS CONSTRUCTION CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. ALL EXCAVATIONS SHALL BE PROTECTED BY SHIELDING OR SHIELDING AND SHIELDING SHALL BE MAINTAINED AT ALL TIMES.
5. ALL EXCAVATIONS SHALL BE PROTECTED BY SHIELDING OR SHIELDING AND SHIELDING SHALL BE MAINTAINED AT ALL TIMES.
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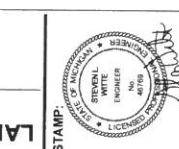


REVISIONS:

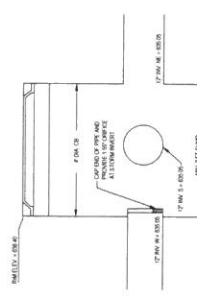
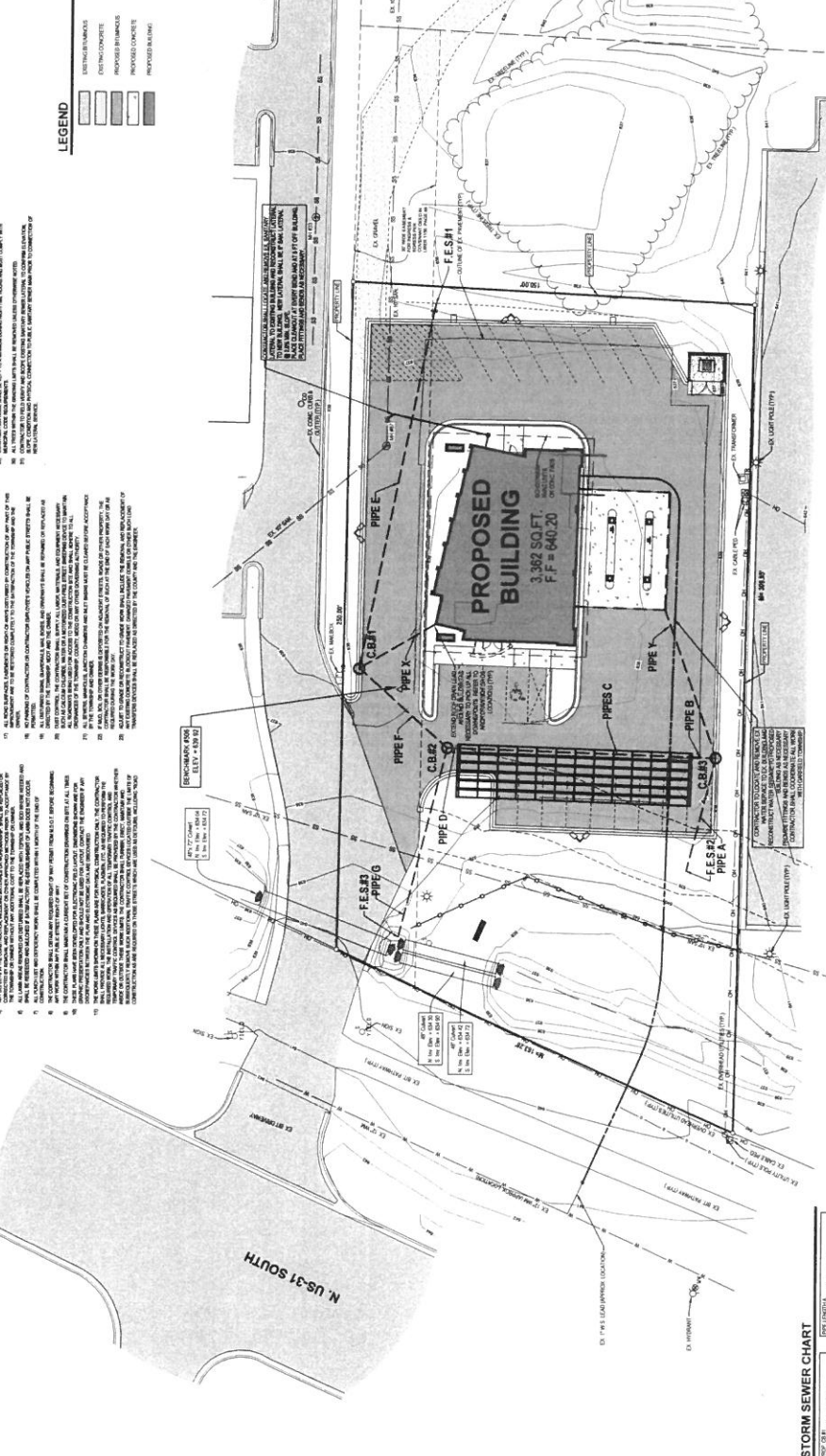
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3	03/05/20	REVISED PER COMMENTS
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5	05/01/20	REVISED PER COMMENTS
6	06/01/20	REVISED PER COMMENTS
7	07/01/20	REVISED PER COMMENTS
8	08/01/20	REVISED PER COMMENTS
9	09/01/20	REVISED PER COMMENTS
10	10/01/20	REVISED PER COMMENTS

PREPARED FOR:
 NEDERVELD
 4131 Roger B. Chaffee Memorial Blvd. SE
 Grand Rapids, MI 49508
 Phone: 616.453.8300

UTILITY PLAN
 LAKE MICHIGAN CREDIT UNION
 GARFIELD TOWNSHIP
 3650 N US 31 SOUTH
 PART OF THE NORTHWEST 1/4 OF SECTION 16, T27N, R17W
 GARFIELD TOWNSHIP, GRAND TRAVERS COUNTY, MICHIGAN



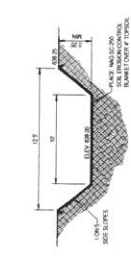
PROJECT NO.: 194400870
SHEET NO.: C-300
SHEET: 3 OF 5



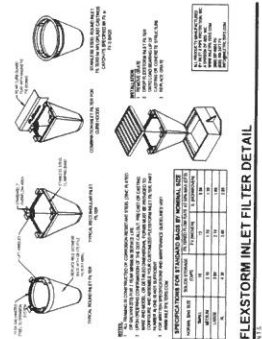
STORM SEWER CHART

PIPE	SIZE	DEPTH	LENGTH	START	END	INVERT	OUTLET
PIPE A	18"	4'-0"	100'	100+0.00	100+100.00	1.00	MANHOLE 1
PIPE B	18"	4'-0"	100'	100+100.00	100+200.00	1.00	MANHOLE 2
PIPE C	18"	4'-0"	100'	100+200.00	100+300.00	1.00	MANHOLE 3
PIPE D	18"	4'-0"	100'	100+300.00	100+400.00	1.00	MANHOLE 4
PIPE E	18"	4'-0"	100'	100+400.00	100+500.00	1.00	MANHOLE 5
PIPE F	18"	4'-0"	100'	100+500.00	100+600.00	1.00	MANHOLE 6
PIPE G	18"	4'-0"	100'	100+600.00	100+700.00	1.00	MANHOLE 7
PIPE H	18"	4'-0"	100'	100+700.00	100+800.00	1.00	MANHOLE 8
PIPE I	18"	4'-0"	100'	100+800.00	100+900.00	1.00	MANHOLE 9
PIPE J	18"	4'-0"	100'	100+900.00	100+1000.00	1.00	MANHOLE 10
PIPE K	18"	4'-0"	100'	100+1000.00	100+1100.00	1.00	MANHOLE 11

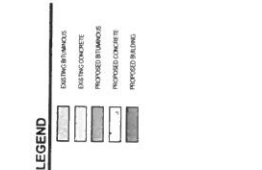
Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — High Definition Scanning — Forensic Engineering — Fire Investigation



EMERGENCY SPILLWAY DETAIL



FLEXSTORM INLET FILTER DETAIL



LEGEND



BENCHMARKS



LOCATION MAP

NEDEVELD
www.nedvel.com
GRAND RAPIDS
1000 222 8888
ANN ARBOR MI 48106
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

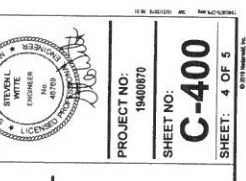
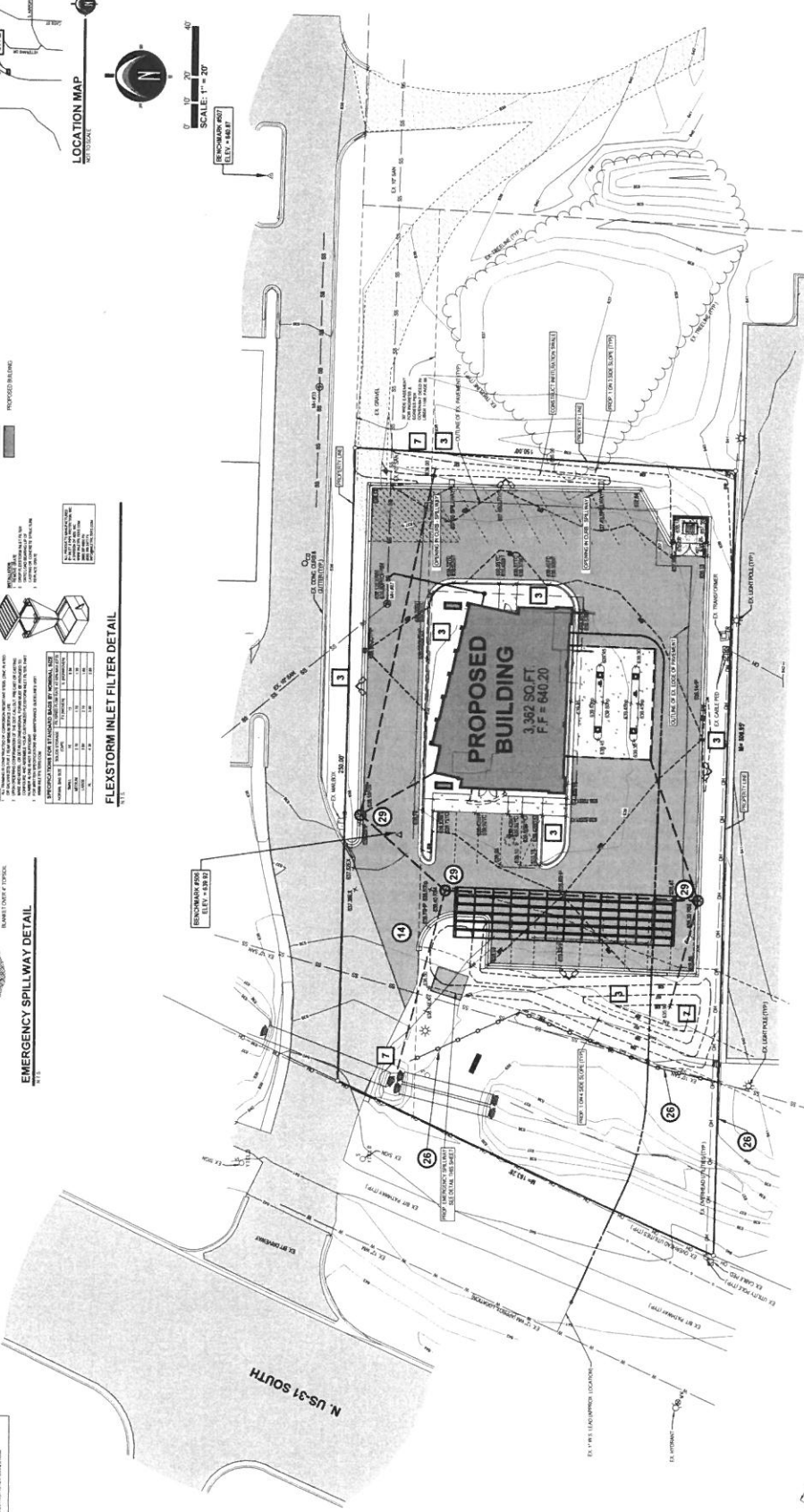
PREPARED FOR:
NEWCOO Design Build, LLC
4331 Roger B. Chaffee Memorial Blvd.
Grand Rapids, MI 49508
Phone: 616-942-5285

REVISIONS table with columns for No., Date, Description, and By.

LAKE MICHIGAN CREDIT UNION
Grading and S.E.S.C. Plan
3650 N US 31 SOUTH
PART OF THE NORTHWEST 1/4 OF SECTION 16, T27N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVERSERS COUNTY, MICHIGAN

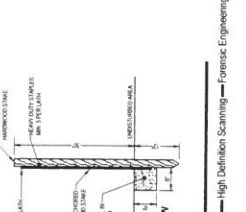
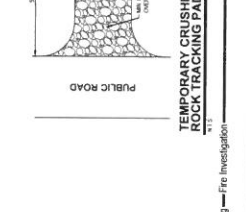
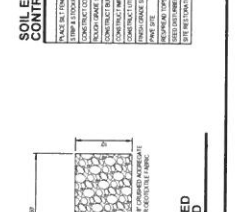
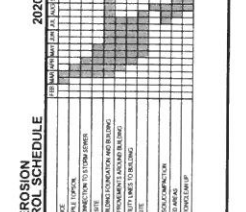
STAMP: NEDEVELD ENGINEERING INC. 19400070

PROJECT NO: 19400070
SHEET NO: C-400
SHEET: 4 OF 5



SOIL EROSION AND SEDIMENTATION CONTROL NOTES
1. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION
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20. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION

SOIL EROSION CONTROL SCHEDULE table with columns for Date, Location, and Description.



SOIL EROSION AND SEDIMENTATION CONTROL NOTES
1. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION
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20. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION

SOIL EROSION CONTROL SCHEDULE
DATE: 11/15/2020
LOCATION: 3650 N US 31 SOUTH
DESCRIPTION: SOIL EROSION CONTROL SCHEDULE

TEMPORARY CRUSHED ROCK TRACKING PAD
PUBLIC ROAD
DRAINAGE CHANNEL
DRAINAGE CURB
DRAINAGE DITCH
DRAINAGE PAVEMENT

SILT FENCE DETAIL
DRAINAGE CHANNEL
DRAINAGE CURB
DRAINAGE DITCH
DRAINAGE PAVEMENT

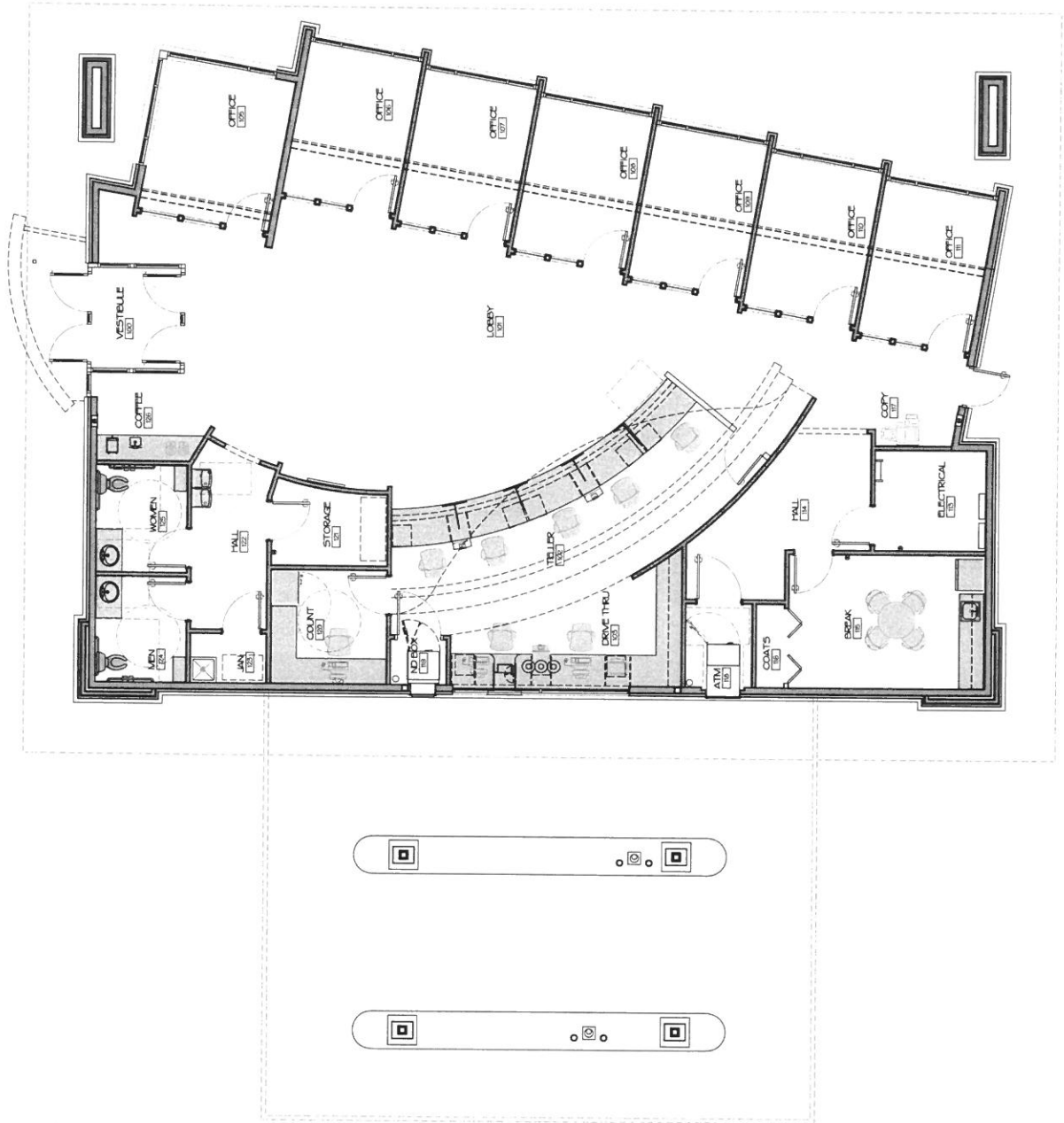
SECTION VIEW
DRAINAGE CHANNEL
DRAINAGE CURB
DRAINAGE DITCH
DRAINAGE PAVEMENT

PLAN VIEW
DRAINAGE CHANNEL
DRAINAGE CURB
DRAINAGE DITCH
DRAINAGE PAVEMENT

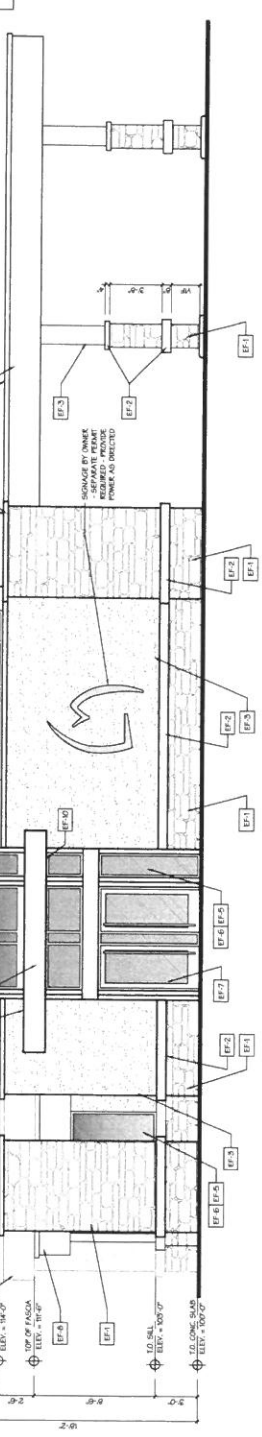
SOIL EROSION AND SEDIMENTATION CONTROL NOTES
1. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION
2. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION
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20. CONTROL ALL EXPOSED SOIL SURFACES FROM EROSION AND SEDIMENTATION

#	DATE	ISSUED FOR
06/04/19		OWNER REVIEW
06/05/19		PARKING TO SOUTH
06/19/19		OWNER RESPONSE
06/20/19		SITE SUBMITTAL

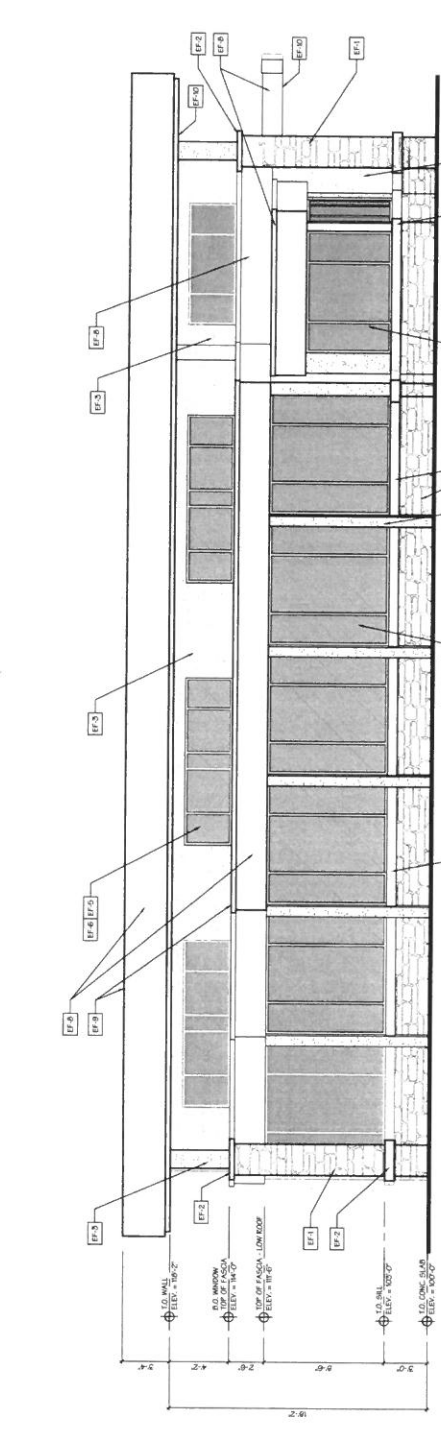
Main Floor Plan
3,000 SQUARE FEET



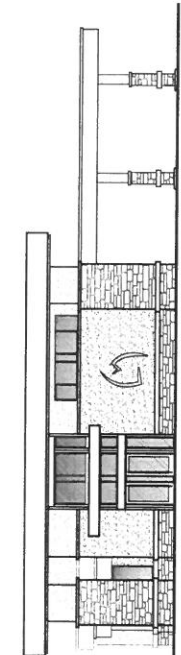
- Exterior Elevation Notes:**
1. ALL WORK ELEVATIONS ARE 0.00' UNLESS NOTED OTHERWISE.
 2. REFER TO ARCHITECTURAL ELEVATION SHEETS A-1 AND A-3 FOR DOOR AND WINDOW INFORMATION.
 3. REFER TO ROOF PLAN AND BUILDING SECTIONS FOR EAVE DETAILS.
 4. SHEET TO BE EXERCISED BY MECHANICAL AND ELECTRICAL CONTRACTORS.
 5. CONSTRUCTION SITE SAFETY IS TO BE MAINTAINED AT ALL TIMES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOLLOWING ALL LOCAL REGULATIONS REGARDING EROSION CONTROL, SLOTTED CURBS, AND OTHER LOCAL REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.



West Elevation
SCALE: 1/4" = 1'-0"



North Elevation
SCALE: 1/4" = 1'-0"



West Elevation
SCALE: 1/4" = 1'-0"

Partial Exterior Finish Schedule

Material	Finish
EF-1	STONE VENEER
EF-2	STONE VENEER
EF-3	EF-3 (BT)
EF-4	METAL DOOR
EF-5	GLAZING
EF-6	STREETFRONT AND WINDOWS
EF-7	ENTRANCE DOORS
EF-8	METAL LOUVER AND FACIA
EF-9	EPDM ROOFING
EF-10	1/2" X 1/4" METAL SOFFIT
UF-1	BRICKET - FORD DU LAC LIDGESTONE HERITAGE BLEND
UF-2	PRECAST SILL - SEE PROFILE OR DRAWING
UF-3	INSULATED METAL WINDOW - 1" MIN. I.U. COLOR - FRESCO VANILLA ACCENT
UF-4	INSULATED METAL DOOR AND FRAME - PAINT TO MATCH WINDOW
UF-5	1/2" X 1/4" METAL SOFFIT - CLEAR
UF-6	STREETFRONT AND WINDOWS - 1/2" X 1/4" METAL SOFFIT - CLEAR
UF-7	ENTRANCE DOORS - 3'-0" X 7'-0" ENCLOSED ALUMINUM
UF-8	METAL LOUVER AND FACIA - 22 GA. GALVALUME PLUS
UF-9	EPDM ROOFING - PRESTONITE 60 MIL
UF-10	1/2" X 1/4" METAL SOFFIT - ARCHITECT APPROVED COLOR
UF-11	1/2" X 1/4" METAL SOFFIT - WHITE

NEWCO DESIGN BUILD LLC
1133 BROADWAY, SUITE 200
MILWAUKEE, WI 53201
TEL: 414-224-2200
WWW.NEWCOBUILD.COM

PROJECT NO. 10-01352
PROJECT MANAGER: VIKI DOBRYLAK
ARCHITECT IN CHARGE: SCOTT
SCALE:

#	DATE	ISSUED FOR
1	10/20/19	SITE SUBMITTAL
2	10/20/19	OWNER REVIEW
3	10/20/19	PACKING TO SOUTH
4	10/20/19	OWNER REVIEW

PROJECT NAME: LMCU BRANCH
SHEET NO.: 2650 N US 31 S TRAYSE CITY, WI 49804
SHEET TITLE: Building Elevations, Notes, and Details
A-2.1

Exterior Elevation Notes:

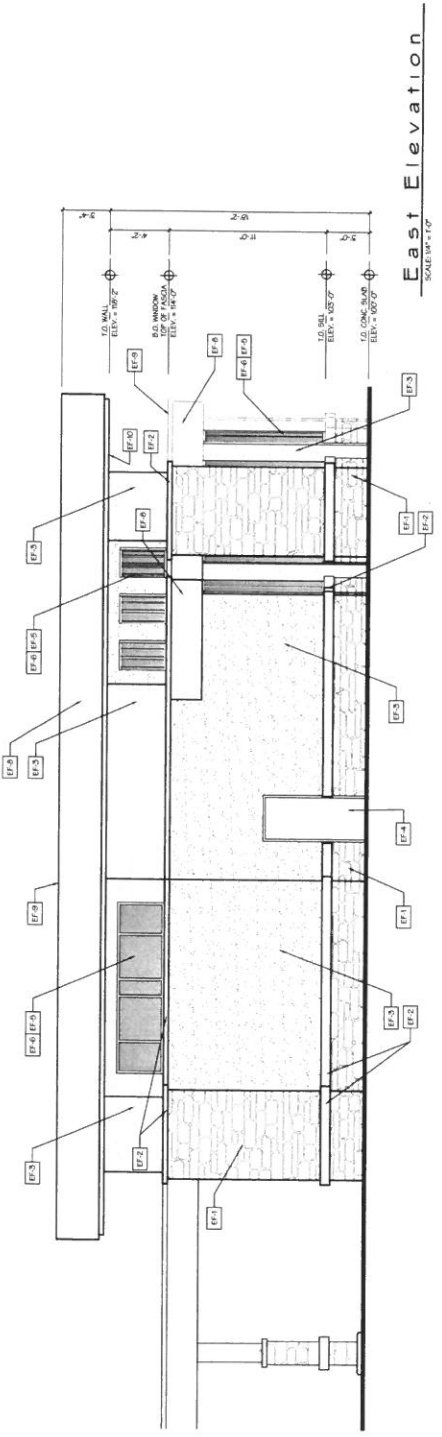
1. VERIFY ALL DIMENSIONS AND FINISHES TO MATCH THE ARCHITECT'S INTENT.
2. VERIFY ALL DIMENSIONS AND FINISHES TO MATCH THE ARCHITECT'S INTENT.
3. VERIFY TO ROOF PLAN AND BUILDING SECTIONS FOR ALL WINDOW AND DOOR SIZES.
4. REFER TO FOLLOWING MECHANICAL AND ELECTRICAL SHEETS FOR EXTERIOR ITEMS.
5. ALL EXTERIOR SURFACES TO BE MAINTAINED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND FOLLOW ALL LOCAL REGULATIONS REGARDING PAINTS AND FINISHES. FINISHES ARE NOT LIMITED TO FALL PREVENTION, LABOR SAFETY, OR OTHER AND ELEVATION AND TOP HAZARDS. ALL THE SHEET STANDARD DIMS FOR MATERIALS.



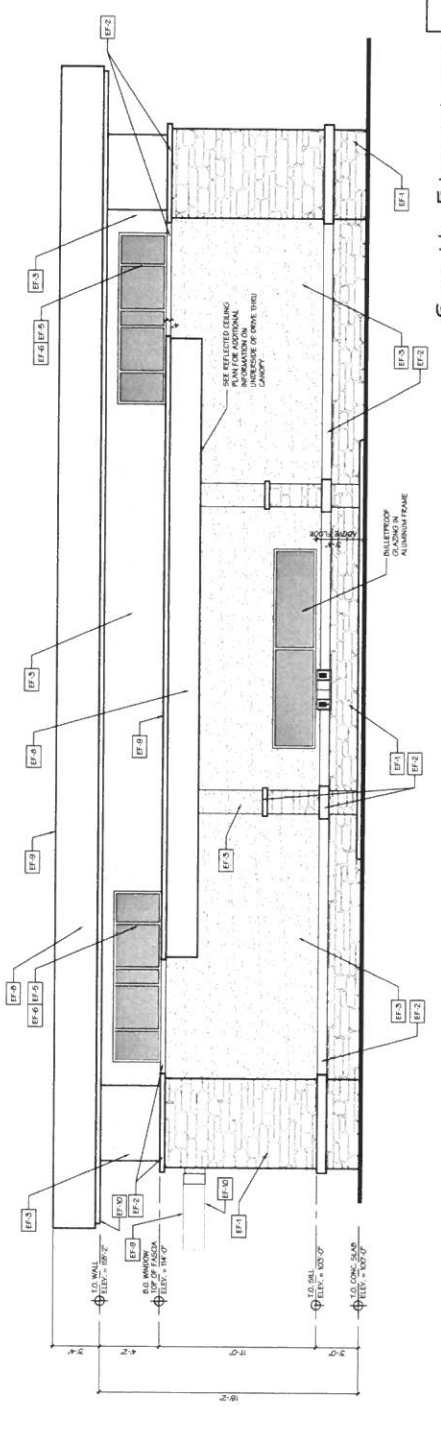
ARCHITECT	PROJECT NO.	10-01352
PROJECT MANAGER	DATE	
DESIGNER	ISSUED FOR	

DATE	ISSUED FOR
06/04/19	OWNER REVIEW
06/04/19	PARKING TO SOUTH
06/17/19	OWNER REVIEW
06/17/19	SITE SUBMITTAL

PROJECT NAME: LMCU BRANCH
 SHEET TITLE: Building Elevations, Notes, and Details
 SHEET NO.: A-2.2
 3550 N US-21 S TRAVELER CITY, MI 48864



East Elevation
 SCALE: 1/8" = 1'-0"




South Elevation
 SCALE: 1/8" = 1'-0"

Partial Exterior Finish Schedule

Material	Finish
EF-1	BRICK - TONGUE & GROOVE - HERRING BOND
EF-2	BRICK - TONGUE & GROOVE - HERRING BOND
EF-3	BRICK - TONGUE & GROOVE - HERRING BOND
EF-4	METAL DOOR
EF-5	GLAZING
EF-6	STONEFRONT AND WINDOW
EF-7	ENTRANCE DOORS
EF-8	METAL ROOFING
EF-9	PPFM ROOFING
UF-10	INTERIOR METAL ROOFING

PROJECT NAME: LMCU BRANCH
 SHEET TITLE: Building Elevations, Notes, and Details
 SHEET NO.: A-2.2
 3550 N US-21 S TRAVELER CITY, MI 48864

		Charter Township of Garfield	
		Planning Department Report No. 2019-149	
Prepared:	November 4, 2019	Pages:	7
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Village at LaFranier Woods PUD Introduction		
Applicant:	RW Properties I LLC		
Owner:	Louis G. and Marvel R. LaFranier Trusts		
File No.	PUD 2019-01		
Parcel No.	05-023-041-00		

SUBJECT PROPERTY:

- 2242 LaFranier Road, north of Hammond Road
- 33.19 acres in area
- Currently undeveloped open and wooded land
- A-Agricultural zoning

PURPOSE OF APPLICATION:

The application proposes a Planned Unit Development (PUD) for senior living including detached cottages, congregate residential buildings and assisted living residences. The applicant is requesting approval via the PUD process as it allows for certain flexibility in development of the property.

PROCEDURE:

Planned unit development applications shall be reviewed in a two-step process in accordance with §426.B. Preliminary Review and Decision and with §426.C Final Review and Decision.

Preliminary review shall establish proposed land uses, project density, site layout and design, proposed vehicular and pedestrian circulation patterns, natural resource protection areas, open space, land use buffers, grading, storm water management patterns, and site servicing. Final engineering is not required for preliminary review and decision.

The Planning Commission shall hold a public hearing on the development application. Following review and public hearing on the application, the Planning Commission shall make a preliminary recommendation to the Township Board on whether to approve or deny the request for preliminary planned unit development approval. Preliminary recommendation of a planned unit development shall specify all conditions that must be satisfied prior to submission of the planned unit development under § 426.C., Final Review and Decision.

Upon receipt of the Planning Commission's recommendation, the Township Board may hold a public hearing on the application for preliminary planned unit development approval and may specify additional conditions or requirements that shall be satisfied prior to submission of the planned unit development under § 426.C. Final Review and Decision.

Preliminary plans may not be changed or amended except as required by final engineering.

Note: The subject parcel (05-023-041-00) is approximately 40 acres. The parcel will be split resulting in approximately 33 acres for the subject development.

Aerial image of the subject property (property lines highlighted in blue):



Aerial image of the subject property (property lines highlighted in blue):



STAFF COMMENT:

This is the introductory meeting for the application, intended to identify and outline broader issues for your consideration as the application moves forward into the public process.

Uses:

A planned unit development may include any principal and other use(s) permitted by right, permitted under special condition or permitted by special use permit in the zoning district where the land is located. The Township Board may also authorize principal and other uses not permitted in the zoning district where the land is located, provided appropriate findings of fact are made demonstrating that:

- (a) The proposed uses, within the context of the overall development plan, are harmonious and compatible with the planned uses of the site and the surrounding area, as provided for within the master plan;
- (b) The proposed density is in accordance with the policies and objectives set out in the master plan; and
- (c) In areas where the surrounding lands have been substantially developed in accordance with a particular land use character, pattern and density, the planned unit development shall be consistent and compatible with that existing land use character, pattern and density.

The proposed development has two uses, congregate housing and assisted living, which are not permitted in the A-Agricultural zoning district where the land is located. However, the proposed uses are presented as an overall complete plan, meet the requirements of the master plan, and are compatible with the existing and developing land use pattern in the area.

Scope of Authority – Dimensional Standards:

A planned unit development may alter and establish lot size limits, required facilities, buffers, open space areas, density limits, setback requirements, height limits, building size limits, offstreet parking regulations, landscaping rules, miscellaneous regulations, and intensity limits where such regulations or changes are consistent with the intent and standards of the PUD section of the zoning ordinance.

Proposed Development and Phasing:

The proposed development would be comprised of the following buildings in four phases:

- Phase 1: One (1) three-story building complex containing 116 independent living units.
- Phase 2: Four (4) one-story duplex and eight (8) one-story fourplex independent cottages totaling 40 units.
- Phase 3: One (1) one-story building complex containing 113 assisted living units.
- Phase 4: One (1) three-story building complex containing 116 independent living units.

Based on this configuration, 385 total units are proposed. The site plan notes 393 units but the total of the four phases equals 385 units.

Overall Design:

The proposed development is a large-scale development broken into four major phases. The pattern results in a pod-like form that is functional. While there are certain constraints that require this form, it may be possible to make slight adjustments that would provide a more cohesive, overall design. The main drive through the development could provide a stronger gateway extending the boulevard further east with sidewalks on both sides. The boulevard could then terminate at a central area with a large gazebo or other defining structure. This central area could be a gathering space for residents for events (i.e., concerts, picnics). Furthermore, the building in phase #4 could be moved farther to the south to accommodate central gathering area.

Agency Review:

Agency reviews of the PUD application will include Grand Traverse Metro Fire Department, Grand Traverse County Department of Public Works, Grand Traverse County Road Commission, and Grand Traverse County Soil Erosion and Sedimentation Control.

Master Plan Considerations:

The subject site is designated as High Density Residential by the current Township Master Plan with a planned density of 6 to 10 units per acre. Land to south and west is also designated as High Density Residential. Land to the north is designated as Professional Office and land to the east is designated as Low Density Residential with a planned density of 1 to 3 units per acre.

Minimum Site Size:

The minimum site size for a Planned Unit Development is 20 acres. The application is proposing a development on 33.19 acres.

Site Accessibility:

A planned unit development shall be directly accessible from major thoroughfares as designated on the Major Thoroughfare Plan for the Township. The Township may authorize a project that does not have direct access to a major thoroughfare, provided appropriate findings of fact are made demonstrating that:

- (a) The project is directly accessible from a public road of suitable design and construction to handle any anticipated traffic that will be generated by the project;
- (b) The anticipated traffic volumes are not reasonably expected to result in adverse impacts for those uses and properties along the public road system; and
- (c) The efficiency and safety of the overall public road system will not be negatively impacted.

LaFranier Road is designated as a Minor Collector in the currently adopted Township Master Thoroughfare Plan based on the National Functional Classification (NFC). LaFranier Road was redesigned as a three-lane roadway to accommodate expected residential development in the area. The proposed use is consistent with the existing and developing areas along LaFranier Road.

Open Space:

A planned unit development shall be designed to incorporate a minimum of 20% useable open space to supplement the residents of the PUD and/or Garfield Township. These areas are anticipated to provide recreational opportunities such as parks, trails, playgrounds, and other similar opportunities. Of the 33.19 net acreage of the subject site, 6.6 acres of open space is provided which meets the 20% requirement. While the open space requirement is met, a considerable portion of the open space is marked for stormwater retention and does not provide a usable amenity.

Density:

The proposed density is 11.5 units per acre. In comparison with other development densities in the vicinity are as follows:

- Ridge 45 Apartments (east side of LaFranier Road) 8.8 units per acre
- Manitou Woods Apartments (west side of Garfield Road) 9 units per acre
- Sugar Plum Apartments (west side of Garfield Road) 8 units per acre

Height:

The maximum building height in the A-Agricultural district is 2-1/2 stories/35 feet. Building heights for the proposed buildings are as follows:

- Phase 1 Congregate Housing: 3 stories/37'-6"
- Phase 2 Cottage Housing: 1 story/16'-8"
- Phase 3 Assisted Living: 1 story/24'-0"
- Phase 4 Congregate Housing: 3 stories/37'-6"

In the R-3 Multiple Family Residential District, the maximum building height is 3 stories/40 feet.

Setbacks:

Setbacks of 50 feet on the front yard and 30 feet on all side and rear yards are provided.

Landscaping and Natural Features:

Landscaping and buffers are provided. The site is presently undeveloped and generally level with some wooded areas. There is a low area to the southeast corner of the site. There are no significant natural features.

Non-Motorized Circulation:

Sidewalks have been noted within the development. Additional walking paths in the open space area are recommended as an amenity to residents. Section 522 of the Ordinance states public pathways shall be constructed for all new development, re-developments, and amendments to previously approved site development plans, including substantial additions or improvements to existing buildings with a construction cost of twenty thousand dollars (\$20,000.00) or more within a twelve-month period. The type of pathway required shall be determined through the adopted Garfield Township Non-Motorized Plan. According to the Non-Motorized Plan map, LaFranier Road is designated to have sidewalks along the frontage of the subject parcel.

Vehicular Circulation:

The site plan proposes one driveway off LaFranier Road with a secondary emergency driveway located to the north. A main drive bisecting the property will serve four development areas. To meet the intent of Section 512 Access Management and Restrictions in the Zoning Ordinance, the development plan should connect the frontage of the subject parcel to the adjacent properties to the north and south. Non-motorized connection to south may also be considered to connect with future development via cross-access easements.

Parking:

339 total parking spaces are provided. A breakdown of the parking is as follows:

- The independent living apartments and cottages are proposed to have one (1) parking space for each unit. Housing for the elderly allows for one (1) parking space for each unit.
- The assisted living facility is proposed to have sixty-seven (67) parking spaces. For this facility the range of parking is one (1) for each four (4) beds to one (1) for each two (2). The maximum parking permitted is 57 parking spaces.

Lighting:

Details on the lighting pole was supplied, however a complete lighting plan is needed including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.

Signs:

Details on the main entry sign was supplied, however a complete sign plan is needed indicating the location, size and specifications of all signs and advertising features, including cross sections and any directional signs.

Snow Storage:

While snow storage locations have been shown, snow storage calculations should be provided to determine that the designated locations are sufficient.

Stormwater:

Parking lot and roof stormwater runoff will be managed onsite via an underground system. Stormwater review by the Township Engineer will be required.

Traffic Impact Analysis:

Section 618 of the Zoning Ordinance states a traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

- (1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
- (2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
- (3) A proposed development for a 5-acre or larger site; or
- (4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The purpose of the traffic impact report is to identify the impacts on capacity, level of service (LOS), and safety, which are likely to be created by a proposed development. A traffic impact report should identify the improvements needed to:

- (1) Ensure safe ingress to and egress from a site;
- (2) Maintain adequate street capacity on adjacent public streets;
- (3) Ensure safe and reasonable traffic operating conditions on streets and at intersections in the vicinity of a proposed development;
- (4) Avoid creation of or mitigate existing hazardous traffic conditions;
- (5) Minimize the impact of nonresidential traffic on residential neighborhoods in the community; and
- (6) Protect the substantial public investment in the existing street system.

An initial estimate of the proposed development by staff believes that more than 2,000 trips will be generated per day. Staff recommends that a traffic impact report be required.

ACTION REQUESTED:

Following an opportunity for applicant presentation and review by the Planning Commission, it would be appropriate at a minimum to accept the application. The following motion is recommend for that action:

THAT Application PUD 2019-01 submitted by RW Properties I, LLC BE ACCEPTED.

If the Planning Commission is comfortable with the level of information submitted to date and does not anticipate significant changes to the application materials, you may wish to schedule a public hearing for the next regular meeting date. The following motion is recommended if you are prepared to take that action.

THAT application PUD 2019-01 be scheduled for a public hearing at the regular meeting of the Garfield Township Planning Commission on December 11, 2019.

If the Planning Commission requires additional information or significant changes to the site plan prior to reviewing and deciding upon the application, the application should be tabled.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Project Narrative and Impact Statement dated October 10, 2019
2. 11" X 17" plan set provided by applicant dated October 10, 2019

THE VILLAGE AT LAFRANIER WOODS – A Senior Living Community

1. Applicant: RW Properties I, L.L.C.
950 Taylor Avenue
Grand Haven, MI 49417
Phone: 616-842-2425, ext. 21 – Shirley Woodruff

2. Property Owner: Louis G. and Marvel R. LaFranier Trusts
15532 Bluff Road
Traverse City, MI 49686
Phone: 231-250-1896 – Dixie Roethlisberger

3. The Applicant has control of the property under a Purchase Agreement, there are no other know options or liens on the property.

4. Property Information: 2242 LaFranier Road
Traverse City, MI
Part of Parcel #28-05-023-041-00
33.94 total gross acres and 33.19 total net acres
Frontage on LaFranier Road: 992.85 feet
Dimensions: 992.85 feet x 1318.42 feet x 1319.11 feet x 518.74 feet x 325 feet x 800 feet

5. The Site Plan was prepared by:
Chip Ironside
Progressive North LLC
422 E. Mitchell Street, Unit 4B
Petoskey, MI 49770
Phone: 231-487-9290

6. The development will be completed as a PUD which will include various types of housing, services and amenities for seniors aged 55 and older. The development will include:
Phase #1 - 116 independent senior Congregate Apartments
20 independent senior Cottages
Phase #2 – 20 independent senior Cottages
Phase #3 – 62 Assisted Living Residences
Phase #4 – 116 independent senior Congregate Apartments
Phase #5 – 52 Assisted Living Residences

7. Project Phasing:

Phase #1	Commencement March 2020 and completion June 2021
Phase #2	Commencement in 2021 and completion in 2022
Phase #3	Commencement in 2022 and completion in 2023
Phase #4	Commencement in 2023 and completion in 2024
Phase #5	Commencement in 2024 and completion in 2025

COMMITMENT FOR TITLE INSURANCE
Schedule A

Ref: 2242 LaFranier Rd (Parcel A - 33.93 acres), Traverse City, MI 49686

1. Commitment Date: February 20, 2019 at 8:00 am **Commitment No.:** 266348LKS

2. Policy or Policies to be issued:

2006 ALTA Owner's Policy

Policy Amount: \$24,000,000.00

Proposed Insured: LaFranier Woods Limited Dividend Housing Association Limited Partnership, a Michigan limited partnership

ALTA Loan Policy - 6/17/06

WITHOUT EXCEPTIONS

Policy Amount \$20,000,000.00

Proposed Insured Michigan State Housing Development Authority its successors and/or assigns

3. The estate or interest in the land described or referred to in this Commitment is: Fee Simple

4. Title to the estate or interest in the land is at the Effective Date vested in

An undivided one-half (1/2) interest to the Trustee(s) of The Louis G. LaFranier Revocable Inter Vivos Trust and an undivided one-half (1/2) interest to the Trustee(s) of The Marvel R. LaFranier Revocable Inter Vivos Trust

5. The land referred to in this Commitment is described as follows

Located in the Township of Garfield, County of Grand Traverse, State of Michigan,

SEE ATTACHED EXHIBIT "A"

This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice, the Commitment to Issue Policy, the Commitment Conditions, Schedule A, Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions.

ORT Form 4690-A 6/06

Schedule A

ALTA Commitment for Title Insurance

Underwritten by Old Republic National Title Insurance Company

Countersigned by:



Sharlene Shinelecker

Exhibit "A"

PARCEL A:

Part of the Northwest 1/4 of the Southeast 1/4 of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being described as: Commencing at the South 1/4 corner of said Section; thence North 00°57'30" East, along the North and South 1/4 line, 1642.85 feet to the point of beginning; thence North 00°57'30" East, continuing along the North and South 1/4 line, 992.85 feet to the East and West 1/4 line; thence South 88°21'44" East, along the East and West 1/4 line, 1318.42 feet to the West line of Carriage Hills; thence South 00°56'41" West, along the West line of Carriage Hills, 1319.11 feet; thence North 88°18'28" West 518.74 feet; thence North 00°57'30" East 325.00 feet; thence North 88°18'28" West 800.00 feet to the point of beginning.

This page is only a part of a 2016 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I – Requirements; and Schedule B, Part II – Exceptions.

ORT Form 4690 A-6/06 revised 8-1-16

Schedule A

ALTA Commitment for Title Insurance

Underwritten by Old Republic National Title Insurance Company

Owner-Agent Approval Form

This document dated as of October 8, 2019 serves as the Charter Township of Garfield 's authorization to accept and act on the PUD Application submitted by RW Properties I, LLC.

AGENT: RW Properties I, L.L.C.
950 Taylor Avenue, Grand Haven, MI 49417
Phone: 616-842-2425, ext. 21 – Shirley Woodruff, Authorized Agent

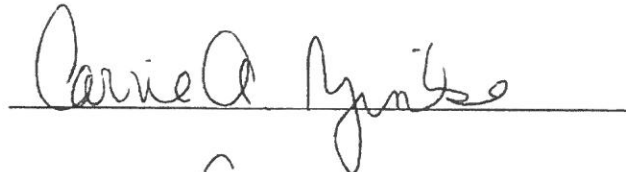
OWNER: Louis G. and Marvel R. LaFranier Trust, u/a/d June 24, 1993, as amended
15532 Bluff Road, Traverse City, MI 9686
Phone: 231-250-1896 – Dixie Roethlisberger, Trustee


Dixie Roethlisberger, Trustee

STATE OF MICHIGAN)
)SS.

COUNTY OF GRAND TRAVERSE)

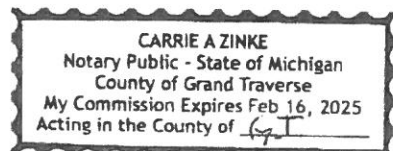
The foregoing Owner-Agent Approval Form was acknowledged before me this 9th day of October, 2019, by Dixie Roethlisberger, Trustee of the Louis G. and Marvel R. LaFranier Trust, u/a/d June 24, 1993 on behalf of said Trust.



Notary Public, Grand Traverse County, MI

My Commission Expires: Feb. 16, 2025

Acting in Grand Traverse County, MI



PREPARED FOR:
 NERVELD INC.
 P.O. BOX 1017
 GRAND RAPIDS, MI 49507

DATE: 09/11/2019

CREATED:

REVISIONS:

TITLE INFORMATION
 This Survey and Plat is a Final Plat. It is subject to all laws, rules and regulations of the State of Michigan, Department of State, Bureau of Land Administration, and the County of Grand Rapids, Michigan. It is subject to all laws, rules and regulations of the State of Michigan, Department of State, Bureau of Land Administration, and the County of Grand Rapids, Michigan. It is subject to all laws, rules and regulations of the State of Michigan, Department of State, Bureau of Land Administration, and the County of Grand Rapids, Michigan.

TITLE DESCRIPTION
 The land shown on this plat is located in the Township of Grand Rapids, County of Grand Rapids, State of Michigan. The land is bounded on the north by the Township of Grand Rapids, on the east by the Township of Grand Rapids, on the south by the Township of Grand Rapids, and on the west by the Township of Grand Rapids. The land is bounded on the north by the Township of Grand Rapids, on the east by the Township of Grand Rapids, on the south by the Township of Grand Rapids, and on the west by the Township of Grand Rapids.

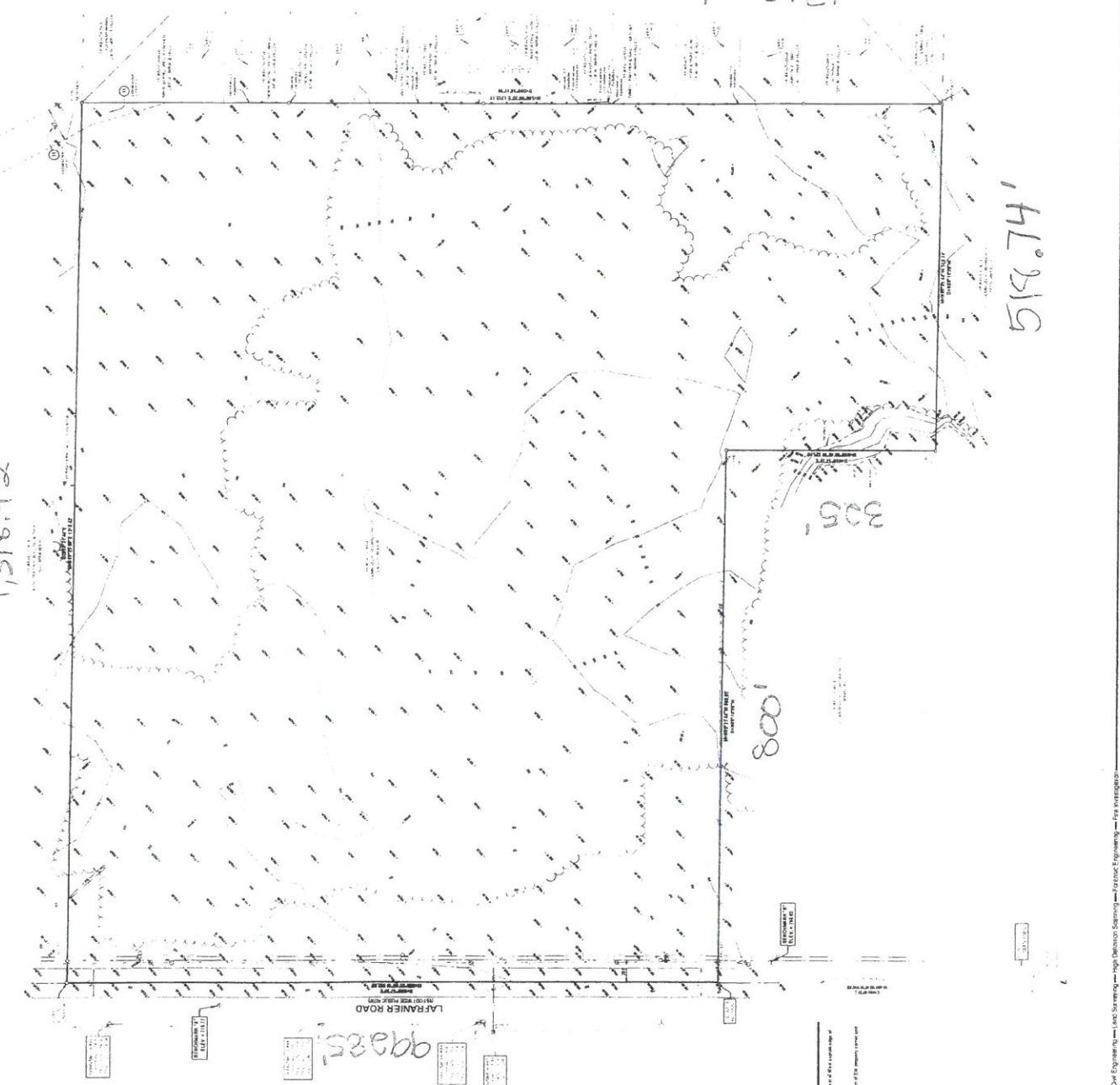
SCHEDULE B - SECTION 8 NOTES
 1. The land shown on this plat is located in the Township of Grand Rapids, County of Grand Rapids, State of Michigan. The land is bounded on the north by the Township of Grand Rapids, on the east by the Township of Grand Rapids, on the south by the Township of Grand Rapids, and on the west by the Township of Grand Rapids. The land is bounded on the north by the Township of Grand Rapids, on the east by the Township of Grand Rapids, on the south by the Township of Grand Rapids, and on the west by the Township of Grand Rapids.

SURVEYOR'S NOTES
 1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. DIMENSIONS ARE GIVEN TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAT. DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAT. DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAT. DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAT.

SURVEYOR'S CERTIFICATION
 I, the undersigned, being a duly licensed Surveyor in the State of Michigan, do hereby certify that I am the author of this plat and that it is a true and correct copy of the original survey as shown to me by the owner or his agent. I am a duly licensed Surveyor in the State of Michigan. I am a duly licensed Surveyor in the State of Michigan. I am a duly licensed Surveyor in the State of Michigan.

STAMP

STAMP



LEGEND

	Survey Point
	Boundary Line
	Easement
	Road
	Water
	Hatched Area

BENCHMARKS

BENCHMARK 1: CORNER OF SECTION 8, TOWNSHIP OF GRAND RAPIDS, COUNTY OF GRAND RAPIDS, MICHIGAN. ELEVATION: 123.45 FEET.

BENCHMARK 2: CORNER OF SECTION 8, TOWNSHIP OF GRAND RAPIDS, COUNTY OF GRAND RAPIDS, MICHIGAN. ELEVATION: 123.45 FEET.

SCALE 1" = 40'

811
 CALL FOR SERVICE
 1-800-888-8111

Exhibit "A"

PARCEL A:

Part of the Northwest 1/4 of the Southeast 1/4 of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being described as: Commencing at the South 1/4 corner of said Section; thence North 00°57'30" East, along the North and South 1/4 line, 1642.85 feet to the point of beginning; thence North 00°57'30" East, continuing along the North and South 1/4 line, 992.85 feet to the East and West 1/4 line; thence South 88°21'44" East, along the East and West 1/4 line, 1318.42 feet to the West line of Carriage Hills; thence South 00°56'41" West, along the West line of Carriage Hills, 1319.11 feet; thence North 88°18'28" West 518.74 feet; thence North 00°57'30" East 325.00 feet; thence North 88°18'28" West 800.00 feet to the point of beginning.

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ORT Form 4690 A-6/06 revised 8-1-16

Schedule A

ALTA Commitment for Title Insurance

Underwritten by Old Republic National Title Insurance Company

Narrative
Residential PUD Request for The Village at Lafranier Woods

Justification for Request:

We are seeking the Residential PUD as a way to tie the proposed development together and allow for coordination of the three elements of the Senior Continuum of Care Campus concept. Since the proposed use is not specifically defined within the ordinance, the PUD is the ideal classification. If all three components of the development are coordinated and effectively operate as one senior living -community as we propose, they will offer a greater benefit to the residents and citizens of Garfield Township. The commonality of design, ownership and management will provide an opportunity for our seniors to age in place and not be forced to move as their needs change.

The following section takes excerpts from the zoning ordinance and follows with our explanation of how the development will meet the requirement. The answers will be written in red italic font to distinguish it from the language of the Ordinance.

423.E Approval Criteria

A special use is permitted only if the applicant demonstrates that:

- (1) The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district; *This land use is in line with the master plan's goals and specific objectives of providing a wide variety of housing types as well as affordable housing options via state and federally administered programs. It will also provide single-bedroom apartment units and accessible housing options for seniors which are in high demand in the Township.*
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the constructed, operated and maintained so as to be compatible, neighborhood, adjacent properties and the natural environment; *We believe our design adapts very well to the character of the property by tying all of the design elements and circulation of the three uses together in a unified design. Our architects have chosen materials and colors in order to ensure compatibility of design and use with the neighboring properties.*
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference; *We do not anticipate the proposed land use to have any adverse or detrimental effects to the public or to existing or future adjacent uses. With regard to traffic levels, we anticipate the additional traffic that would be generated based upon similar developments to easily be met by the recently upgraded roads.*
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks; *The site has been designed with adequate parking in mind and in line with the local ordinance. Placement of buildings,*

structures, entrances and, landscaping were all done to minimize any potential adverse effects.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood; *We have designed the site in a way to minimize impact to the natural character of the land. We will be trying to preserve as much of the boundaries and wooded areas as possible.*

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost; *Designers worked with local utility and service providers to ensure the site would meet their standards and there was adequacy to serve.*

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; *The construction and ongoing operating will not endanger public health, safety, morals, comfort, or general welfare.*

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use; *The development will provide quality and affordable housing to meet the growing demand for smaller and accessible housing options for Garfield Township seniors providing them with a Continuum of Care Community to allow them to safely age in place.*

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads; Charter Township of Garfield Zoning Ordinance Article 4, Page 4-24 *A single boulevard entry is designed for ingress and egress from the development and is aligned with the entrance into the multi-family development located across from the PUD on the west side of LaFranier. The design was approached in such a way to minimize traffic congestion and hazards for both the residents and general public alike.*

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; *-The site is designed with walkability and the safety of the residents in mind. This incorporates visible and defined sidewalks throughout the entire site as well as along the property frontage on Lafranier.*

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district. *The development would not impede the orderly development of surrounding property.*

426.A.1 Generally

An application for a planned unit development may be submitted on any parcel or contiguous parcels within the Township where the site meets one (1) or more of the following criteria:

(a) Mixed or varied uses are proposed that cannot be achieved under a single zoning district; *The proposed site incorporates 3 distinct separate uses. Standalone independent*

cottage units, independent congregate care apartments, and assisted living residences.

(b) The site exhibits unusual topography or a unique setting within the community; *The site does not include unique topography or a unique setting within the community.*

(c) Innovation and variety of design are proposed that are not achievable under the current zoning districts of this ordinance; *The unique nature of the separate uses that come together to complete the senior living campus are currently not achievable under any of the current existing zoning districts.*

(d) Additional amenities are made possible by and incorporated within the development; *The sharing of amenities such as dining services, housekeeping, laundry, and activities across the multiple uses are uniquely enabled through the use of the PUD.*

(e) A substantial public benefit is proposed within or as a result of the project; *The project will generate both affordable housing units and additional senior housing units for the township. Both of these are presented as goals in the current Five-Year Master Plan.*

(f) A cross-jurisdictional development is proposed that warrants flexibility in terms of design and layout *N/A*

426.A.3 Site Accessibility

A planned unit development shall be directly accessible from major thoroughfares as designated on the Major Thoroughfare Plan for the Township. The Township may authorize a project that does not have direct access to a major thoroughfare, provided appropriate findings of fact are made demonstrating that:

(a) The project is directly accessible from a public road of suitable design and construction to handle any anticipated traffic that will be generated by the project; *The project is directly accessible from Lafranier Road, and with its recent improvements will easily handle any traffic generated by the development.*

(b) The anticipated traffic volumes are not reasonably expected to result in adverse impacts for those uses and properties along the public road system; *The anticipated traffic volumes from the proposed use should not have an adverse effect on other properties along the road. Due to the inclusion of on site services, the use of bus trips for outings and grocery runs, and the limited mobility of our residents we do not anticipate any issues.*

(c) The efficiency and safety of the overall public road system will not be negatively impacted. *The efficiency and safety of the overall public road system will not be negatively impacted.*

426.E.1 Scope of Authority – Uses

A planned unit development may include any principal and other use(s) permitted by right, permitted under special condition or permitted by special use permit in the zoning district where the land is located. The Township Board may also authorize principal and other uses not permitted in the zoning district where the land is located, provided appropriate findings of fact are made demonstrating that:

(a) The proposed uses, within the context of the overall development plan, are harmonious and compatible with the planned uses of the site and the surrounding area, as

provided for within the master plan; *Addressed previously in regard to section 423.E*

(b) The proposed density is in accordance with the policies and objectives set out in the master plan; and *While the proposed density is higher than allowed under multifamily residential, the average household size in an age restricted (55+) community is also much smaller with over 75% of households being one person in size. The Master Plan also laid forth the objective to consider incentives such as density bonuses to encourage the development community to include accessible housing.*

(c) In areas where the surrounding lands have been substantially developed in accordance with a particular land use character, pattern and density, the planned unit development shall be consistent and compatible with that existing land use character, pattern and density. *While the majority of the Lafranier family parcel remains undeveloped we feel that the land use, character, and density proposed is in character with recent and proposed development along Lafranier Road.*

426.E.4 Criteria

In order to foster the attractiveness of a planned unit development and its surrounding neighborhoods, preserve property values, provide an efficient road and utility network, ensure the movement of traffic, implement comprehensive planning, and better serve the public health, safety, and general welfare, the following criteria apply to planned unit developments. These criteria shall neither be regarded as inflexible requirements, nor are they intended to discourage creativity or innovation.

(a) The uses will be compatible with the natural environment, and with adjacent and surrounding land uses and properties, and will not have an adverse economic, social or environmental impact on adjacent and surrounding land uses and properties; Charter Township of Garfield Zoning Ordinance Article 4, Page 4-44 *Previously addressed in 423.E.2*

(b) The uses will be compatible with the capacity of existing public services and facilities, or of planned and feasible future public services and facilities, and such use is consistent with the public health, safety and welfare of the Township residents; *Previously addressed in 423.E.6*

(c) The uses and development are warranted by the design of additional amenities made possible with, and incorporated by, the development proposal; *Previously addressed in 426.A.1.d*

(d) Insofar as practicable, the landscape shall be preserved in its natural state by minimizing tree and soil disturbance and removal; *To the largest extent possible we plan to leave as much existing soil and trees in place and maintain as much of the natural boundaries and barriers as possible.*

(e) Existing important natural, historical and architectural features within the development shall be preserved; *N/A*

(f) Proposed buildings shall be sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings; *Previously addressed in 423.E.2*

(g) With respect to vehicular and pedestrian circulation and parking, special attention shall be given to the location and number of access points to public streets, minimizing potential motorized/non-motorized conflict points, width of interior drives and access

points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient and, insofar as is practicable, do not detract from the design of proposed structures and neighboring properties;

Previously addressed in 423.E.9/10

(h) Landscaping is provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property and, where applicable, to create a pleasant pedestrian scale outdoor environment; *Landscaping design was done to create natural feeling buffers from neighboring parcels and the differing uses within the development. It was also done to create a pleasant walkable community that people are proud to be a resident of.*

(i) The development consolidates and maximizes useable open space; *The site plan was designed to maximize open green spaces while still proving proper infrastructure for the residents.*

(j) The benefits of the development are not achievable under any single zoning classification; and *Previously addressed in 426.A.1.a*

(k) The development is compatible with the intent and purpose of the adopted master plan. *Previously addressed in 423.E.1*

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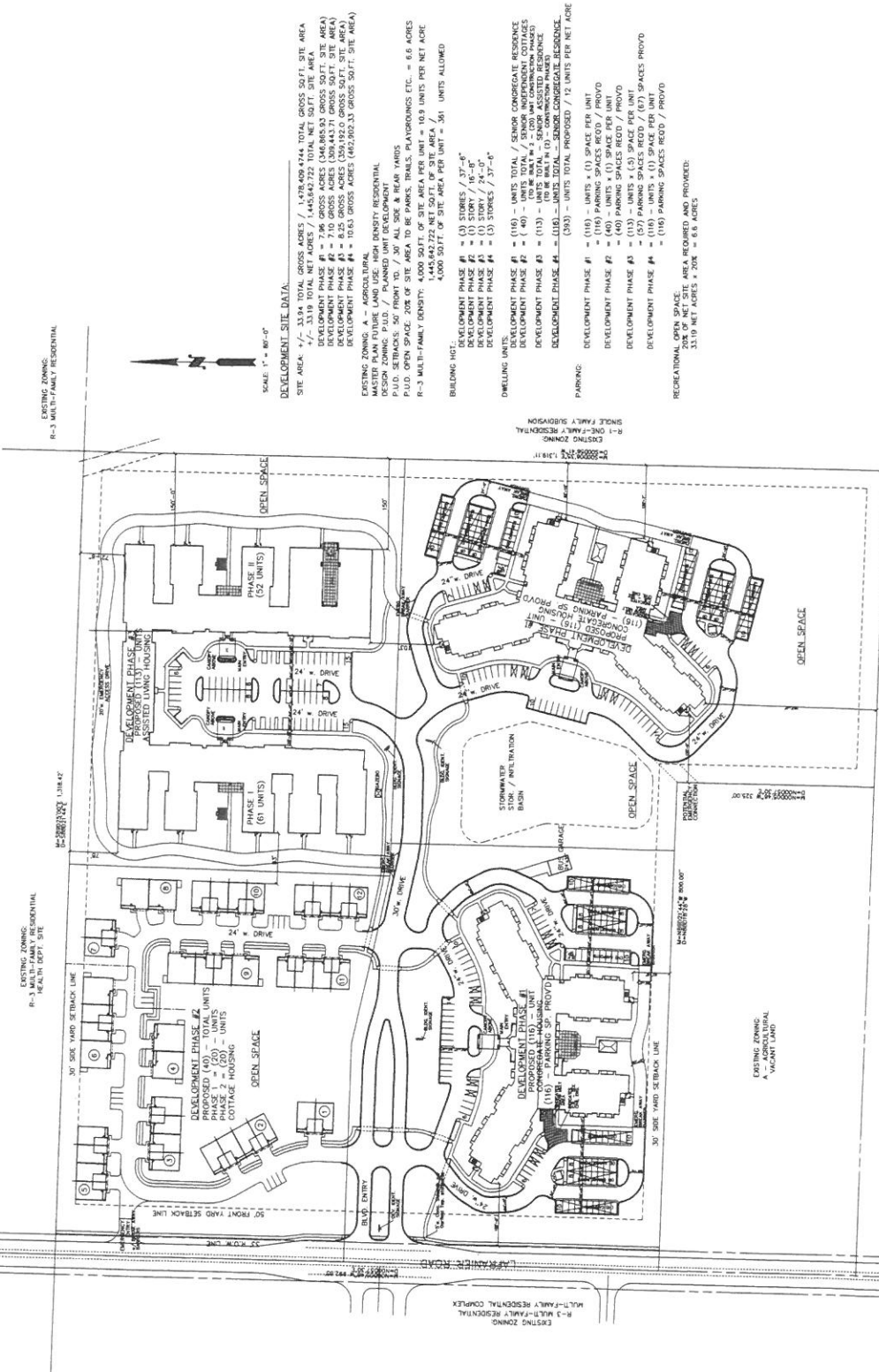
PROGRESSIVE NORTH LLC
170 W. Main St., #400
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www.progressivenorth.com

Project No.
REVIEW
01/01/19
CONCEPTUAL REVIEW
03/08/19
PRELIM P.L.D. REVIEW
10/10/19

EXISTING ZONING:
R-3 MULTI-FAMILY RESIDENTIAL

EXISTING ZONING:
R-3 MULTI-FAMILY RESIDENTIAL
HEALTH DEPT. SITE

EXISTING ZONING:
A-1 AGRICULTURAL
VACANT LAND



SCALE: 1" = 80'-0"

DEVELOPMENT SITE DATA:
 SITE AREA: 1/2 - 33.24 TOTAL GROSS ACRES / 1,478,409.4744 TOTAL GROSS SQ. FT. SITE AREA
 1/2 - 33.19 TOTAL NET ACRES / 1,445,642.722 TOTAL NET SQ. FT. SITE AREA
 DEVELOPMENT PHASE #1 = 7.10 GROSS ACRES (309,443.71 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #2 = 8.25 GROSS ACRES (359,182.0 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #3 = 10.93 GROSS ACRES (467,302.33 GROSS SQ. FT. SITE AREA)
 DEVELOPMENT PHASE #4 = 6.96 GROSS ACRES (305,482.66 GROSS SQ. FT. SITE AREA)

EXISTING ZONING: R-3 MULTI-FAMILY RESIDENTIAL
 MASTER PLAN OUTLINE LAND USE: HIGH DENSITY RESIDENTIAL
 DESIGN ZONING: P.L.D. / PLANNED UNIT DEVELOPMENT
 P.L.D. SETBACKS: 50' FRONT TO / 30' ALL SIDE & REAR YARDS
 P.U.D. OPEN SPACE: 20% OF SITE AREA TO BE PARKS, TRAILS, PLAYGROUNDS, ETC. = 6.6 ACRES
 R-3 MULTI-FAMILY DENSITY: 1,445,642.722 NET SQ. FT. OF SITE AREA = 10.3 UNITS PER NET ACRE
 R-3 MULTI-FAMILY DENSITY: 4,000 SQ. FT. OF SITE AREA PER UNIT = .561 UNITS ALLOWED

BUILDING HOUSING:
 DEVELOPMENT PHASE #1 = (3) STORIES / 37'-6"
 DEVELOPMENT PHASE #2 = (1) STORY / 16'-0"
 DEVELOPMENT PHASE #3 = (1) STORY / 14'-0"
 DEVELOPMENT PHASE #4 = (3) STORIES / 37'-0"

DWELLING UNITS:
 DEVELOPMENT PHASE #1 = (118) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE
 DEVELOPMENT PHASE #2 = (40) - UNITS TOTAL / SENIOR INDEPENDENT COTTAGES
 DEVELOPMENT PHASE #3 = (113) - UNITS TOTAL / SENIOR ASSISTED RESIDENCE
 DEVELOPMENT PHASE #4 = (118) - UNITS TOTAL / SENIOR CONGREGATE RESIDENCE

PARKING:
 DEVELOPMENT PHASE #1 = (100) - UNITS x (1) SPACE PER UNIT
 DEVELOPMENT PHASE #2 = (118) PARKING SPACES REQ'D / PROVIDED
 DEVELOPMENT PHASE #3 = (40) - UNITS x (1) SPACE PER UNIT
 DEVELOPMENT PHASE #4 = (113) - UNITS x (1) SPACE PER UNIT
 DEVELOPMENT PHASE #5 = (57) PARKING SPACES REQ'D / (67) SPACES PROVIDED
 DEVELOPMENT PHASE #6 = (110) - UNITS x (1) SPACE PER UNIT
 DEVELOPMENT PHASE #7 = (110) PARKING SPACES REQ'D / PROVIDED

RECREATIONAL OPEN SPACE:
 20% OF NET SITE AREA REQUIRED AND PROVIDED:
 33.19 NET ACRES x 20% = 6.6 ACRES

Prepared by:
Reenders, Inc.

Project:
The Village at
Laframer Woods

Garfield Twp., Michigan
Sheet Title:
Architectural
Site
Plan

Project Number: 19-110
Drawn: CT
Checked: PAVR
Date: 02.21.19
Sheet Number: SPI



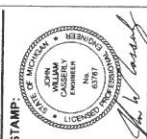
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PREPARED FOR:
Reenders Inc.
P.O. Box 100
Grand Haven, MI 49437

REVISIONS:
DATE BY COMMENTS

Reenders-Lafranier Road Site Grading Plan

2242 Lafranier Road, Traverse City, MI 49781
PART OF THE SOUTHEAST 1/4 OF SECTION 23, T21N, R11W,
GARFIELD TOWNSHIP, GRAND TRAVELER COUNTY, MICHIGAN



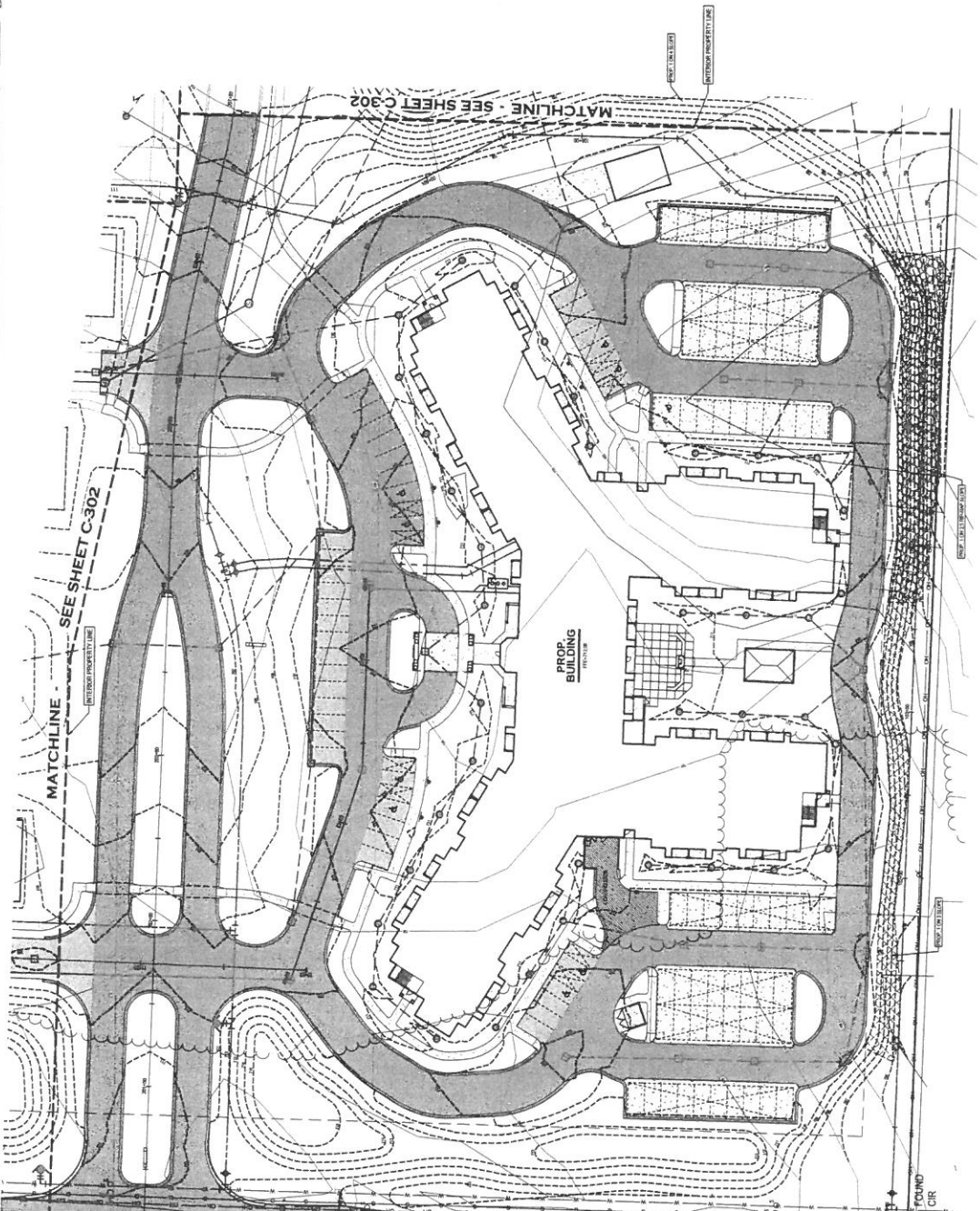
PROJECT NO:
19400124

SHEET NO:
C-301

SHEET:



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING DRIVE
 - PROPOSED DRIVE
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - EXISTING CURB
 - PROPOSED CURB
 - EXISTING FENCE
 - PROPOSED FENCE
 - EXISTING UTILITY
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 - EXISTING TREE
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 - EXISTING PLANTING
 - PROPOSED PLANTING
 - EXISTING LIGHTING
 - PROPOSED LIGHTING
 - EXISTING SIGNAGE
 - PROPOSED SIGNAGE
 - EXISTING LANDSCAPE
 - PROPOSED LANDSCAPE



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 FAX: 616-791-1001
 WWW.NERVELD.COM

PREPARED FOR:
 RENDERS INC.
 Park Place Ct.
 Grand Haven, MI 49417

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/11/11	ISSUED FOR PERMIT
2	08/11/11	ISSUED FOR PERMIT
3	08/11/11	ISSUED FOR PERMIT
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30	08/11/11	ISSUED FOR PERMIT

Reenders-Lafranier Road
 Detailed Site Landscape Plan

STAMP:

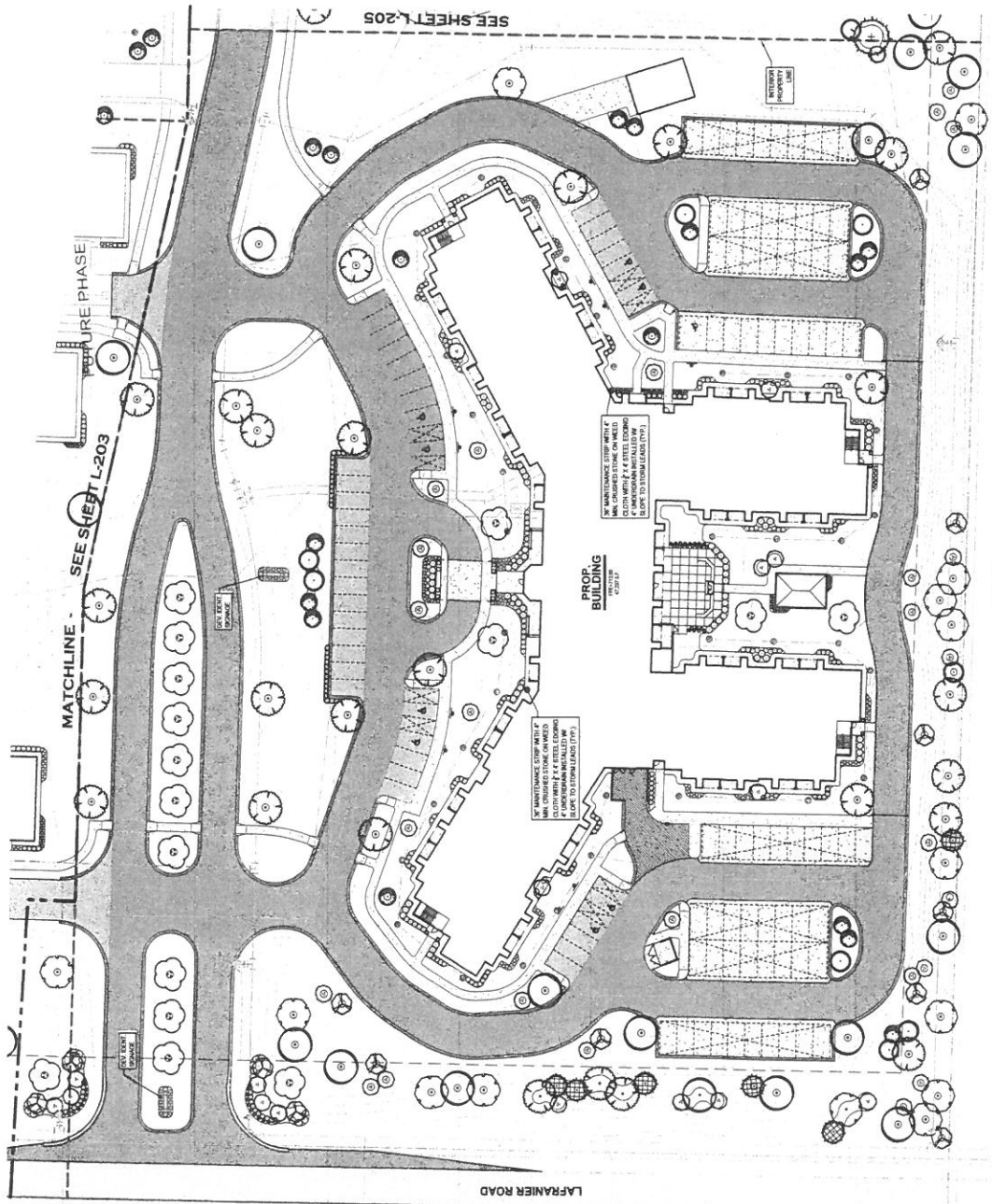
 PROJECT NO: 19400124
 SHEET NO: L-201
 SHEET:

LEGEND

- EXISTING STRUCTURES
- PROPOSED STRUCTURES
- PROPOSED DRIVEWAYS
- PROPOSED SIDEWALKS
- PROPOSED PATIO
- PROPOSED DECK
- PROPOSED PORCH
- PROPOSED STAIRS
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED UTILITY
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- PROPOSED PLANT
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- PROPOSED GRAVEL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BRICK
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- PROPOSED ACCESSORY
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- PROPOSED FURNITURE
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- PROPOSED UTENSIL
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- PROPOSED DECLARATION
- PROPOSED PROMISE
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- PROPOSED TESTAMENT
- PROPOSED ESTATE
- PROPOSED TRUST
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- PROPOSED SOCIETY
- PROPOSED CIVILIZATION

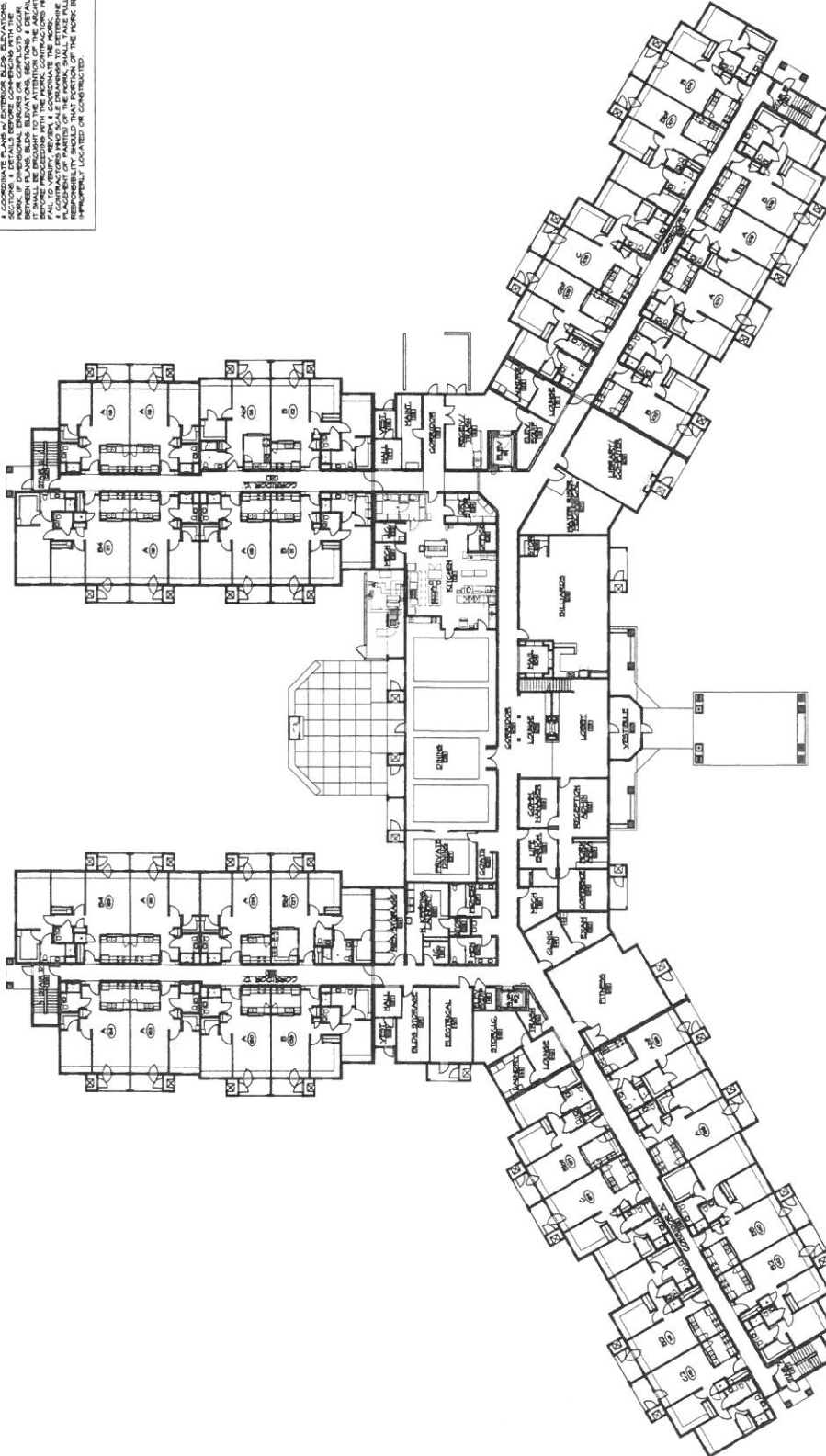
PLANT SCHEDULE - CONGREGATE BUILDING 1 ENTRANCE

NO.	SYMBOL	PLANT NAME	SIZE	QTY	NOTES
1	(Symbol)	Red Maple	1 1/2" DBH	10	Plant in front of building
2	(Symbol)	White Birch	1 1/2" DBH	10	Plant in front of building
3	(Symbol)	Black Gum	1 1/2" DBH	10	Plant in front of building
4	(Symbol)	Red Oak	1 1/2" DBH	10	Plant in front of building
5	(Symbol)	White Oak	1 1/2" DBH	10	Plant in front of building
6	(Symbol)	Black Oak	1 1/2" DBH	10	Plant in front of building
7	(Symbol)	Red Pine	1 1/2" DBH	10	Plant in front of building
8	(Symbol)	White Pine	1 1/2" DBH	10	Plant in front of building
9	(Symbol)	Black Pine	1 1/2" DBH	10	Plant in front of building
10	(Symbol)	Red Spruce	1 1/2" DBH	10	Plant in front of building
11	(Symbol)	White Spruce	1 1/2" DBH	10	Plant in front of building
12	(Symbol)	Black Spruce	1 1/2" DBH	10	Plant in front of building
13	(Symbol)	Red Fir	1 1/2" DBH	10	Plant in front of building
14	(Symbol)	White Fir	1 1/2" DBH	10	Plant in front of building
15	(Symbol)	Black Fir	1 1/2" DBH	10	Plant in front of building
16	(Symbol)	Red Cedar	1 1/2" DBH	10	Plant in front of building
17	(Symbol)	White Cedar	1 1/2" DBH	10	Plant in front of building
18	(Symbol)	Black Cedar	1 1/2" DBH	10	Plant in front of building
19	(Symbol)	Red Juniper	1 1/2" DBH	10	Plant in front of building
20	(Symbol)	White Juniper	1 1/2" DBH	10	Plant in front of building
21	(Symbol)	Black Juniper	1 1/2" DBH	10	Plant in front of building
22	(Symbol)	Red Cypress	1 1/2" DBH	10	Plant in front of building
23	(Symbol)	White Cypress	1 1/2" DBH	10	Plant in front of building
24	(Symbol)	Black Cypress	1 1/2" DBH	10	Plant in front of building
25	(Symbol)	Red Palm	1 1/2" DBH	10	Plant in front of building
26	(Symbol)	White Palm	1 1/2" DBH	10	Plant in front of building
27	(Symbol)	Black Palm	1 1/2" DBH	10	Plant in front of building
28	(Symbol)	Red Yucca	1 1/2" DBH	10	Plant in front of building
29	(Symbol)	White Yucca	1 1/2" DBH	10	Plant in front of building
30	(Symbol)	Black Yucca	1 1/2" DBH	10	Plant in front of building



818 W. Long Lake Road
Farmington Hills, Michigan 48334
248-540-5940 Fax 248-540-4833
Email pm@progressiveassociates.com

NOTE TO ALL CONTRACTORS:
ALL CONTRACTORS SHALL VERIFY ALL CONDITIONS
AND COORDINATE WITH ALL OTHER CONTRACTORS.
A COORDINATE PLAN OF EXISTING UTILITIES SHALL
BE PROVIDED TO ALL CONTRACTORS. ALL CONTRACTORS
SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION
AND DEPTH OF ALL UTILITIES PRIOR TO ANY
WORK. IF DIMENSIONAL ERRORS OR OMISSIONS OCCUR,
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
TO VERIFY AND CORRECT. THE ARCHITECT
SHALL BE RESPONSIBLE FOR THE LOCATION AND
DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL
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PRIOR TO ANY WORK. ALL CONTRACTORS SHALL
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PRIOR TO ANY WORK. ALL CONTRACTORS SHALL
VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES
PRIOR TO ANY WORK.



Issued For	
REVIEW	7/24/19
REVIEW	8/30/19
REVIEW	10/2/19

Developer
Reenders Inc.
Project
Phase 1 Congregate Care
The Village at
LaFramer Woods

Garfield Township, Michigan
Sheet Title

**COMPOSITE
FIRST FLOOR PLAN**

Project Number	19-110-1
Revision	01
Checked By	BD
Date	7/11/19
Sheet Number	A1.1

UNIT PLAN	UNIT AREA	UNIT DESCRIPTION	TOTAL UNITS
A	(0834.12)	1 BEDRM / 1 BA TH	12
AP	(0845.12)	2 BEDRM / 1 BA TH (Owner Unit)	2
B	(0974.12)	2 BEDRM / 2 BA TH (Owner Unit)	6
BC	(0974.12)	2 BEDRM / 2 BA TH (Owner Unit)	2
BD	(1108.42)	2 BEDRM / 2 BA TH (incl. Landsc.)	2
BE	(1108.42)	2 BEDRM / 2 BA TH (incl. Landsc.)	2
BF	(1108.42)	2 BEDRM / 2 BA TH (incl. Landsc.)	2
CG	(0974.12)	2 BEDRM / 2 BA TH (Owner Unit)	2
CH	(0974.12)	2 BEDRM / 2 BA TH (Owner Unit)	1
CI	(0974.12)	2 BEDRM / 2 BA TH (Owner Unit)	1
TOTAL UNITS	(0974.12)	2 BEDRM / 2 BA TH (incl. Landsc.)	12

COMPOSITE FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE: 7/11/19



814 W. Long Lake #250
Bloomfield Hills, MI 48302
Tel: 248.853.8800
Email: paul@progressiveassociates.com

NOTE TO ALL CONTRACTORS:
ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL CONDITIONS OF THE WORK WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ON THE ARCHITECT'S PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

Issued For:
REVIEW
7.24.19
REVIEW
8.30.19
REVIEW
10.2.19

Developer:
Reenders Inc.
Phase 1 Congregate Care
Project:

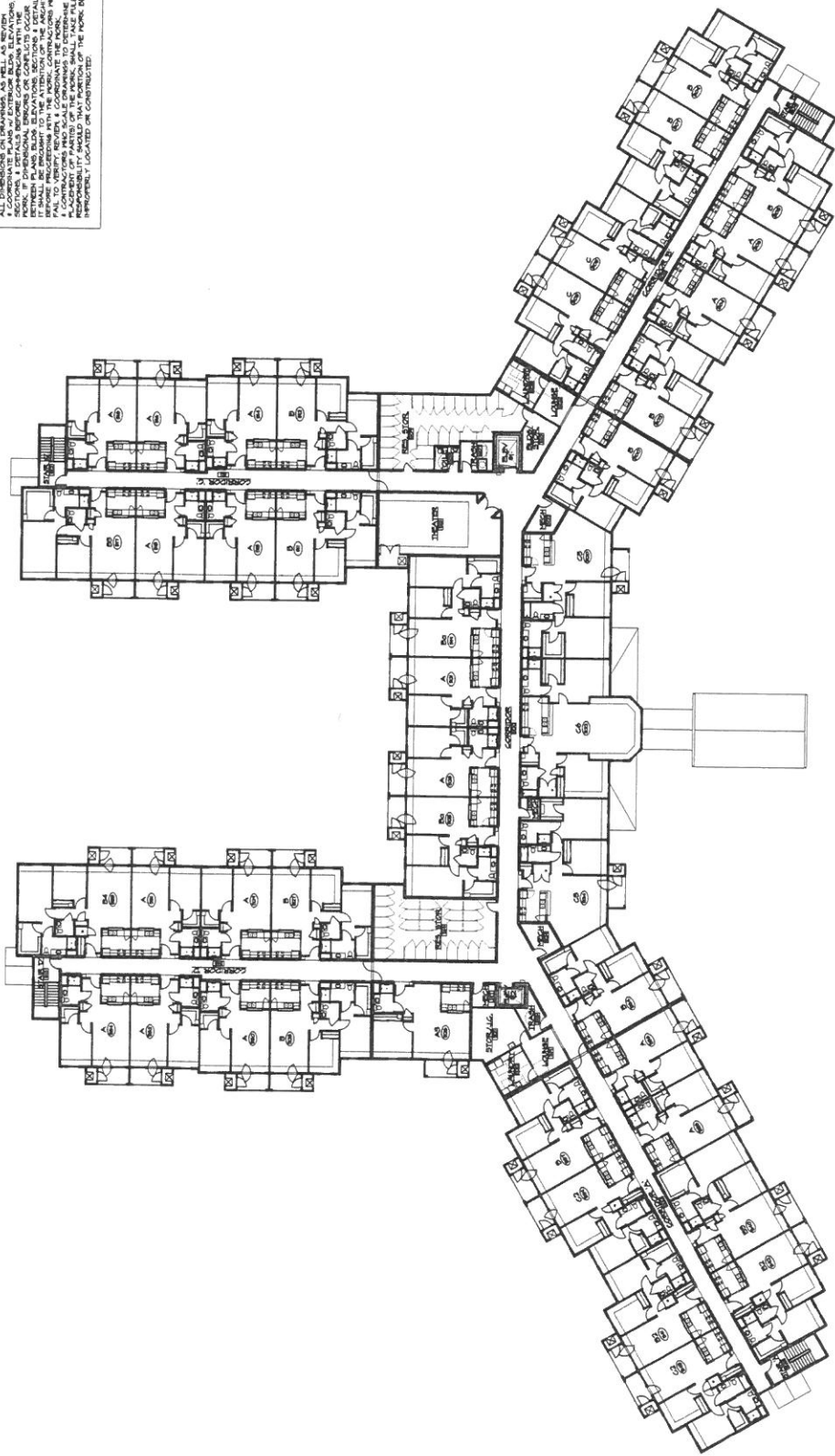
The Village at
Lafrenier Woods

Garfield Township, Michigan
Sheet Title

**COMPOSITE
THIRD FLOOR PLAN**

Project Number: 19-110-1
Drawn: REG
Checked: DT
Date: 7.11.19
Sheet Number

A3.1



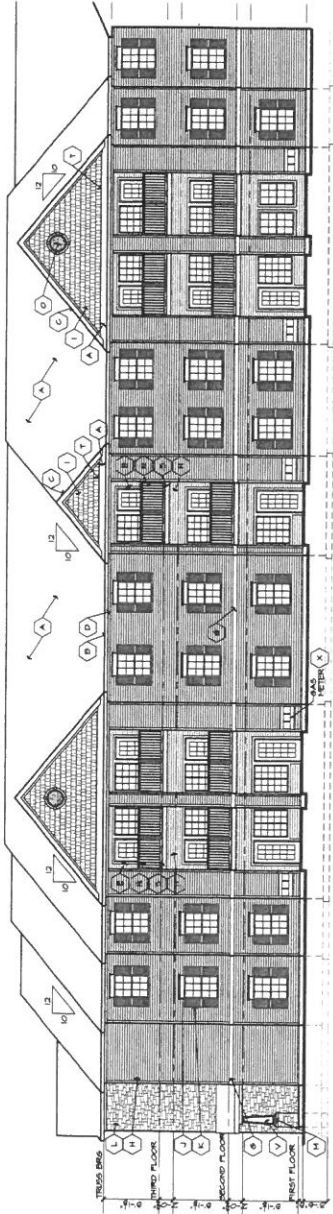
UNIT TABULATION

UNIT TYPE	UNIT AREA	THIRD FLOOR	TOTAL UNITS
A	(084.47)	1 (083RM/1 BA/TH)	1
A1	(084.47)	1 (083RM/1 BA/TH)	1
B	(087.47)	2 (083RM/1.5 BA/TH)	2
B1	(087.47)	2 (083RM/1.5 BA/TH)	2
B2	(079.47)	2 (083RM/1.5 BA/TH) (not Landmark)	2
B3	(079.47)	2 (083RM/1.5 BA/TH) (not Landmark)	2
B4	(106.47)	2 (083RM/1.5 BA/TH) (not Landmark)	2
C	(097.47)	2 (083RM/2 BA/TH)	2
C1	(097.47)	2 (083RM/2 BA/TH) (not Landmark)	2
C2	(121.47)	2 (083RM/2 BA/TH) (not Landmark)	2
C3	(121.47)	2 (083RM/2 BA/TH) (not Landmark)	2
C4	(126.47)	2 (083RM/2 BA/TH) (not Landmark)	2
C5	(126.47)	2 (083RM/2 BA/TH) (not Landmark)	2
TOTAL UNITS			22

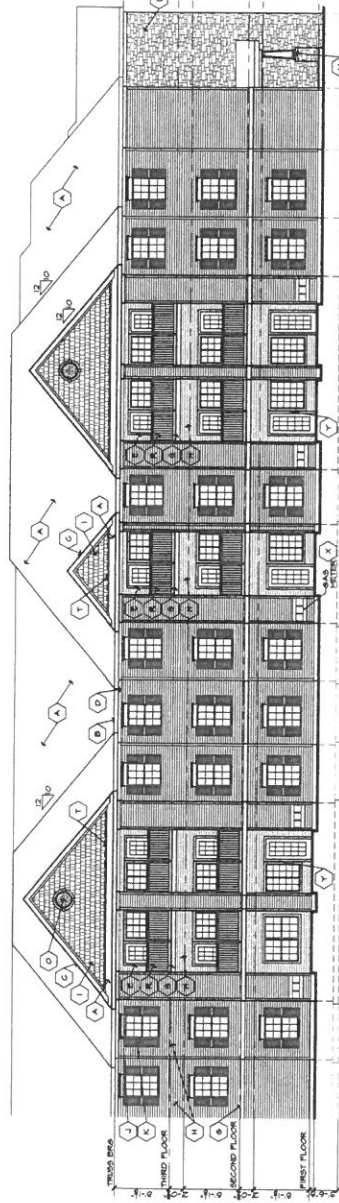
COMPOSITE THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE: 7.11.19

818 W. Long Lake #250
Farmington Hills, MI 48334
248.545.5440 Fax: 248.545.4720
Email: paul@progressiveassociates.com

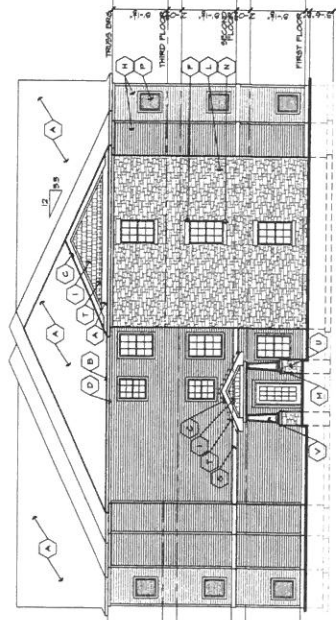
Issued For:
REVIEW
7.24.19
REVIEW
10.2.19



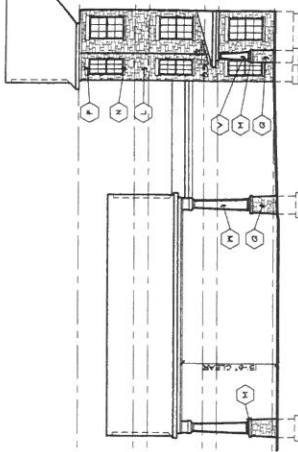
WING 'A' ELEVATION
SCALE: 1/8" = 1'-0"



WING 'B' ELEVATION
SCALE: 1/8" = 1'-0"



WING 'B' END ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

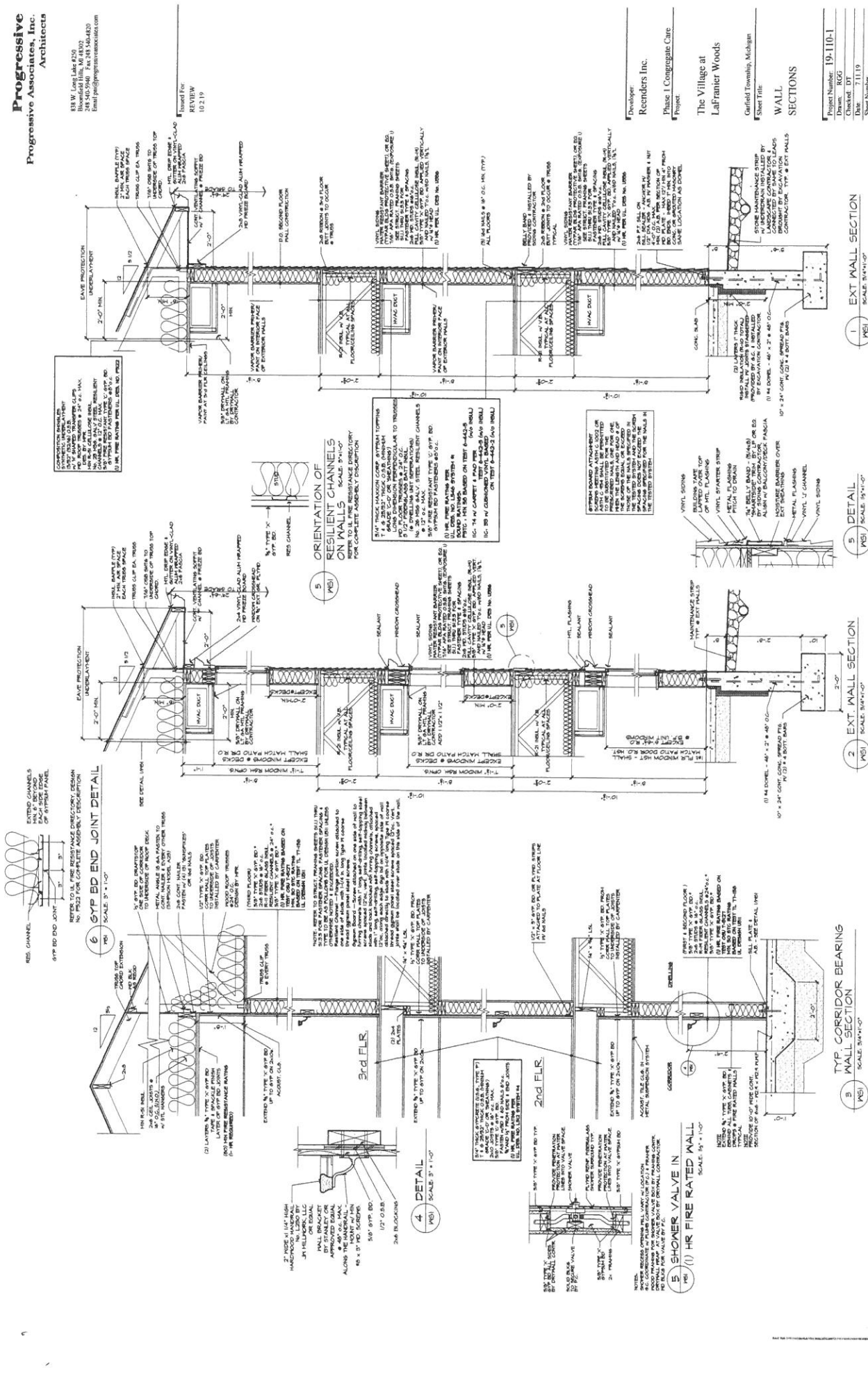
MATERIAL LEGEND

- (A) ASPHALT SHINGLES
- (B) 2x6 VENT EDGES & WATERFALL
- (C) 1x6 VENT EDGES ON VINYL CLAD
- (D) 2x4 VENT CLAD ALUM. FREEZE BD
- (E) 2x4 VENT CLAD ALUM. FREEZE BD
- (F) 1/4" VINYL CLAD SUBROOFING
- (G) STONE HEAD (PRECAST)
- (H) 8" VINYL BELLY-BAND
- (I) HORIZONTAL VINYL SIDING
- (J) VINYL SHAKE SIDING
- (K) VINYL PINECON HEAD
- (L) 3" SHUTTERS
- (M) ADHERED CONCRETE MAJORITY VENEER
- (N) PRECAST CAP
- (O) ADHERED MANUFACTURED STONE VENEER IV SLOPED
- (P) DECORATIVE LAOWER
- (Q) MECHANICAL LAOWER
- (R) MASONRY VENEER
- (S) 42" HIGH ALUM. RAILING
- (T) DECKING
- (U) METAL FLASHING
- (V) ADHERED CONCRETE MAJORITY VENEER
- (W) 1/2" TAPERED COLUMN
- (X) 20" IMPRESSED COLUMN
- (Y) PAINT TO MATCH SIDING ALUMINUM ATTACHED IN DOORS & WINDOWS



Developer:
Reenders Inc.
Project:
Phase I Congregate Care
The Village at
LaFrantier Woods
Garfield Township, Michigan
Sheet Title:
ELEVATIONS
Project Number: 19-1100-1
Drawn: RGG
Checked: DT
Sheet Number:
A5.1

REVIEW
10.2.19



CONCRETE BARRIER
3\"/>

ORIENTATION OF RESILIENT CHANNELS ON WALLS
SCALE 3/4\"/>

6 GYP BD END JOINT DETAIL
SCALE 3/4\"/>

4 DETAIL
SCALE 3/4\"/>

5 SHOWER VALVE IN (1) HR FIRE RATED WALL
SCALE 3/4\"/>

2 EXT. WALL SECTION
SCALE 3/4\"/>

3 CORRIDOR BEARING WALL SECTION
SCALE 3/4\"/>

5 DETAIL
SCALE 3/4\"/>

1 EXT WALL SECTION
SCALE 3/4\"/>

5 DETAIL
SCALE 3/4\"/>

5 DETAIL
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Project Number: 19-110-1
Checked: DT
Date: 7.11.19
Sheet Number: WSI

Developer:
Reenders Inc.
Phase I Congregate Care

The Village at
Laframer Woods

Garfield Township, Michigan
Sheet Title:
WALL
SECTIONS

Issued For
 REVIEW

Developer:
 Reenders Inc.

Project:
 Cottage Units

The Village at
 LaFrainer Woods

Garfield Township, Michigan

Sheet Title:

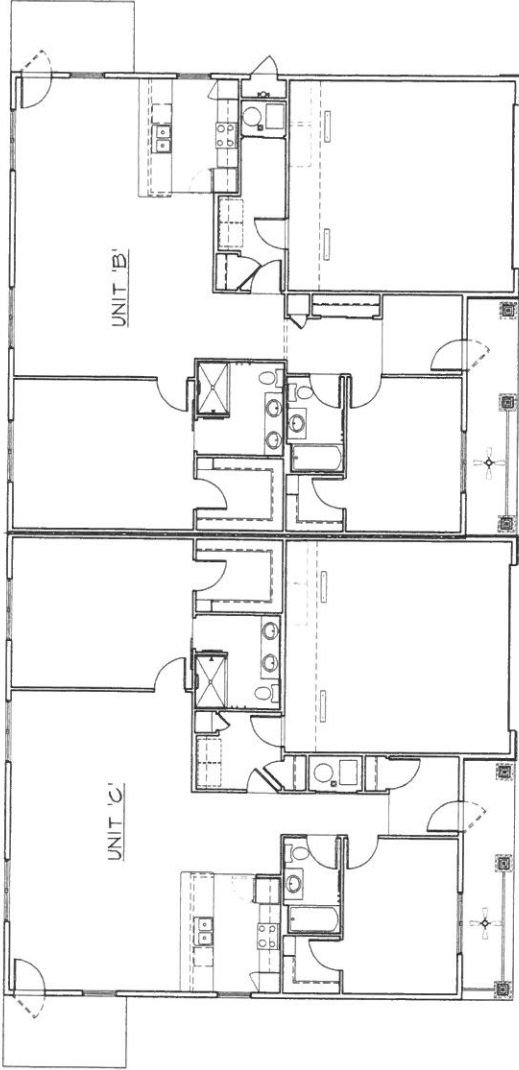
TYPICAL
 COTTAGE BUILDING
 FLOOR PLAN

Project Number:

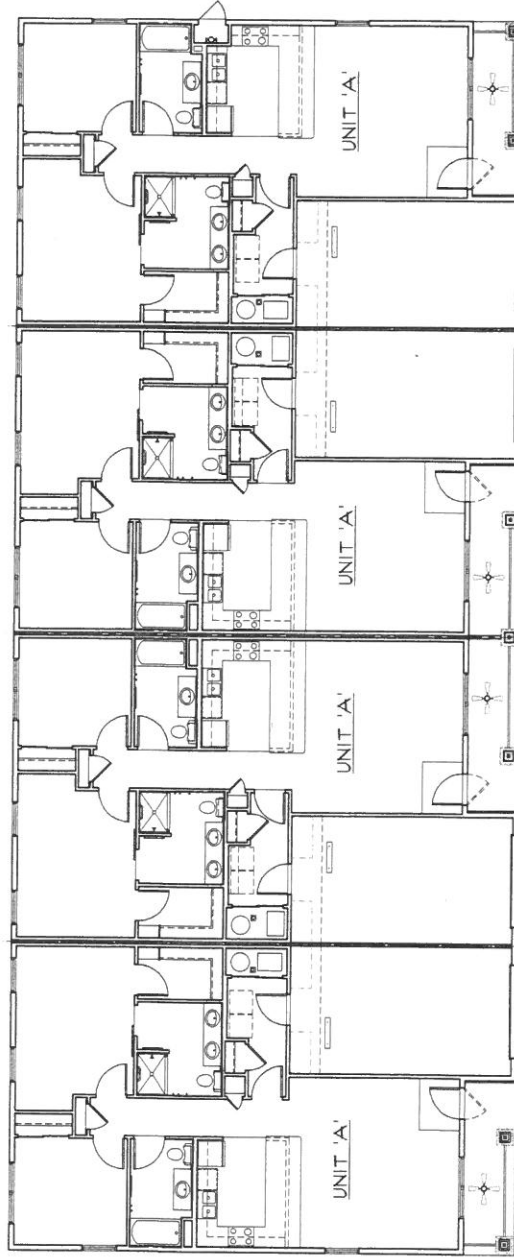
Drawn by:

Date:

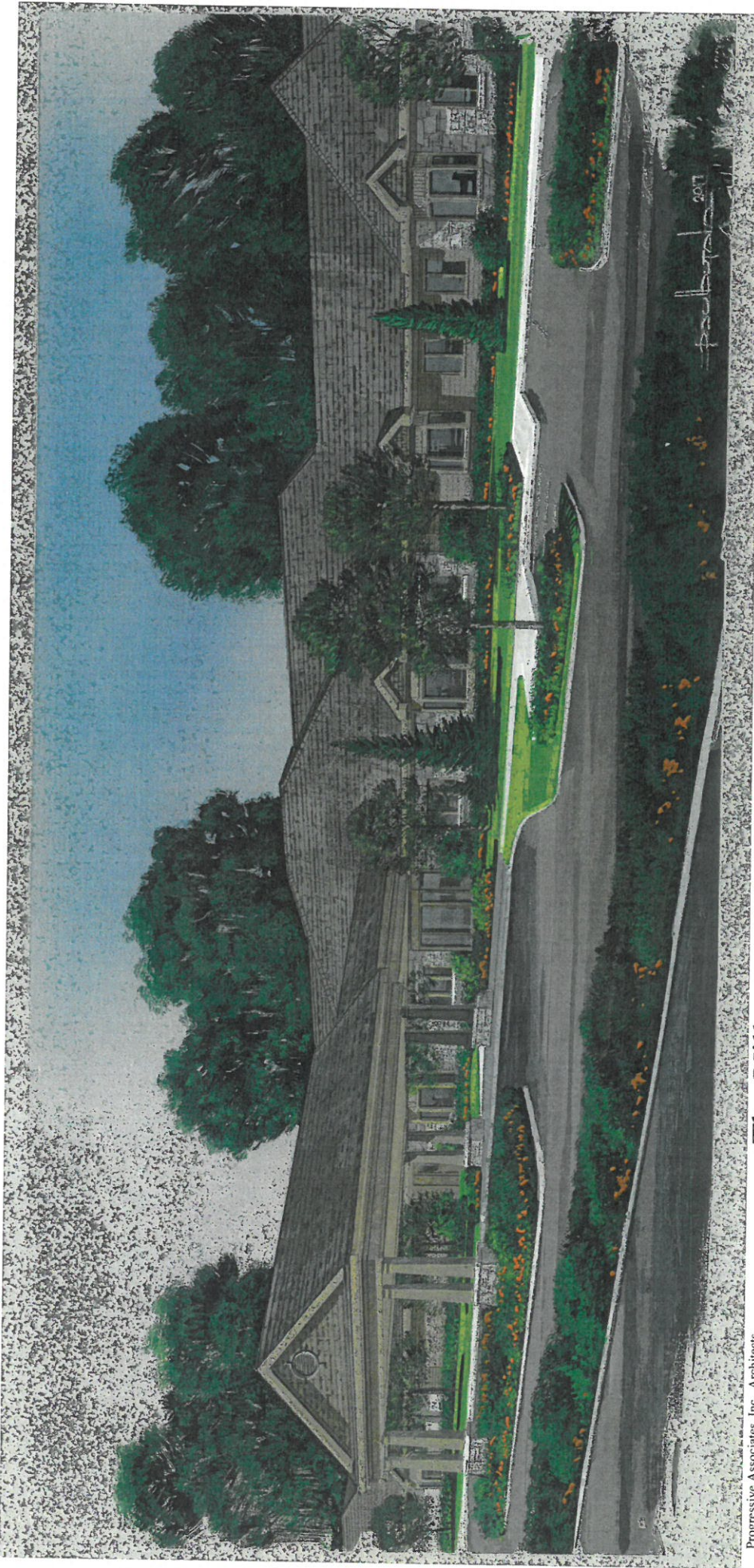
Sheet Number
SKI



TYPICAL COMPOSITE FLOOR PLAN
 SCALE: 3/8"=1'-0"



TYPICAL COMPOSITE FLOOR PLAN
 SCALE: 3/8"=1'-0"



Progressive Associates, Inc. Architects
838 W. Long Lake Road
Suite 250
Bloomfield Hills, Michigan 48302
248-540-5940

The Village at LaFranier Woods - Assisted Living

Garfield Township, Michigan

developer: REENDERS, Inc.



Progressive Associates, Inc. Architects
838 W. Long Lake Road
Suite 250
Bloomfield Hills, Michigan 48302
248-540-5940

The Village at LaFranier Woods - Congregate

Garfield Township, Michigan

developer: REENDERS, Inc.




Progressive Associates, Inc. Architects
838 W. Long Lake Road
Suite 250
Bloomfield Hills, Michigan 48302
248-540-5940

The Village at LaFranier Woods - Cottages

Garfield Township, Michigan

developer: REENDERS, Inc.

 Charter Township of Garfield Planning Department Report No. 2019-150			
Prepared:	November 6, 2019	Pages:	X
Meeting:	November 13, 2019 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SUP-2019-06 Michigan State University Federal Credit Union – Introduction		
File No.	SUP-2019-06	Parcel No.	05-016-012-00 & 05-016-013-00
Owner:	Michigan State University Federal Credit Union		
Agent:	Gosling Czubak Engineering Sciences, Inc.		

BRIEF OVERVIEW:

- 3750 N. US 31
- 4.62 acres, combined for two parcels
- Existing uses include offices and a vacant site
- C-G General Commercial zoning district

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit (“SUP”) for a financial institution including a drive-through. Drive-in or drive-through businesses not otherwise identified are permitted via special use permit in the C-G district.

SUBJECT PROPERTY:

The site is located on the east side of US 31, just south of Big Boy and across from Meijer. The applicant plans to merge the two subject parcels, demolish the existing buildings, and construct a new building for a financial institution with drive-through. There are two access drives for the site, one drive for each of the existing parcels. The proposed drive-through would include three drive-through service lanes at the back of the site.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.

The site plan shows three drive-through service lanes at the back of the building and two ATM lanes near the southern edge of the site. Service will be provided to customers in automobiles; all other proposed activities would be inside the building.

A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.

The drive-through lanes are proposed for the back of the building; setbacks are at least 60 feet.

Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.

There are no intersecting streets within 50 feet.

Pedestrian areas shall be clearly marked and maintained.

The site plan shows internal sidewalks around the front and sides of the building and a designated connection to the pathway on US 31, using part of one of the existing access drives.

Only one (1) ingress-egress drive shall be allowed per major thoroughfare.

There are two existing ingress-egress drives for this site. The southern drive will be the primary ingress-egress drive and accommodate two-way traffic. The northern drive appears to only allow for one-way traffic going out of the site and includes a designated connection to the pathway on US 31. Since there are two existing parcels, each has had their own access drive.

All parking requirements shall comply with Article 5 of this Ordinance.

Financial institutions have a minimum parking requirement of 1 space for each 200 square feet of floor area and a maximum 1 space for each 100 square feet of floor area. The proposed building will be 10,131 square feet, giving a minimum of 51 spaces and a maximum of 102 spaces. There will be 58 total parking spaces, including 4 barrier-free, as well as 1 loading space.

Bicycle parking shall be provided at the rate of 2 spaces per 25 motor vehicle spaces. There are 3 bike racks proposed which will give space for 6 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long, which is shown on the north side of the site.

Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.

Upon combination of the parcels, the lot width will be 460 feet.

Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).

There are three drive-through service lanes. The site plan does not specifically show if twelve (12) cars can be accommodated but there appears to be enough space at the rear and side of the

site. There are also two ATM lanes at the southern end of the site, but these are not considered to be drive-through lanes. To allow for queuing in the ATM lanes, the ATM may be shifted to the east to accommodate queuing vehicles.

Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.

This requirement shall be enforced as needed as part of the operation of the site.

The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.

The applicant shall provide information demonstrating that this requirement is met.

Other site plan elements include the following:

Natural Features

The site is adjacent to Kids Creek and to wetlands. Specifically, the site is near state-regulated wetlands which could potentially be subject to wetland delineation identification and certification from EGLE. The proposed area for redevelopment of the site does not have any significant natural features.

Building Dimensions

The proposed building height will be 25.31 feet, which meets the maximum height of 35 feet in the C-G district. The site plan shows the building setback envelope and that the building will fit within all of the setbacks.

Cross-Access

The parking lot will have two stubs for future connections to neighboring sites allowing for cross-access and ingress-egress between sites. As part of this process, an easement shall be recorded to document the cross-access agreement.

Snow Storage

The site plan identifies the total parking lot area as 41,500 square feet. Snow storage is required as a rate of 10 square feet per 100 square feet. The southern and eastern parts of the site near the detention basin are designated as the snow storage area, totaling 4,330 square feet to meet this standard.

Storm Water Management

Storm water management is subject to review and approval by the Township Engineer.

Signage

An entry wall sign and ground sign are proposed. In the C-G district, the following signs are permitted:

- One freestanding sign. For a lot of this width, the freestanding sign may be up to 80 square feet in area per sign face. The sign must be set back 10 feet from all lot lines. The sign proposed is a monument sign, which shall have a maximum height of 10 feet. The proposed sign is 50 square feet per sign face, set back 33.5 feet from the nearest lot line, and is just under 8 feet in height.

- One wall sign. The maximum area is 100 square feet or 20% of the wall area, whichever is less. The proposal includes one wall sign on the front of the building at 32 square feet.

Signs are subject to a sign permit application and review.

Lighting / Photometric Plan

The electrical site plan shows the proposed lighting for the site. Lighting requirements are in Section 517 and include the following:

- **Shielding and Filtration.** Lighting fixtures shall provide a glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. The light poles as shown on Polebase Detail 1 are downward directed, but the proposed flood lighting is not downward directed.
- **Illumination.** Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Based on the photometric plan provided, the proposed lighting would meet these standards.
- **Color Temperature.** All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale. No information on color temperature is shown.
- **Pole Height.** All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district. The proposed pole height is 22 feet, including the base structure, which meets the maximum height of 35 feet in the C-G district.

Landscaping and Screening

The plan includes extensive new landscaping proposed as part of the site redevelopment. The relevant landscaping standards for this site include the following:

- **Buffer.** The primary use on the site and adjacent sites is commercial. Commercial uses require a Type “B” buffer between them. A Type “B” buffer consists of the following:
 - Two large trees, one medium or small tree, and 4 shrubs per 100 linear ft. of greenspace
 - Minimum width of 10 feet
 - Ground cover (e.g. lawn space) on areas not used for parking
- **Parking Area Landscaping.** This section applies to all parking areas of more than ten (10) spaces including the following requirements:
 - Minimum width of 10 feet on the parking area perimeter where not adjacent to a building and planted according to buffer requirements (no additional planting requirements)

The landscape plan includes a total of 13 large deciduous trees, 17 small deciduous trees, 15 evergreen trees, 32 deciduous shrubs, and 38 evergreen shrubs, along with grasses and other ground cover. Based on the information provided on the landscape plan, these buffer standards appear to be met.

Trash Enclosure

The dumpster and enclosure will be in the northeast corner of the site, just beyond the drive-through area.

Development Impacts

An Impact Assessment was submitted with the application. As mentioned above, the site is near wetlands to the east and the site development must not negatively impact these wetlands. The site is served by the existing municipal water and sewer systems.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT application SUP-2019-06 for a Special Use Permit for a financial institution including a drive-through at 3750 N. US 31 BE SCHEDULED for a public hearing for December 11, 2019.

Any additional information the Commissioners deem necessary should be added to this motion.

Attachment:

1. 11" x 17" site plan set from applicant dated October 10, 2019
2. Impact Assessment submitted October 10, 2019

Michigan State University Federal Credit Union

3750 N. US 31

Traverse City, MI 49684

OWNER
Michigan State University
Federal Credit Union
3777 West Road
East Lansing, Michigan 48823
(517) 333 - 2424 ex. 2207

ARCHITECT
NEUMANN/SMITH ARCHITECTURE
400 GALLERIA OFFICENTRE, SUITE 555
SOUTHFIELD, MICHIGAN 48034
(248) 352-8310

CONSTRUCTION MANAGER
Granger
6267 Aurelius Road
Lansing, Michigan 48911
(517) 887 - 4127

CIVIL ENGINEER
Gosling Czubak Engineering Sciences, Inc
1280 Business Park Dr, Traverse City, Michigan 49688
(231) 946 - 9191

LANDSCAPE ARCHITECT
Gosling Czubak Engineering Sciences, Inc
1280 Business Park Dr, Traverse City, Michigan 49688
(231) 946 - 9191

STRUCTURAL ENGINEER
SDI Structures
275 E. Liberty Street
Ann Arbor, Michigan 48104
(734) 213 - 6901

MECH / ELECT ENGINEER
Strategic Energy Solutions, Inc.
4000 W. Eleven Mile Road
Berkley, Michigan 48072
(248) 399 - 1900

CODE DATA	
CODES OF JURISDICTION	
1.	2015 MICHIGAN BUILDING CODE
2.	MICHIGAN PLUMBING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
3.	MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE MECHANICAL CODE
4.	MICHIGAN UNIFORM ENERGY CODE INCORPORATING THE 2008 EDITION OF THE INTERNATIONAL ENERGY CODE
5.	2014 NATIONAL ELECTRICAL CODE (NEC) (WITH MICHIGAN ELECTRICAL CODE)
6.	AMERICANS WITH DISABILITY ACT - ACCESSIBILITY GUIDELINES (ADAAG)
BUILDING DATA	
BUILDING TYPE:	10,131 SF
TOTAL GROSS SQUARE FOOTAGE:	10,131 SF
USE GROUP:	B
CONSTRUCTION TYPE:	SB
FIRE SUPPRESSION TYPE:	FULLY SPRINKLERED
MIXED OCCUPANCIES:	N/A
FIRE RESISTANCE RATING:	



INDEX OF DRAWINGS	
NO.	TITLE SHEET
1.	GENERAL
2.	CIVIL
3.	LANDSCAPE
4.	ARCHITECTURAL
5.	ELECTRICAL
6.	MECH/ELECT
7.	STRUCTURAL
8.	CONSTRUCTION
9.	MEASUREMENTS
10.	PERMITS
11.	AS-BUILT
12.	CONTRACT ADMINISTRATION
13.	CONTRACT ADMINISTRATION
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92.	CONTRACT ADMINISTRATION
93.	CONTRACT ADMINISTRATION
94.	CONTRACT ADMINISTRATION
95.	CONTRACT ADMINISTRATION
96.	CONTRACT ADMINISTRATION
97.	CONTRACT ADMINISTRATION
98.	CONTRACT ADMINISTRATION
99.	CONTRACT ADMINISTRATION
100.	CONTRACT ADMINISTRATION

PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROVIDED
PARKING SPACE DIMENSIONS	8'-0" x 19'-0" WIDE X 20'-0" DEEP	8'-0" x 19'-0" WIDE X 20'-0" DEEP
LOADING / UNLOADING AREA	PARALLEL - 8'-0" X 25'-0" SPACES (1) SMALL	PROVIDED
PARKING CALCULATIONS		
TOTAL GROSS SQUARE FOOTAGE	10,131 SF	
1 SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA (M)	10,131 / 200 = 50.66 = 51 MAX	
1 SPACE PER 100 SQ. FT. OF GROSS FLOOR AREA (MAX)	10,131 / 100 = 101.31 = 101 MAX	
NUMBER FREE SPACES	100 = 3 SPACES	4 SPACES
REMARKS	61 MIN, 101 MAX	55 SPACES
TOTAL NUMBER OF SPACES PROVIDED		58 SPACES

MIN. TABLE 208.2 PARKING SPACES	
TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3

Architecture
NEUMANN/SMITH
SOUTHFIELD - DETROIT
400 Galleria Officentre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
www.neumannsmith.com

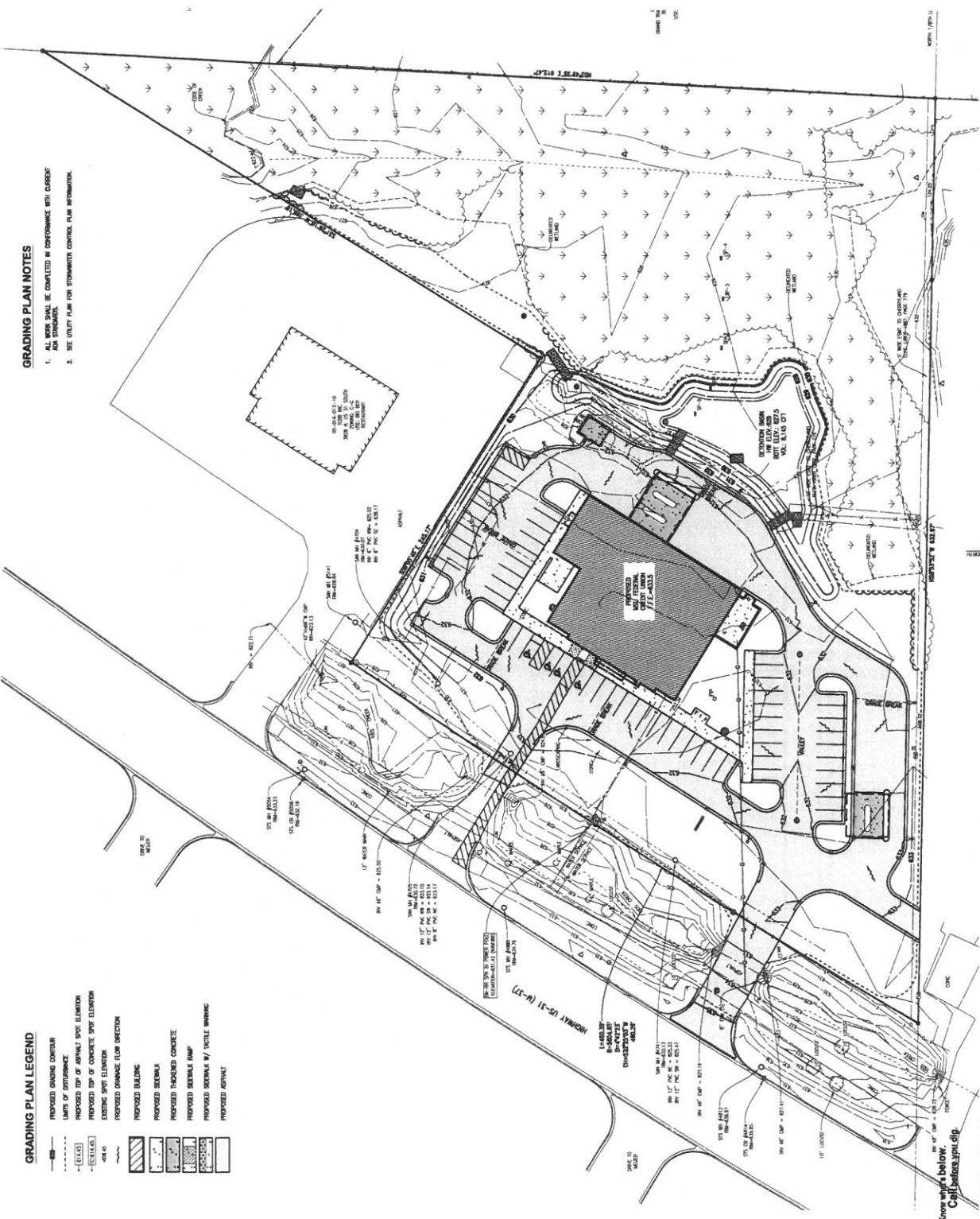
Michigan State University
FEDERAL CREDIT UNION
Michigan State University
Federal Credit Union
3750 N. US. 31
Traverse City, MI 49684



Site Plan Approval 10.10.2019
Checked: [] Preliminary [] Construction [] Record
Approved: [] Do not scale dimensions only
Sheet Number: 2018015.13

TITLE SHEET
2018015.13
Scale: NTS
Sheet: A001

- GRADING PLAN NOTES**
1. THIS SHALL BE COMPLETED IN CONFORMANCE WITH CURRENT ALL APPLICABLE CODES AND REGULATIONS.
 2. SEE UTILITY PLAN FOR STORMWATER CONTROL PLAN INFORMATION.

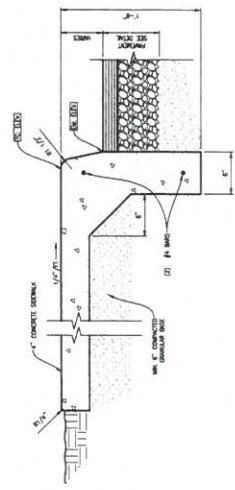


- GRADING PLAN LEGEND**
- PROPOSED GRADING CONTOUR
 - LIMITS OF DISTURBANCE
 - PROPOSED TOP OF ASPHALT SPOT ELEVATION
 - PROPOSED TOP OF CONCRETE SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING DRAINAGE FLOW DIRECTION
 - PROPOSED BUILDING
 - PROPOSED SIDEWALK
 - PROPOSED THICKENED CONCRETE
 - PROPOSED SIDEWALK RAMP
 - PROPOSED SIDEWALK W/ DUTILE MANHOLE
 - PROPOSED ASPHALT

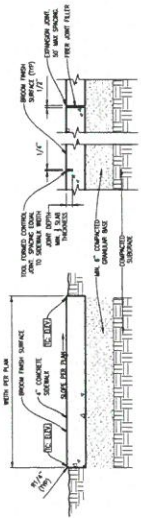
OVERALL GRADING PLAN
 SCALE 1" = 30'

811
 Know what's below.
 Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. THE EXISTING UTILITIES ARE NOT TO BE DISTURBED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

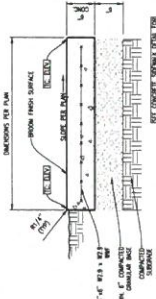


INTEGRAL SIDEWALK AND CURB DETAIL (1)
 NOT TO SCALE (C6.1)

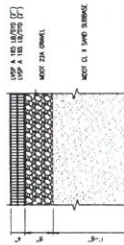


LONGITUDINAL SECTION CONCRETE SIDEWALK DETAIL (2)
 NOT TO SCALE (C6.1)

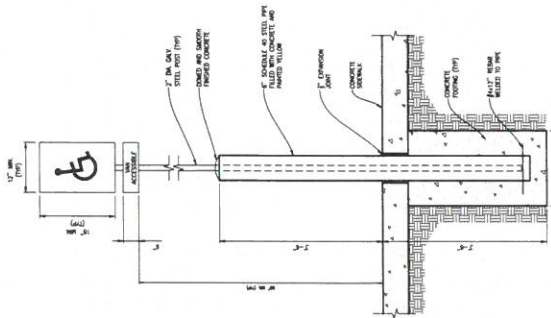
PERPENDICULAR SECTION



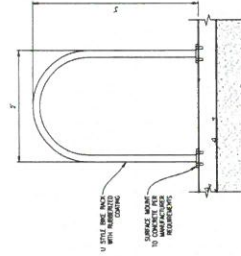
THICKENED CONCRETE DETAIL (3)
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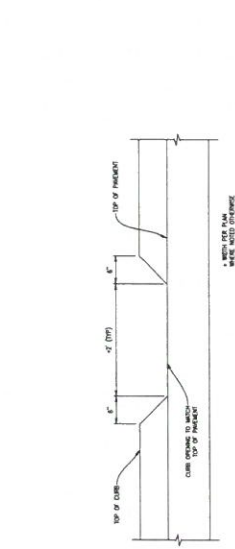
TYPICAL PAVEMENT DETAIL (4)
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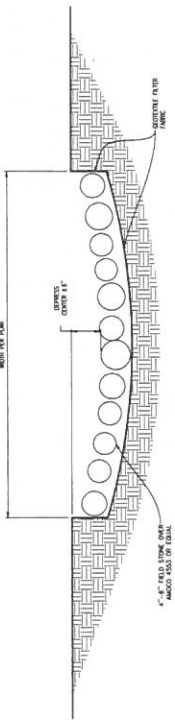
HANDICAP SIGN DETAIL (5)
 NOT TO SCALE (C6.1)



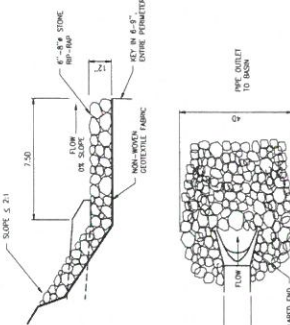
BIKE RACK DETAIL (6)
 NOT TO SCALE (C6.1)



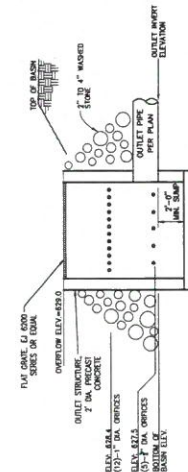
DRAINAGE CURB CUT DETAIL (7)
 NOT TO SCALE (C6.1)



RIPRAP SPILLWAY DETAIL (8)
 NOT TO SCALE (C6.1)



OUTLET PIPE RIP-RAP DISSIPATER DETAIL (9)
 NO SCALE (C6.1)



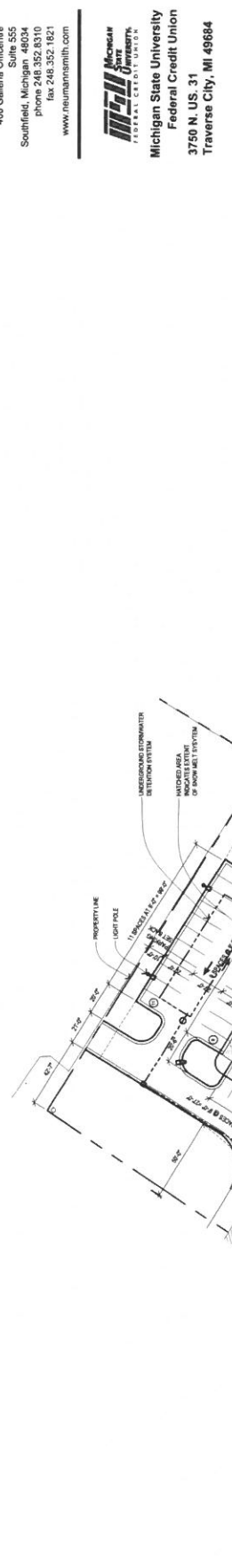
STORMWATER OUTLET STRUCTURE DETAIL (10)
 NOT TO SCALE (C6.1)

PLANT SCHEDULE

Qty	Species Name	Container Size	Size	Ch. A/B/C	Ch. A/B/C	Ch. A/B/C	Ch. A/B/C	Ch. A/B/C	Species Code
7	LARGE DECIDUOUS TREES	10" Cal	7" Cal	3	4	4	4	4	7
A1	American Elm	10" Cal	7" Cal	3	4	4	4	4	7
C1	Shrub	10" Cal	7" Cal	3	4	4	4	4	5
D1	Shrub	10" Cal	7" Cal	3	4	4	4	4	6
E1	Shrub	10" Cal	7" Cal	3	4	4	4	4	13
F1	Shrub	10" Cal	7" Cal	3	4	4	4	4	13
TOTALS				6	7	7	7	7	
A1	Amelanchier	6" x 6" x 6"	6" x 6" x 6"	3	4	4	4	4	7
C1	Chamaenerion	7" Cal	7" Cal	7	3	3	3	3	10
D1	Diervilla	7" Cal	7" Cal	7	3	3	3	3	17
TOTALS				10	3	3	3	3	
T1	Tree	8" x 7" x 10"	8" x 7" x 10"	8	8	8	8	8	8
A1	Amelanchier	8" x 7" x 10"	8" x 7" x 10"	8	8	8	8	8	8
TOTALS				10	10	10	10	10	
V1	Shrub	8" x 7" x 10"	8" x 7" x 10"	10	10	10	10	10	14
F1	Shrub	8" x 7" x 10"	8" x 7" x 10"	10	10	10	10	10	18
TOTALS				0	6	6	6	6	32
T1	Tree	8" x 7" x 10"	8" x 7" x 10"	6	6	6	6	6	38
TOTALS				0	6	6	6	6	38
D1	Shrub	8" x 7" x 10"	8" x 7" x 10"	6	6	6	6	6	24
TOTALS				0	6	6	6	6	24
D1	Shrub	8" x 7" x 10"	8" x 7" x 10"	6	6	6	6	6	24
TOTALS				0	6	6	6	6	24
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TOTALS				0	6	6	6	6	24
D1	Shrub	8" x 7" x 10"							

LEGEND

[Pattern]	CONCRETE
[Pattern]	NEW BUILDING
[Pattern]	CONCRETE W/ FINISHED FLOOR
[Pattern]	CONCRETE W/ FINISHED FLOOR



2 ENLARGED ARCHITECTURAL SITE PLAN
 A101 1" = 38' 0"



Site Plan Approval 10-10-2019

FROM	PRELIMINARY
FOR	CONSTRUCTION
DATE	RECORD
BY	SM
APPROVED	Do not scale
DATE	Use figures
EXPIRES	Other notes only

Job Number
 2018015.13
 The
ARCHITECTURAL
SITE PLAN

1 ARCHITECTURAL SITE PLAN
 A101 1" = 38' 0"



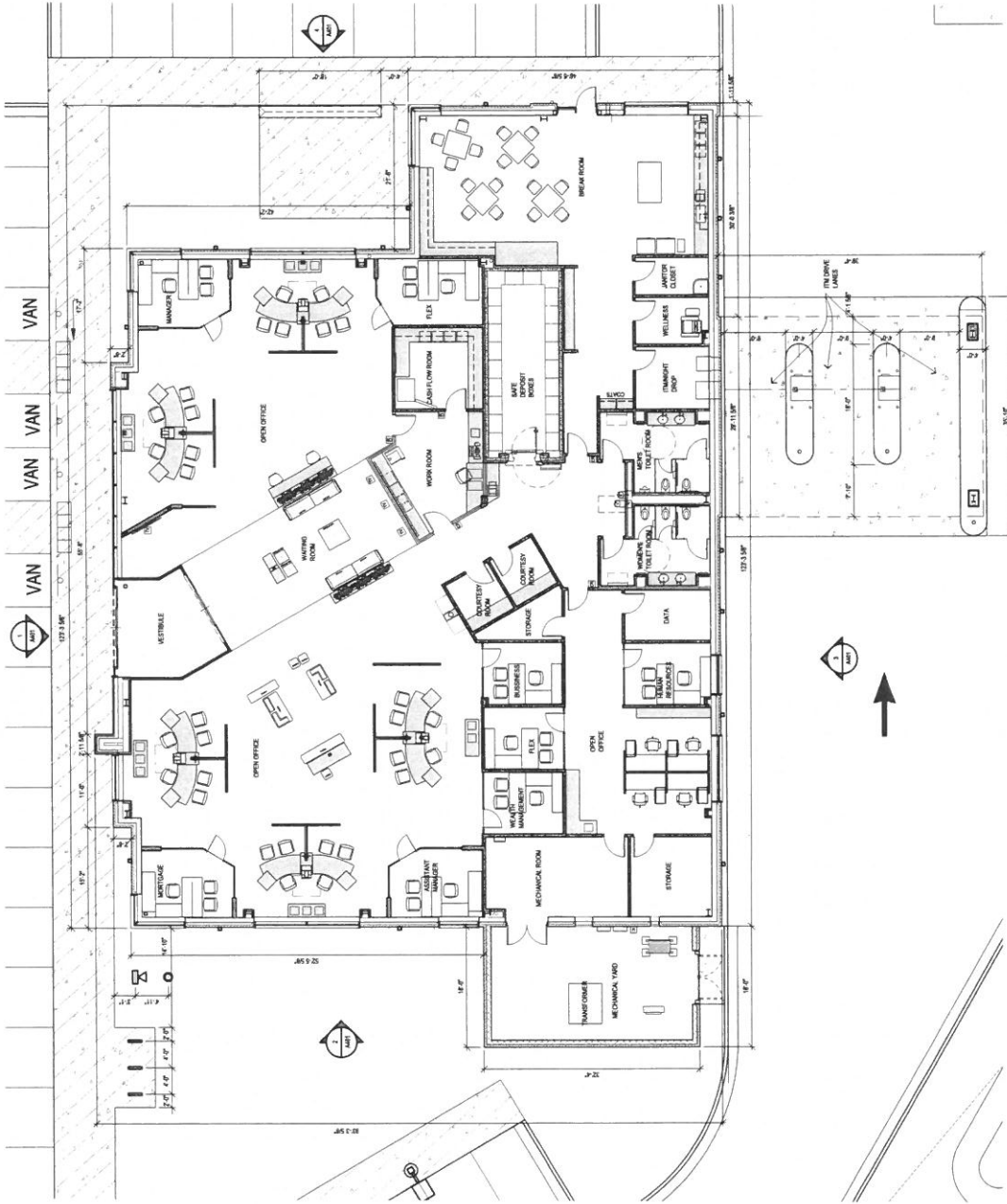
Scale: AS NOTED
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Site Plan Approval 10-10-2019

Drawn	<input type="checkbox"/> Preliminary
RGJ	<input type="checkbox"/> Construction
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SM	<input type="checkbox"/> Approved
SC	<input type="checkbox"/> Do not scale
Use Figured	<input type="checkbox"/> Use Figured
Use Figured only	<input type="checkbox"/> Use Figured only
Figure Number	
Job Number	2018015.13

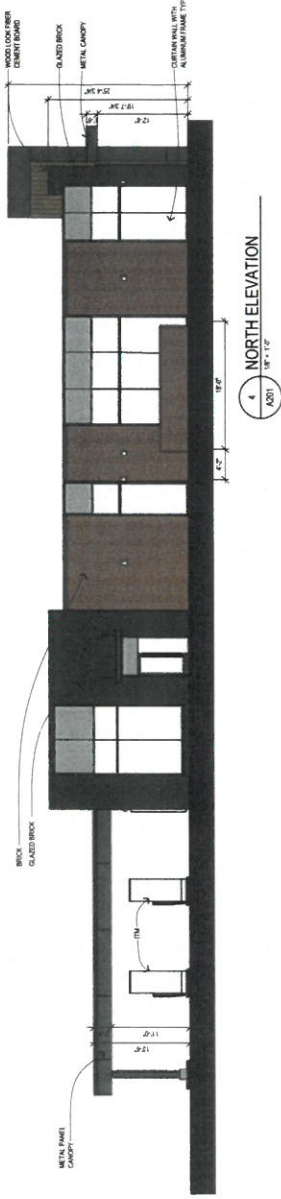
FLOOR PLAN

Scale: 1/8"=1'-0"
 A201

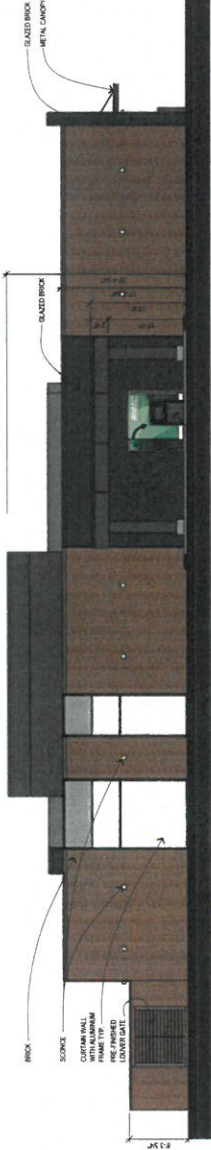


1 FIRST FLOOR PLAN
 A201 1/8"=1'-0"

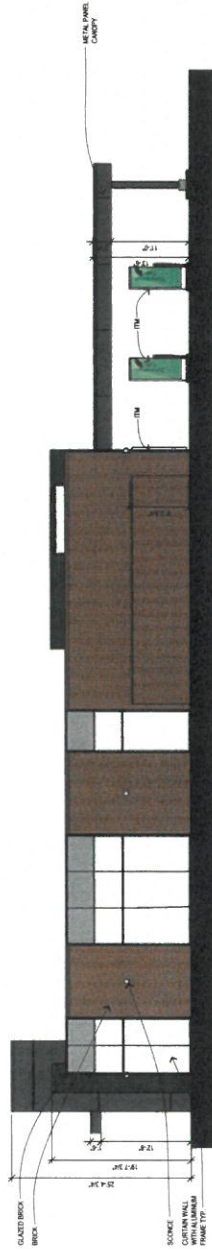




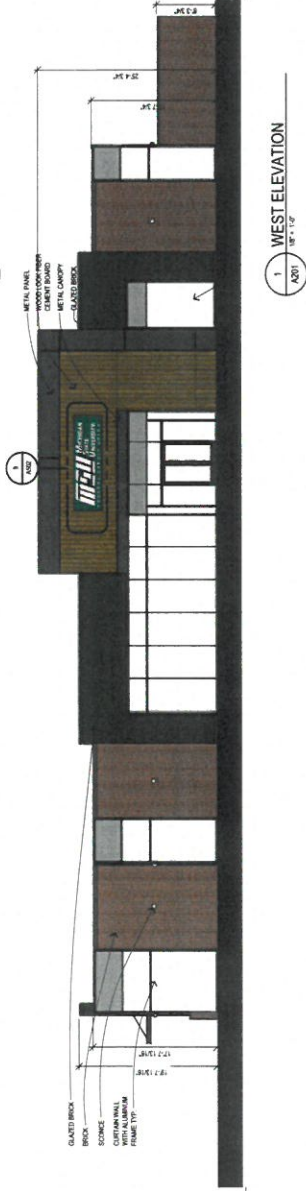
4 NORTH ELEVATION
 A201 1/8" = 1'-0"



3 EAST ELEVATION
 A201 1/8" = 1'-0"



2 SOUTH ELEVATION
 A201 1/8" = 1'-0"



1 WEST ELEVATION
 A201 1/8" = 1'-0"



Site Plan Approval 10-10-2019
 Drawn: Preliminary
 ZF: Construction
 SM: Revised
 Approved: Do not scale
 Use figured dimensions only
 Elevation Number: _____

Job Number:
2018015.13
 The
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"
 Sheet
A401



2 REAR ELEVATION RENDERING
 A501



1 FRONT ELEVATION RENDERING
 A501



Site Plan Approval 10.10.2019
 Sheet: Preliminary
 2F Construction
 Checked: Record
 SM Record
 Approved: Do not scale
 SC Use figures only
 License Number: 0651020109

Job Number: 2018015.13
 RENDERINGS

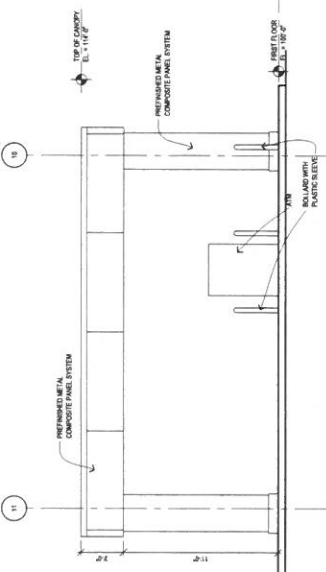
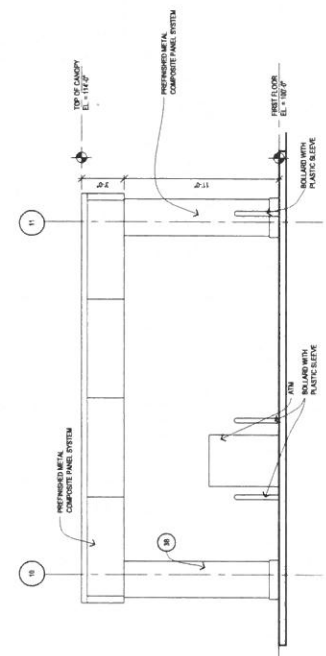
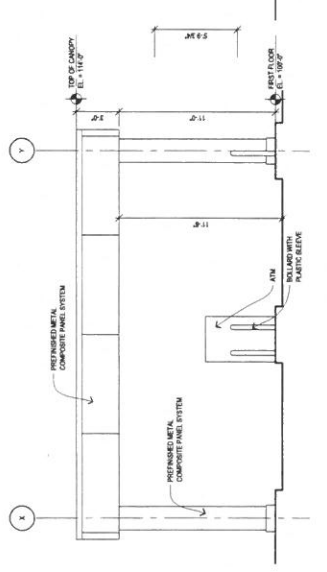
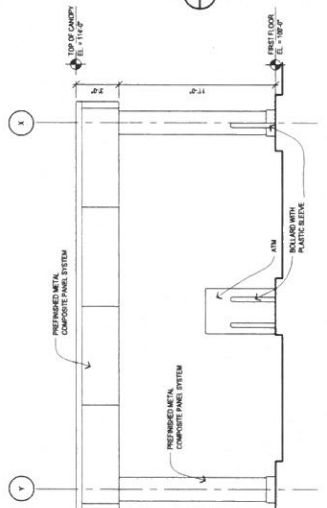
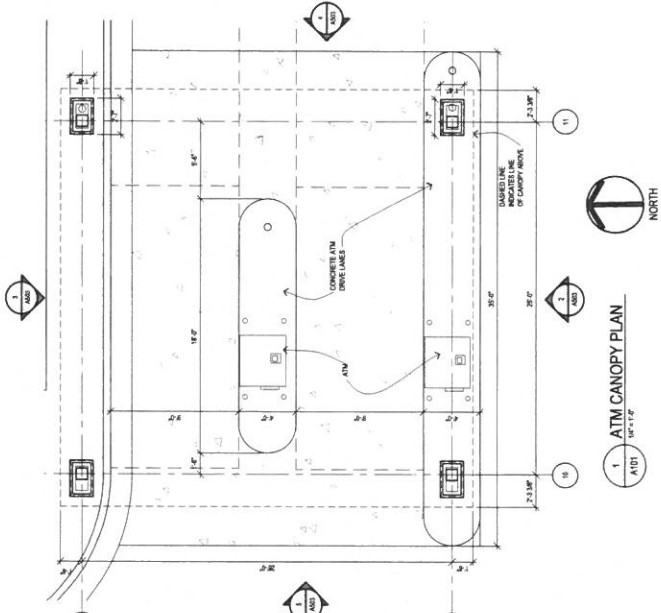
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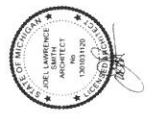
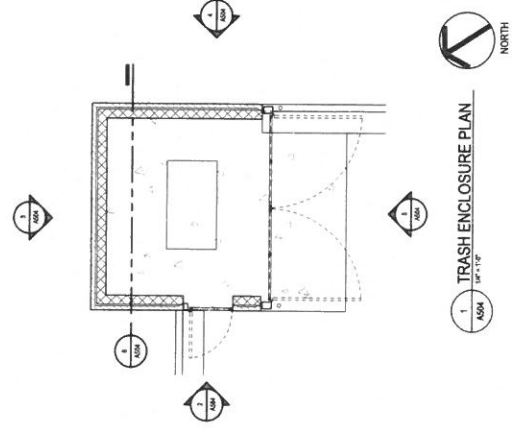
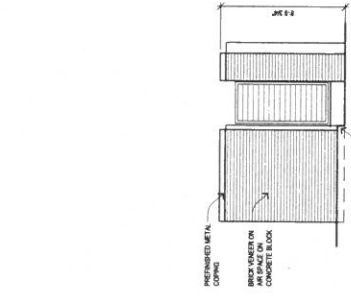
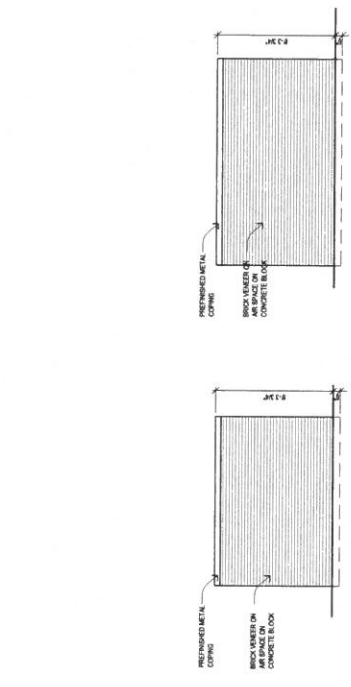
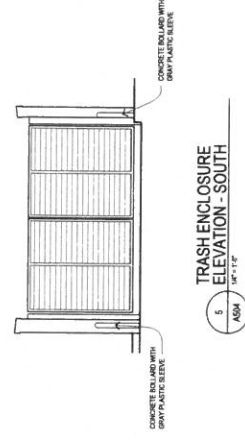
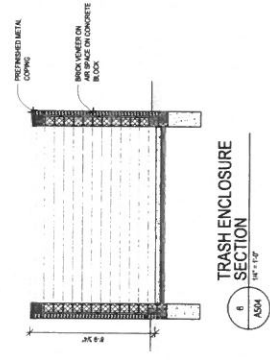


Site Plan Approval 18-10-2019
 Project: Preliminary
 RGJ: Construction
 Checked: Reused
 SM: Approved
 Do not scale
 All dimensions are in feet
 Dimensions are in feet
 Dimensions are in feet
 License Number: _____

2018015.13
 ATM CANOPY PLANS
 & ELEVATIONS

Scale: 1/4" = 1'-0"
 A503





Site Plan Approval 10-10-2019
 Drawn: [] Preliminary
 RGL: [] Construction
 Checked: [] Record
 Approved: []
 Do not scale
 Use figured only
 Blank Number

Job Number: 2018015.13
 The TRASH ENCLOSURE PLANS & ELEVATIONS
 Scale: 1/4" = 1'-0"
 ASM



SOUTHFIELD - DETROIT
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Michigan State University
Federal Credit Union
3750 S. US. 31
Garfield, MI



Strategic Energy Solutions
4000 W. Warren, Westland, MI 48092
Phone 734.399.1801
www.strategicenergy.com
SES Project # 19.0244.07



DATE OF

SITE PLAN GENERAL NOTES

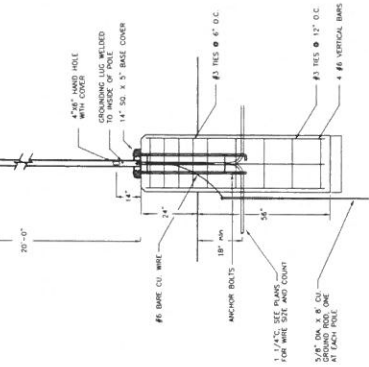
- FIELD VERIFY LOCATIONS OF EXISTING UNDERGROUND SERVICES TO COORDINATE UNDER THIS CONTRACT WITH CIVIL DRAWINGS PRIOR TO INSTALLATION OF POLE BASES AND CONDUIT.
- CONDUIT ENTRY HOLE SHALL BE 2" DIA. AND SHALL BE SET TO THE NEXT LARGER STANDARD AWG SIZE. C.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
- ALL ELECTRICAL DEVICES ON THIS SHEET SHALL BE NEW UNLESS OTHERWISE NOTED.
- EXTENSION AREA DEVICES TO BE COVERED BY WIRELESS IN LEVEL. NOTIFICATION SENSORS SET TO 5% ACTIVATION THRESHOLD.
- ALL POLE BASES SHALL BE INSTALLED AT 5'6" DEPTH PER POLE BASE DETAIL. 1" UNCL.

KEYED NOTES

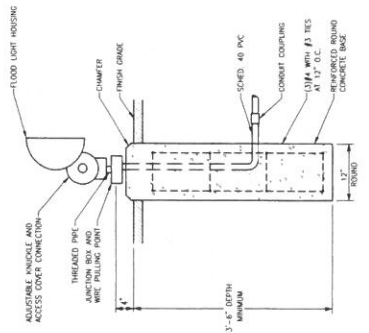
- POLE MOUNTED CAMERAS SHALL BE FED VIA A SEPARATE 1" CONDUIT WITH ONE CAT 6 CABLE PER CAMERA.

Symbol	Code	Quantity	Description
□	S1	6	6" SQUARE POLE BASE WITH 1" POLE HOLE
□	S2	2	2" DIA. CONDUIT WITH 1" POLE HOLE
□	S3	1	1" DIA. CONDUIT WITH 1" POLE HOLE

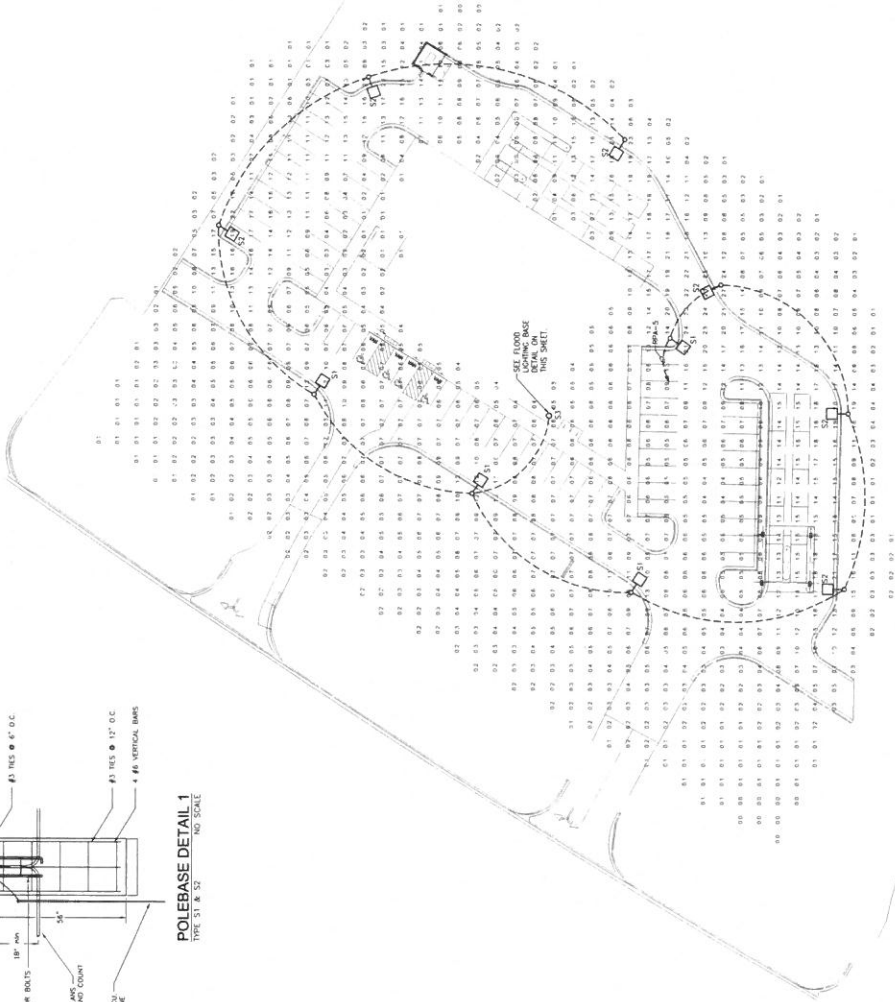
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□	S3	1	1" DIA. CONDUIT WITH 1" POLE HOLE



POLEBASE DETAIL 1
TYPE S1 & S2
NO SCALE



FLOOD LIGHTING BASE DETAIL
NO SCALE



ELECTRICAL SITE PLAN
SCALE 1/8\"/>

Site Plan Approval 10.10.2019

JRS Preliminary
 Construction
 CGH Record
 Approved Do not scale
 SET Use figured
 ERISS Number Utility/contract only

Job Number
2018015.13

ELECTRICAL SITE PLAN



Know what's below.
Call before you dig.



Sheet
ES-100



**Special Use Permit Application
Supplemental Attachment
For
Michigan State University Federal Credit Union
3750 N. US-31**

Impact Assessment:

- *A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.*

The site is currently two parcels which are currently and historically developed with general commercial buildings. The two parcels will be combined into one for this proposed credit union. The overall topography of the site is fairly flat with paved parking areas with slopes generally ranging from 1%-3% to facilitate drainage. There is approximately 85 feet of US-31 right-of-way between the back of curb and property line through which Kid's Creek flows. The creek is carried under the existing driveways servicing the site by 48-inch corrugated steel culverts. Vegetative cover in this area consists of a mixture of trees, grass, and native plants. Storm water from the site currently drains to two catch basins which discharge to a storm water basin at the northeast interior corner of parcel 2 behind the existing office building. The east side of the site contains a wetland area and wooded cover. Another tributary of Kid's Creek is present at the very north point of parcel 2 and cuts through the wetland. Soils at the site are identified by the USDA Natural Resources Conservation Service as the Edwards muck series (Es). Soil borings conducted over the site generally identified fine silty sands and gravels.

- *Types of uses and other man-made facilities.*

The proposed use for the requested building is a financial institution (credit union). A three-lane drive through connected to the building is proposed. A two-lane stand alone ATM drive through is also proposed on the site. Currently the site has three buildings. One is a multi-tenant office building, one is a chiropractic practice (Smith Chiropractic & Wellness), and the third building is a storage building. The south parcel previously had a building believed to be a flooring retailer which has been razed.

- *The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.*

It is estimated that approximately 25 employees could be present at this credit union to service a mixture of drive-through and walk in customers during a typical business day.

- *Phasing of the project including ultimate development proposals.*

The project will be developed in one phase.

- *Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.*

The area that is proposed to be developed for the building, drive through, ATM, and parking is the general area that is currently or has previously been developed for this site. A small undeveloped area between the existing developed area and wetlands will be utilized for the detention basin for this site. Required setbacks from Kid's Creek will provide additional buffer between the parking area and the creek. The existing wetlands and wooded area to the east (rear) of the site will be retained. Required landscape buffers will be provided along the adjacent properties. Future connections to the neighboring properties are also provided for.

- *The method used to serve the development with water and sanitary sewer facilities.*

Municipal water and sewer exist along the US-31 corridor and currently serves the site. The sewer service from the building can be connected to the existing inspection manhole for the office building. New water service will need to be tapped from the main to provide fire suppression protection and domestic service.

- *The method to control drainage on the site and from the site. This shall include runoff control during construction periods.*

Storm water will be collected by catch basins and storm sewer piping. Underground storage is proposed in two areas of the parking lot which connects to a new detention basin. Storm water is slowly released from the detention basin to the wetland area to the north. The combined storage volume and release rate provided meets the Garfield Township Stormwater Control Ordinance.

- *If public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.*

Not applicable.

- *The method used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.*

The proposed use at this site will not cause any increase in effluent discharge to the air or noise level emanating from the site. Typical construction noises can be expected during the removal of the existing structures and construction of the proposed building and improvements.

- *An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.*

The proposed use is consistent with development patterns along this US-31 corridor. The underlying credit union use proposed is a permitted use by right of the zoning district. The proposed drive through use requires obtaining the Special Use Permit. 4-Front Credit Union is a similar use with a drive through just south west of this site within the same zoning district. No adverse effects are anticipated with the proposed use.

- *Name and address of person responsible for preparation of this statement.*

Robert M. Verschaeve, P.E.
Gosling Czubak Engineering Sciences, Inc.
1280 Business Park Drive
Traverse City, Michigan 49686
231-946-9191
email: rmverschaeve@goslingczubak.com

- *Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Conservation Service.*

The disturbed areas for this project will be kept to the minimum required to construct the proposed improvements. Silt fence will be installed at the limits of disturbance and at critical areas to prevent sediment from leaving the site. Inlet protection will be placed at catch basins as they are constructed. Additionally, contractors will follow soil erosion and sedimentation control permit requirements.

- *Type, direction and intensity of outside lighting.*

The exterior lighting details are as shown on the electrical site plan drawing. A photometric plan of the exterior building lighting is included as part of this drawing.

- *General description of deed restrictions (including easements) if any.*

There are typical utility easements that provide service to this parcel. The existing site survey sheet identifies these.

Basis for Determination:

1.) General Standards (Section 8.1.3)

a.) Be designed, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The proposed building is compatible and harmonious with the neighboring uses in the general vicinity of this general commercial zoning district. Similar financial institutions with drive throughs and restaurants with drive throughs exist nearby.

b) Not be hazardous or disturbing to existing or future uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.

The proposed financial institution use will not be hazardous or disturbing to existing or future uses as it is proposed in this district. As previously pointed out, there are similar uses nearby in the general vicinity. This use will provide a positive development to this site as part of it is vacant from an old building that was razed years ago. The community will benefit from the additional jobs and consumer choice brought by this institution.

c) Be served adequately by essential facilities and services, such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, or schools.

The existing municipal water and sewer infrastructure is in place to easily service the proposed building and provide sufficient water for fire suppression. The change in use of the site should have almost no effect on the surrounding highways and streets. Refuse disposal will be accomplished with a dumpster unit in an attractive enclosure.

d) Not create excessive additional requirements at public cost for public facilities and services.

The costs of all proposed improvements will be paid for by the property owner.

e) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by fumes, glare or odors.

The financial institution character of the proposed use and the activities associated with it should not be detrimental to the general welfare of persons or properties within the vicinity.

2.) Specific Standards (Section 8.1.3)

a) That the applicant may legally apply for site plan review.

The applicant is the owner of the parcels and has full legal rights to make this application.

b) That all required information has been provided.

The applicant believes all required information as well as supplemental supporting information has been provided.

c) That the proposed development conforms to all regulations of the zoning district in which it is located.

The applicant believes this is true.

d) That the plan meets the requirements of Garfield Township for fire and police protection, water supply, sewage disposal or treatment, storm drainage and other public facilities and services.

The applicant believes this is true. Reviews and permits will be applied for as required as the project progresses.

e) That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.

The applicant believes this is true. All necessary permits will be obtained prior to construction.

f) That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.

There is no disturbance to the existing wetland proposed and this will be protected and enhanced by the proposed storm water control for the site. Additional buffer to Kids Creek along US-31 will also be realized due to the required setbacks.

g) That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property and open space areas as designated on the future land use map of Garfield Township.

The property is not within a floodway, floodplain and there are no Township identified open spaces on site.



h) That the soil conditions are suitable for excavation and site preparation, and that organic, wet or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.

Soil conditions are suitable for construction by virtue of the property being currently developed. A geotechnical soils investigation has been completed which identifies soils as suitable for construction.

i) That the proposed development will not cause soil erosion or sedimentation problems.

Soil erosion and sedimentation control measures are shown on the plans and are designed to meet local standards and construction best practices.

j) That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff, and will not cause undue runoff onto neighboring property or overloading of water courses in the area.

Storm water management is handled through a series of connected underground storage chambers and a detention basin. Discharge is controlled by a slow release structure which keeps the rates low what is allowed. The discharge is directed to the lowest portion of the existing wetland on the site.

k) That grading or filling will not destroy the character of the property or the surrounding area, and will not adversely affect the adjacent or neighboring properties.

Site grading is limited to what is necessary to construct drainable parking and drive areas. The elevations are close to the existing elevations. Adverse impact to neighboring properties is not anticipated.

l) m) That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage or erosion control.

The development will not be phased and will be constructed at one time.

n) That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems and water sewage facilities.

No expansion of public streets, drainage systems, water, or sewage facilities are required or proposed.

o) That landscaping fences or walls may be required by the Planning Commission in pursuance of the objectives of this Ordinance.

The plans do not call for landscaping fences or walls, and it is the Applicant's opinion that



none are required by the Ordinance. Required landscaping is provided and detailed in the included Landscaping Plan.

p) That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.

The parking layout for the site has been designed to work with the existing access drives servicing the site. The flow is consistent with what is typical for this type of use to serve customers and employees.

q) That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.

The traffic with the site works with the existing access drives servicing the site. A safe and convenient direct connection for bicyclists and pedestrians using the regional trail along US-31 is also proposed.

r) That outdoor storage of garbage and refuse is contained, screened from view and located so as not to be a nuisance to the subject property or neighboring properties.

Refuse storage for the proposed store is accomplished with a dumpster pad screened with a masonry enclosure. It is located behind the building in an accessible location that isn't a nuisance to neighboring properties.

s) That the proposed site is in accord with the spirit and purpose of this Ordinance and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.

The proposed use at this site is in accord with the spirit and purpose of the Ordinance. The use is allowed by the zoning and supported by the Master Plan at this location.

